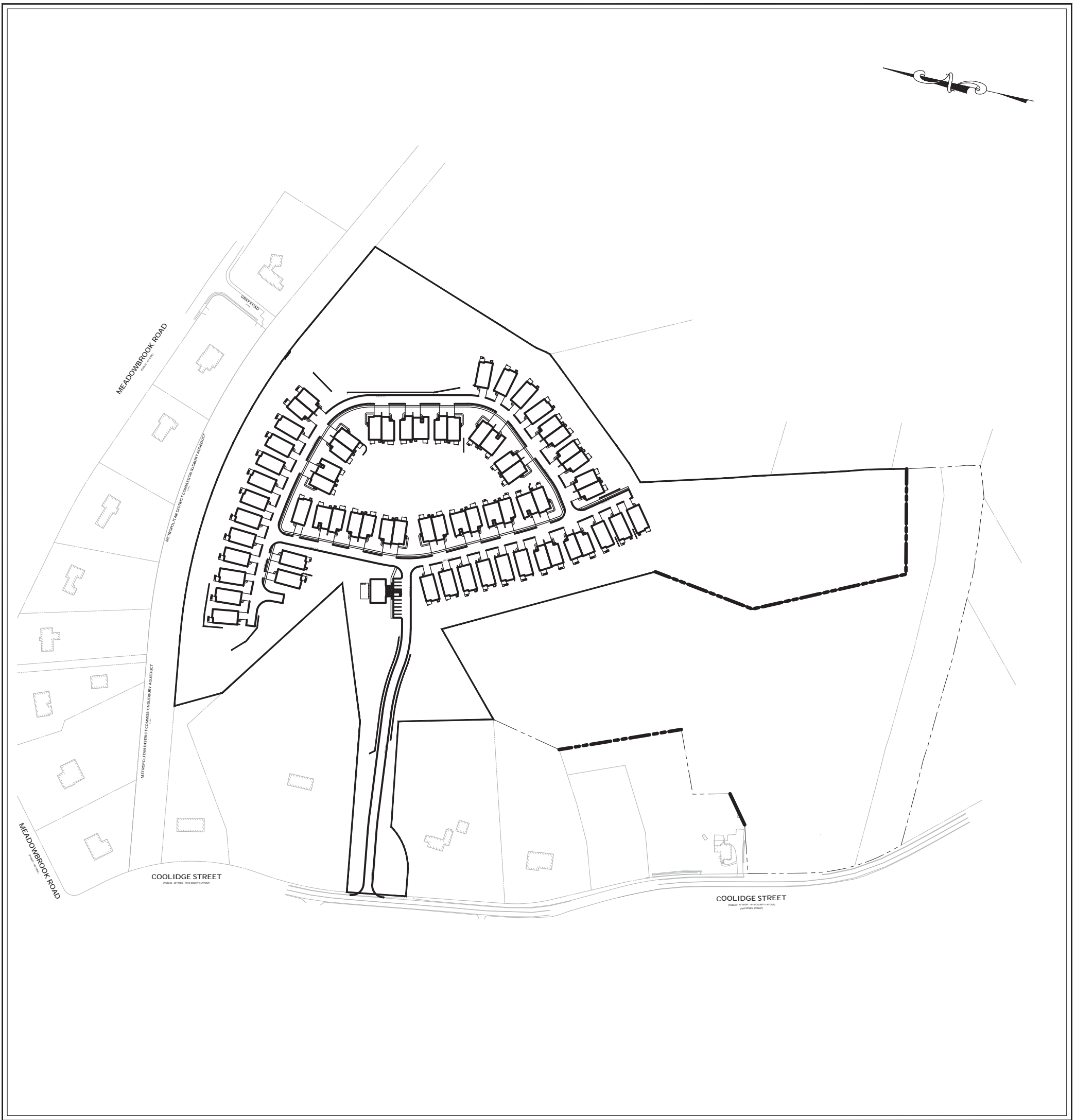


ARCHITECTURAL PLANS  
FOR  
*MEADOWBROOK COMMONS*

RESIDENCE EA  
MULTI-DWELLING COMMUNITY  
84 & 104 COOLIDGE STREET  
SHERBORN, MASSACHUSETTS

SHEET NUMBER	SHEET DESCRIPTION
A-1	COLOR SINGLE FAMILY RENDERINGS
A-2	COLOR TOWNHOME RENDERINGS
A-3 ~ A-8	SINGLE FAMILY FLOOR PLANS AND ELEVATIONS
A-9 ~ A-14	TOWNHOME FLOOR PLANS AND ELEVATIONS
a101.3, a201.3 a202.3	CLUBHOUSE BUILDING ELEVATIONS



OVERALL LAYOUT PLAN  
SCALE: 1"=250'

RENDERINGS, ELEVATIONS, AND FLOOR PLANS PROVIDED CONTAIN A GREAT AMOUNT OF DETAIL TO PROVIDE A HIGH LEVEL OF VISUAL UNDERSTANDING OF THE PROPOSED ARCHITECTURAL PROGRAM. MINOR CHANGES TO THE ARCHITECTURAL ELEMENTS AND DETAILS PROVIDED MAY VARY THROUGHOUT THE PROJECT BUT THE DESIGN INTENT WILL REMAIN UNCHANGED.

PREPARED BY:

CIVIL DESIGN  
GROUP, LLC

21 HIGH STREET SUITE 207  
NORTH ANDOVER, MA 01845  
www.cdengineering.com  
p: 978-794-5400  
f: 978-965-3971  
CONTACT: MATTHEW LEIDNER, P.E.

PREPARED FOR:



PULTE HOMES OF NEW ENGLAND, LLC  
115 FLANDERS ROAD  
SUITE 200  
WESTBOROUGH, MA 01581  
www.pulte.com



MEADOWBROOK COMMONS



CHABLIS



NOIR HILL



VISTA



CHABLIS



NOIR HILL



VISTA



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JULY 07, 2021



MEADOWBROOK COMMONS



TUSCAN/FLORENCE



TRENTINO/TUSCAN



TRENTINO/FLORENCE



FLORENCE/TUSCAN



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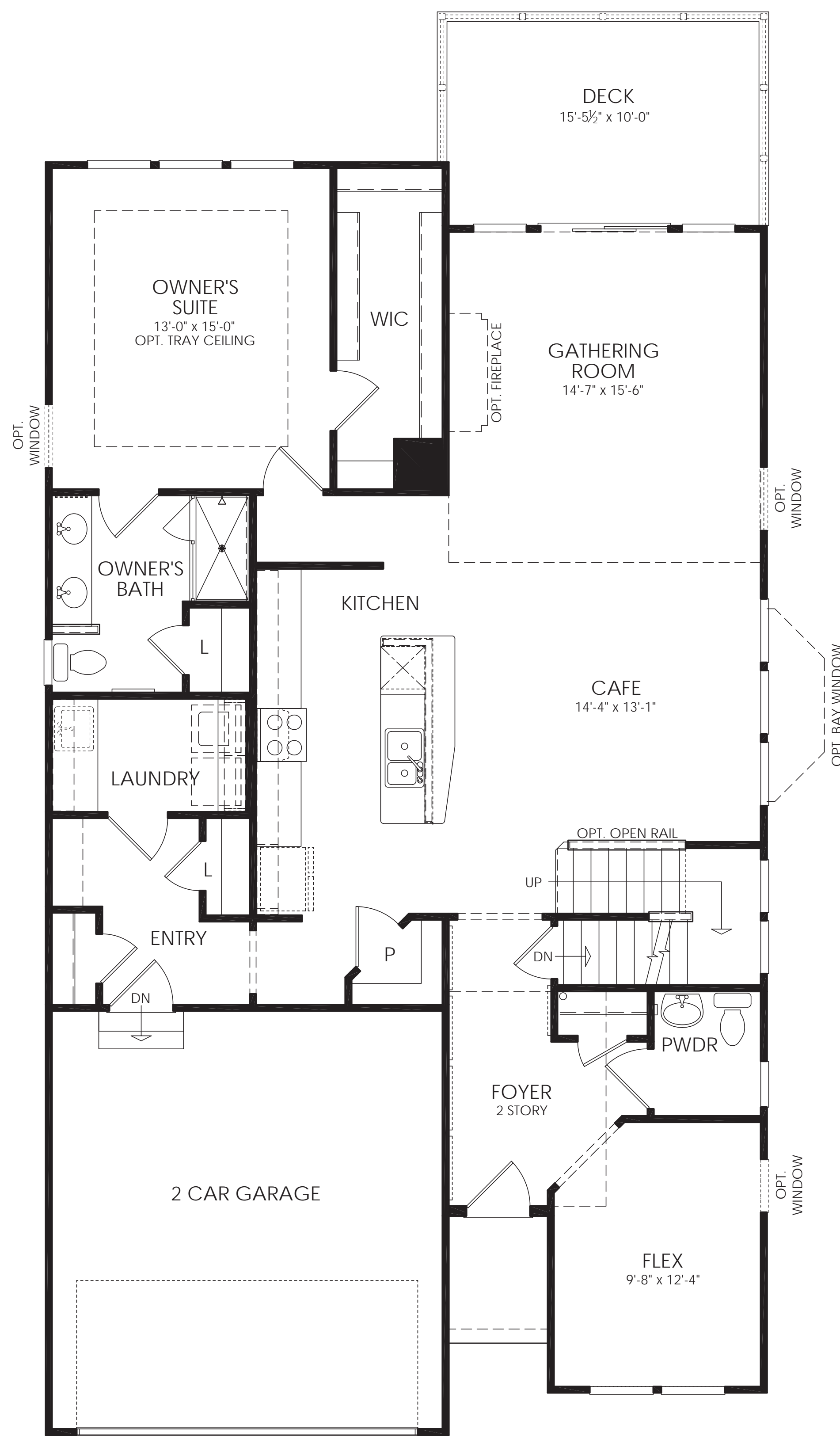
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JULY 07, 2021

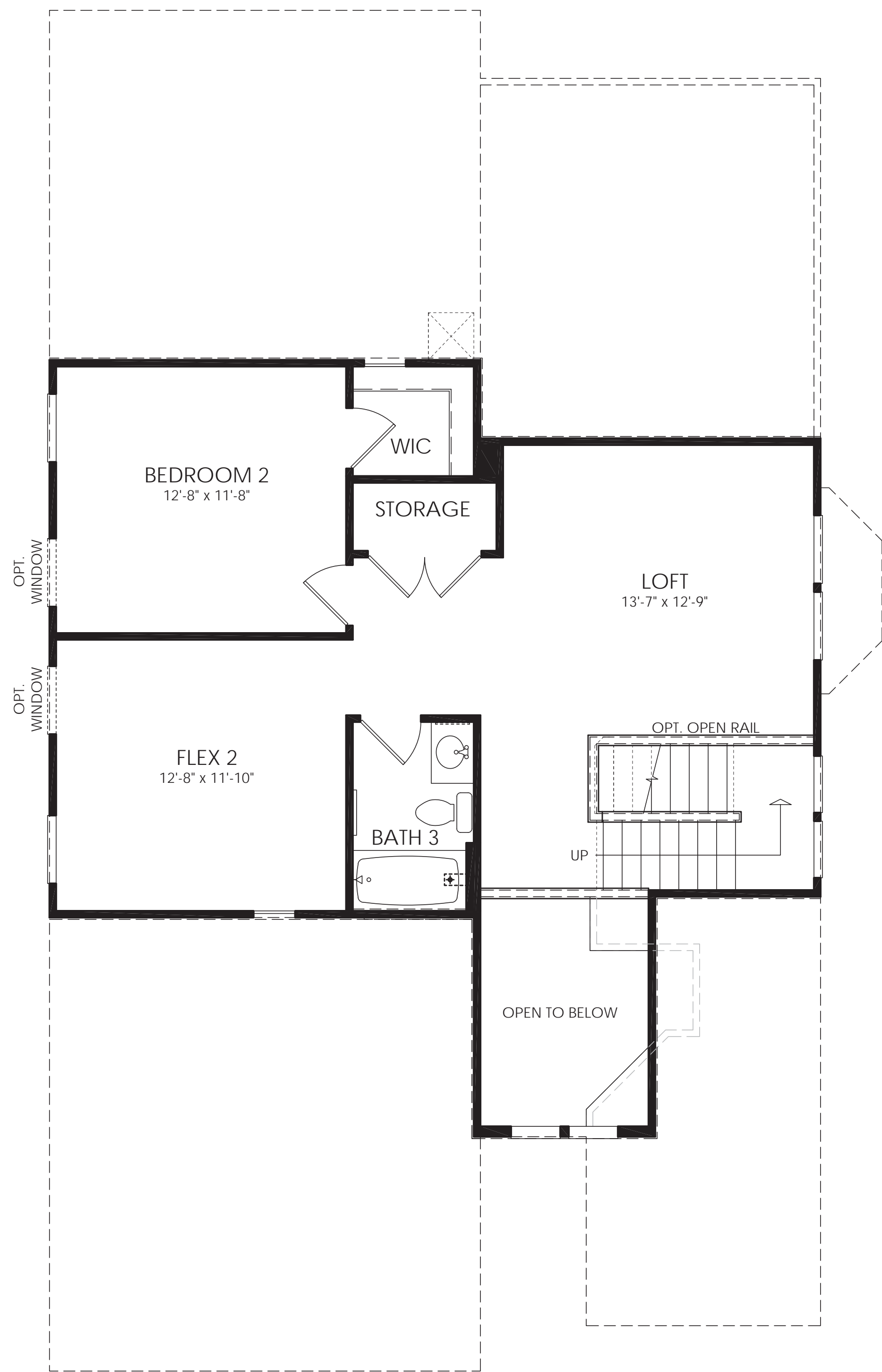


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GROSS SQUARE FEET:  
2,189 +/-



First Floor

## CHABLIS

Second Floor

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Westborough, MA 01581

# MEADOWBROOK COMMONS



ELEVATION #1 - LEFT SIDE ELEVATION  
SHOWN WITH OPTIONAL 3-SEASON PORCH 1/8"=1'-0"



FRONT ELEVATION # 1  
SHOWN WITH OPTIONAL 3-SEASON PORCH 1/8"=1'-0"



ELEVATION #1 - RIGHT SIDE ELEVATION  
SHOWN WITH OPTIONAL 3-SEASON PORCH 1/8"=1'-0"



FRONT ELEVATION # 2  
SHOWN WITH OPTIONAL WINDOWS AT GARAGE DOOR 1/8"=1'-0"



FRONT ELEVATION # 3  
SHOWN WITH OPTIONAL WINDOWS AT GARAGE DOOR 1/8"=1'-0"



FRONT ELEVATION # 4  
SHOWN WITH OPTIONAL WINDOWS AT GARAGE DOOR 1/8"=1'-0"



REAR ELEVATION  
SHOWN WITH OPTIONAL 3-SEASON PORCH 1/8"=1'-0"

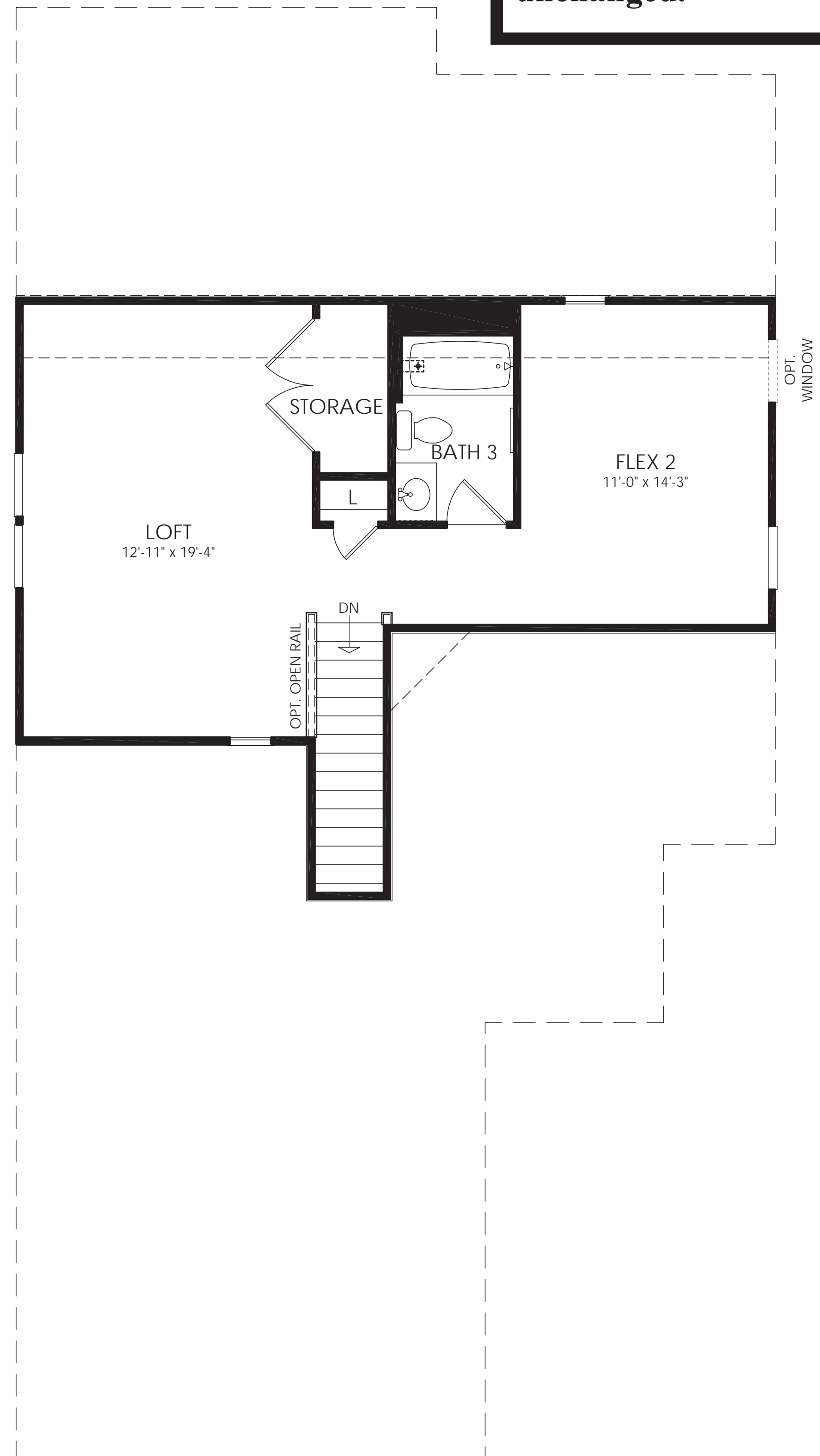
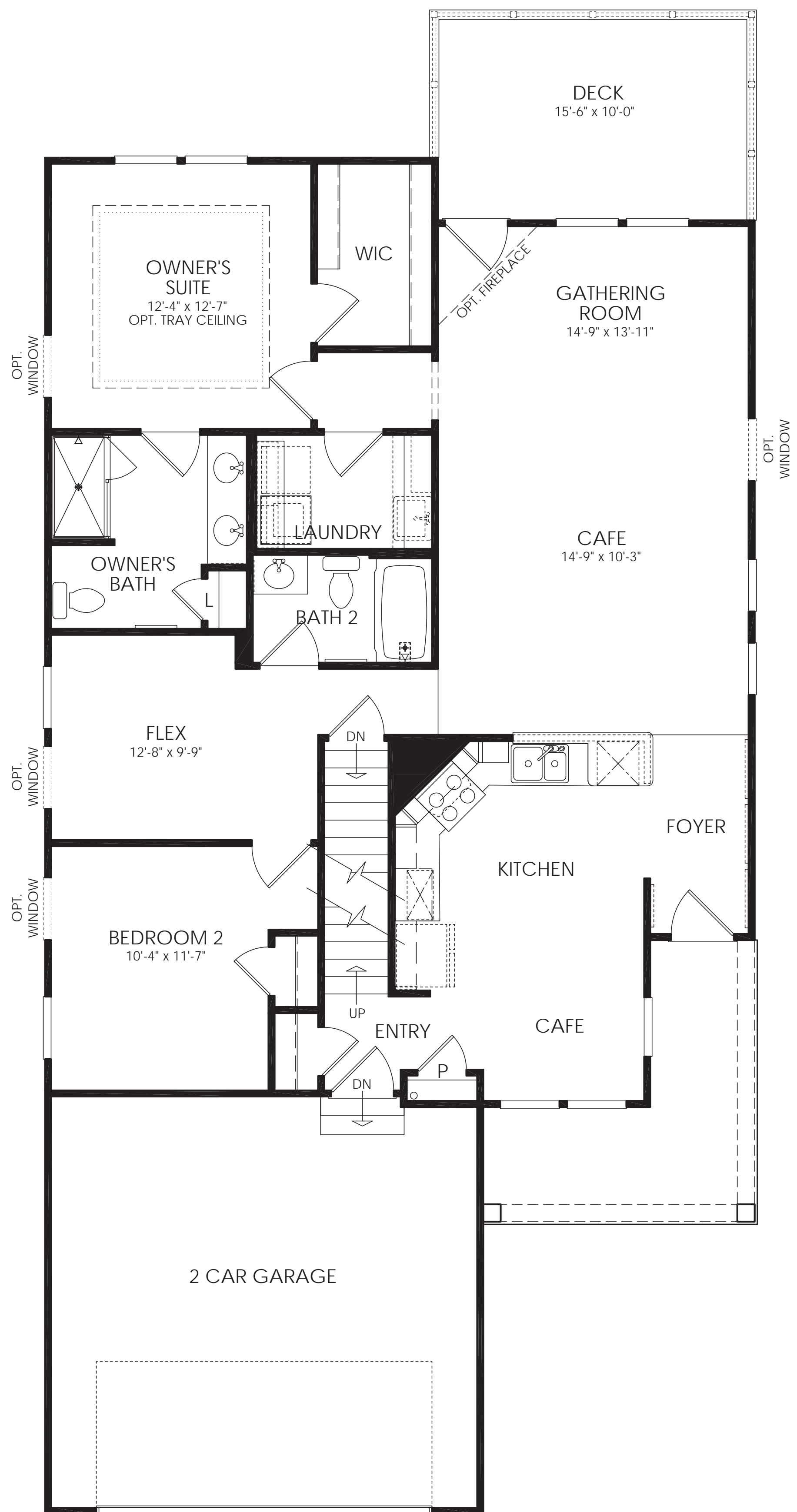
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CHABLIS

# MEADOWBROOK COMMONS

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GROSS SQUARE FEET:  
1,930 +/-

First Floor

## NOIR HILL

Second Floor

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April 29, 2021



# MEADOWBROOK COMMONS



ELEVATION #5 - LEFT SIDE ELEVATION

SHOWN WITH OPTIONAL 3-SEASON PORCH

1/8"=1'-0"



FRONT ELEVATION # 1

SHOWN WITH OPTIONAL WINDOWS AT GARAGE DOOR

1/8"=1'-0"



ELEVATION #5 - RIGHT SIDE ELEVATION

SHOWN WITH OPTIONAL 3-SEASON PORCH

1/8"=1'-0"



FRONT ELEVATION # 2

1/8"=1'-0"



FRONT ELEVATION # 3

1/8"=1'-0"



FRONT ELEVATION # 4

SHOWN WITH OPTIONAL WINDOWS AT GARAGE DOOR

1/8"=1'-0"



REAR ELEVATION

SHOWN WITH OPTIONAL 3-SEASON PORCH

1/8"=1'-0"

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## NOIR HILL

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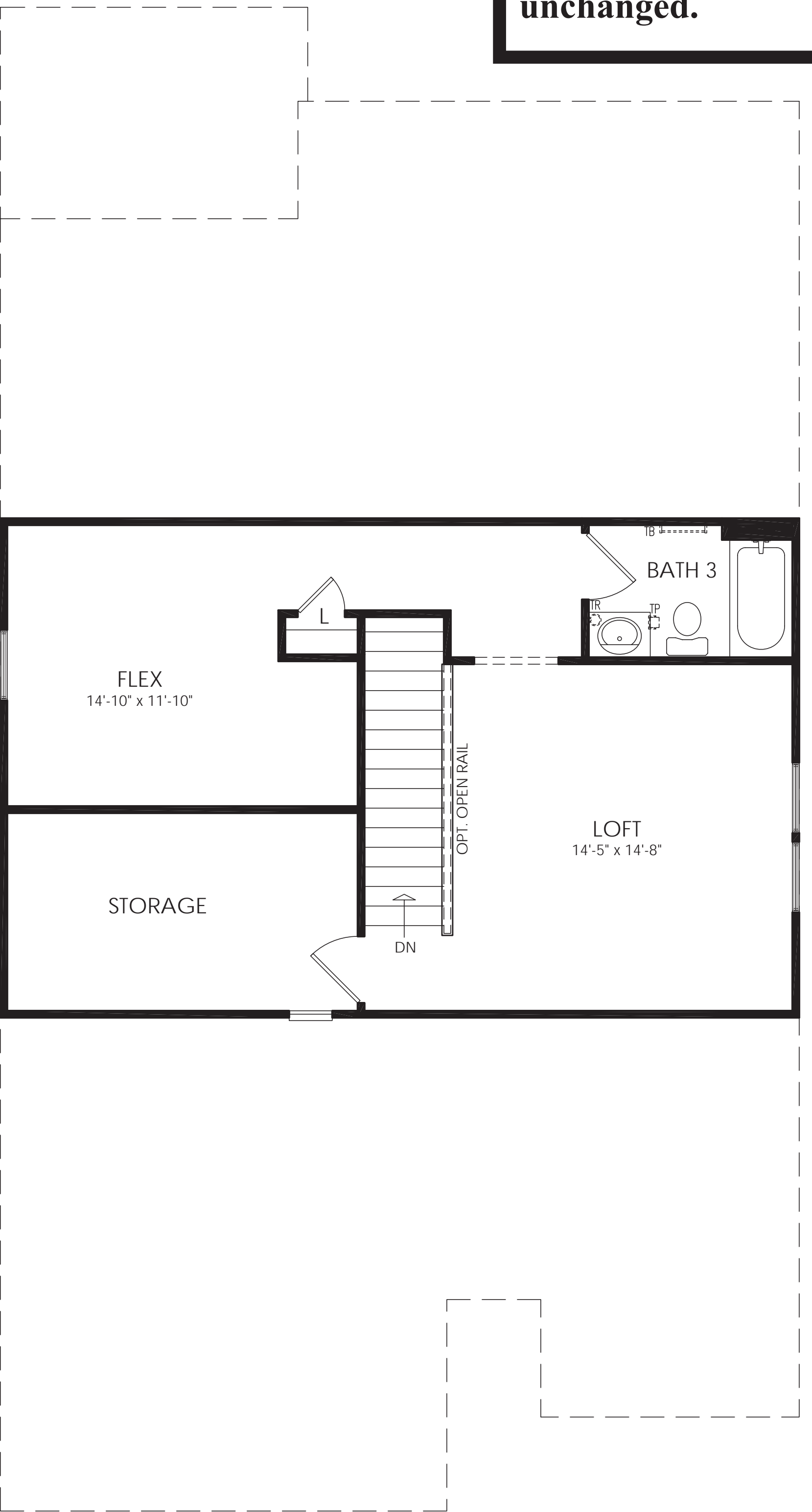
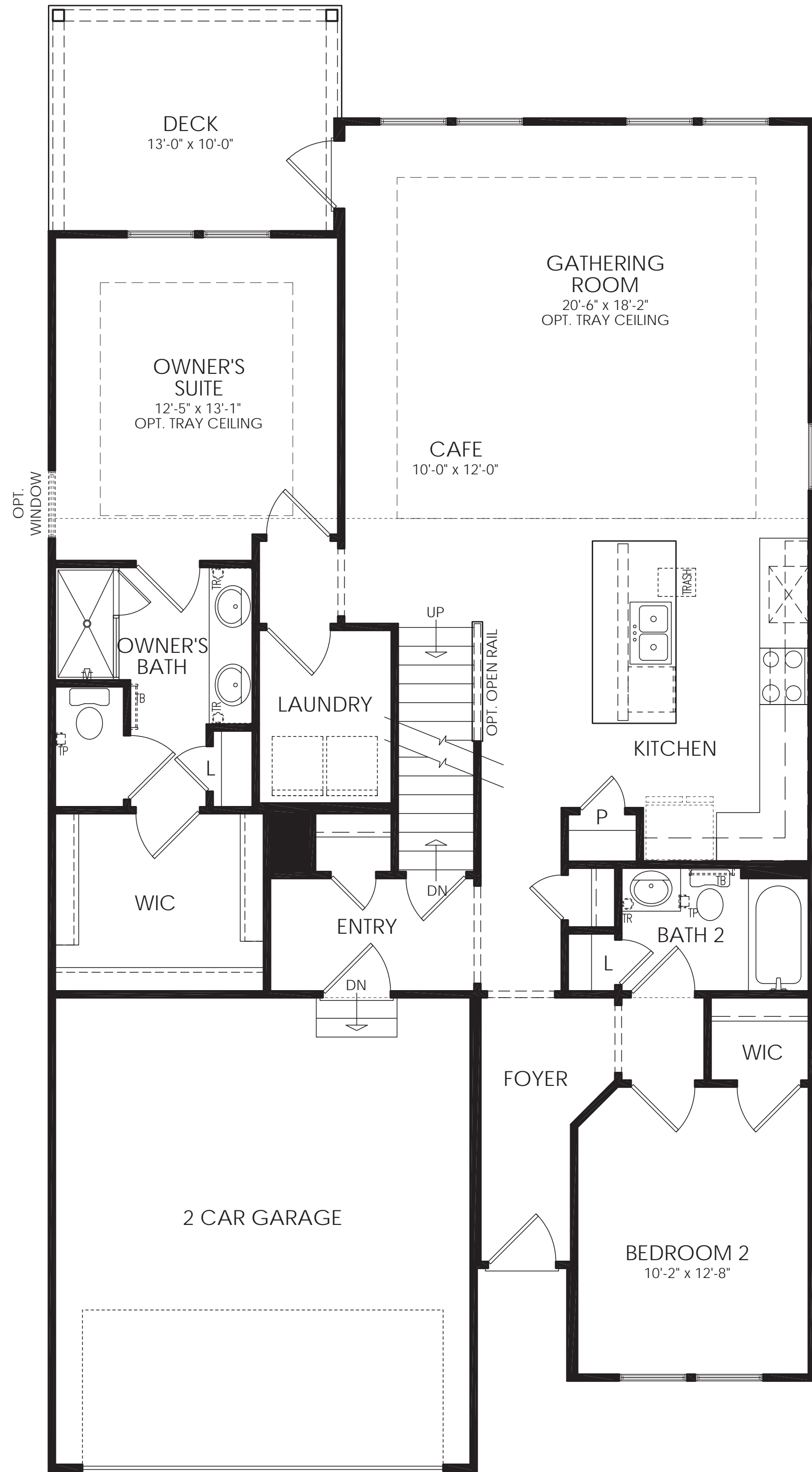
April 29, 2021



A-6

# MEADOWBROOK COMMONS

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GROSS SQUARE FEET:  
2,069 +/-

First Floor

VISTA

Second Floor

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# MEADOWBROOK COMMONS



ELEVATION #1 - LEFT SIDE ELEVATION

1/8"=1'-0"



FRONT ELEVATION # 1

SHOWN WITH OPTIONAL WINDOWS AT GARAGE DOOR

1/8"=1'-0"



ELEVATION #1 - RIGHT SIDE ELEVATION

1/8"=1'-0"



FRONT ELEVATION # 2

1/8"=1'-0"



FRONT ELEVATION # 3

SHOWN WITH OPTIONAL WINDOWS AT GARAGE DOOR

1/8"=1'-0"



FRONT ELEVATION # 4

1/8"=1'-0"



REAR ELEVATION

1/8"=1'-0"

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VISTA

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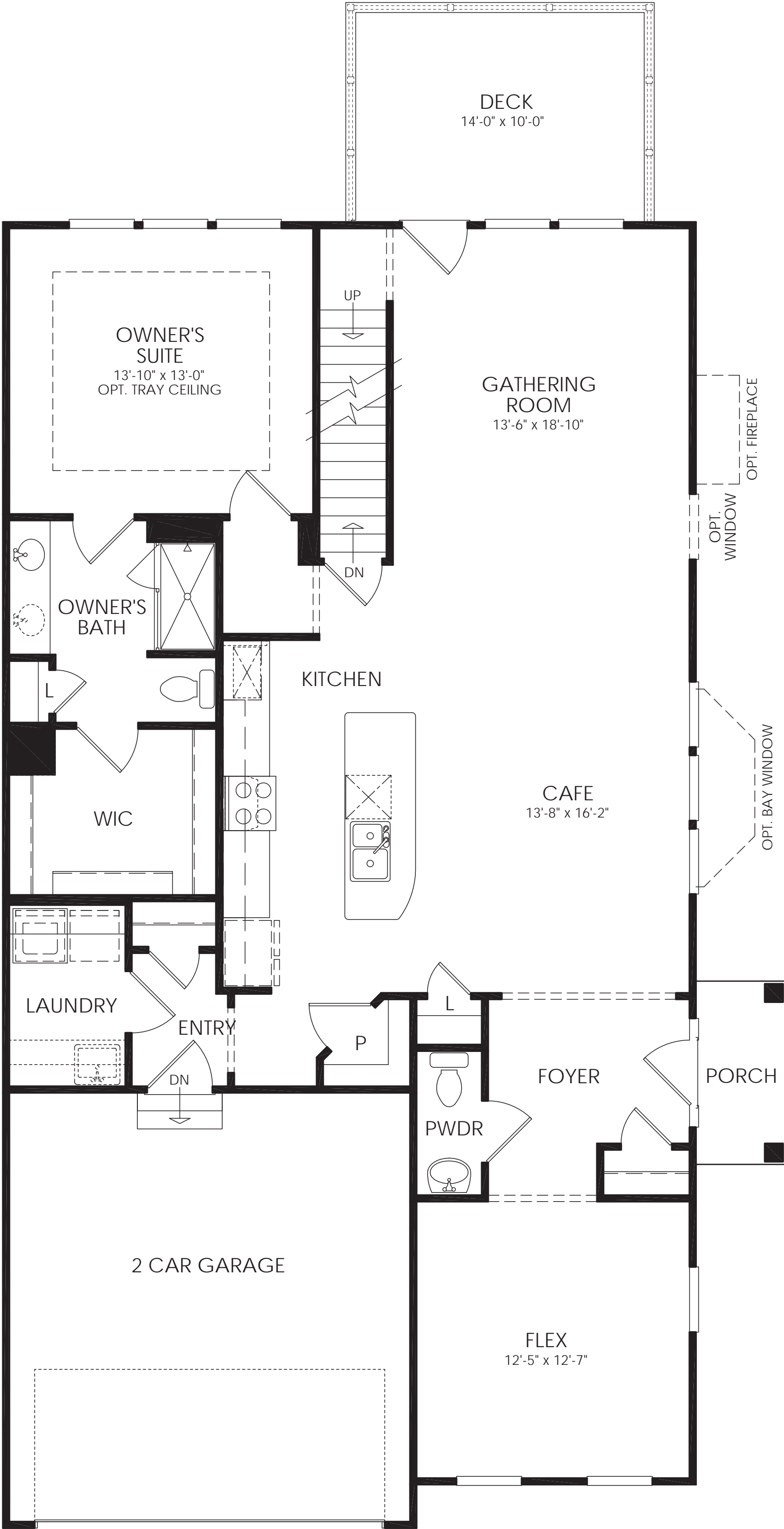


A-8

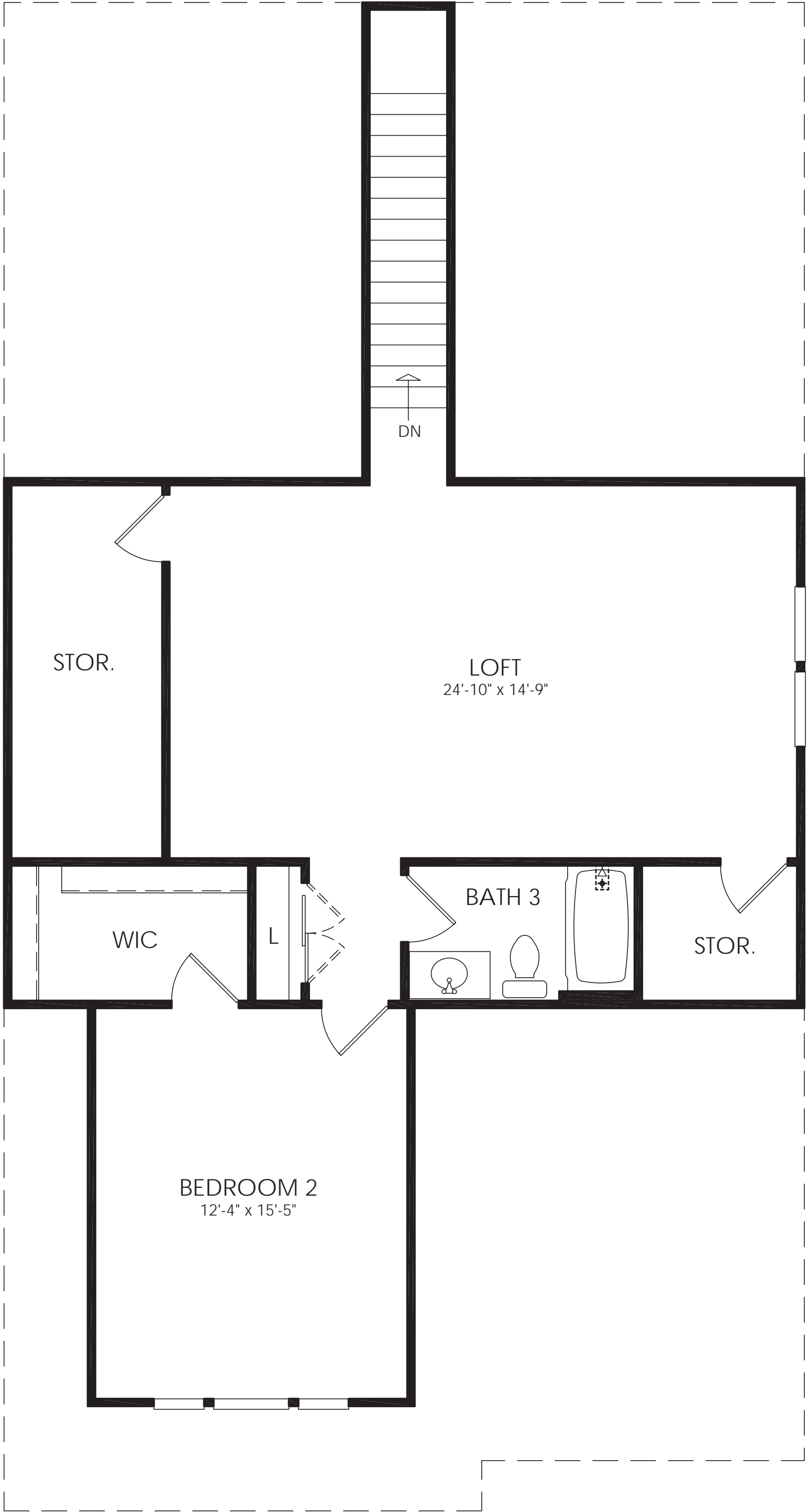


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GROSS SQUARE FEET:  
2,274 +/-





# MEADOWBROOK COMMONS



FRONT ELEVATION # 1

SHOWN WITH OPTIONAL WINDOWS AT GARAGE DOOR

3/16"=1'-0"



RIGHT SIDE ELEVATION (END CONDITION) - ELEV. #1

SHOWN WITH OPTIONAL 3-SEASON PORCH

3/16"=1'-0"



REAR ELEVATION

SHOWN WITH OPTIONAL 3-SEASON PORCH

3/16"=1'-0"



FRONT ELEVATION # 2

3/16"=1'-0"



FRONT ELEVATION # 3

3/16"=1'-0"



FRONT ELEVATION # 4

SHOWN WITH OPTIONAL WINDOWS AT GARAGE DOOR

3/16"=1'-0"

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FLORENCE

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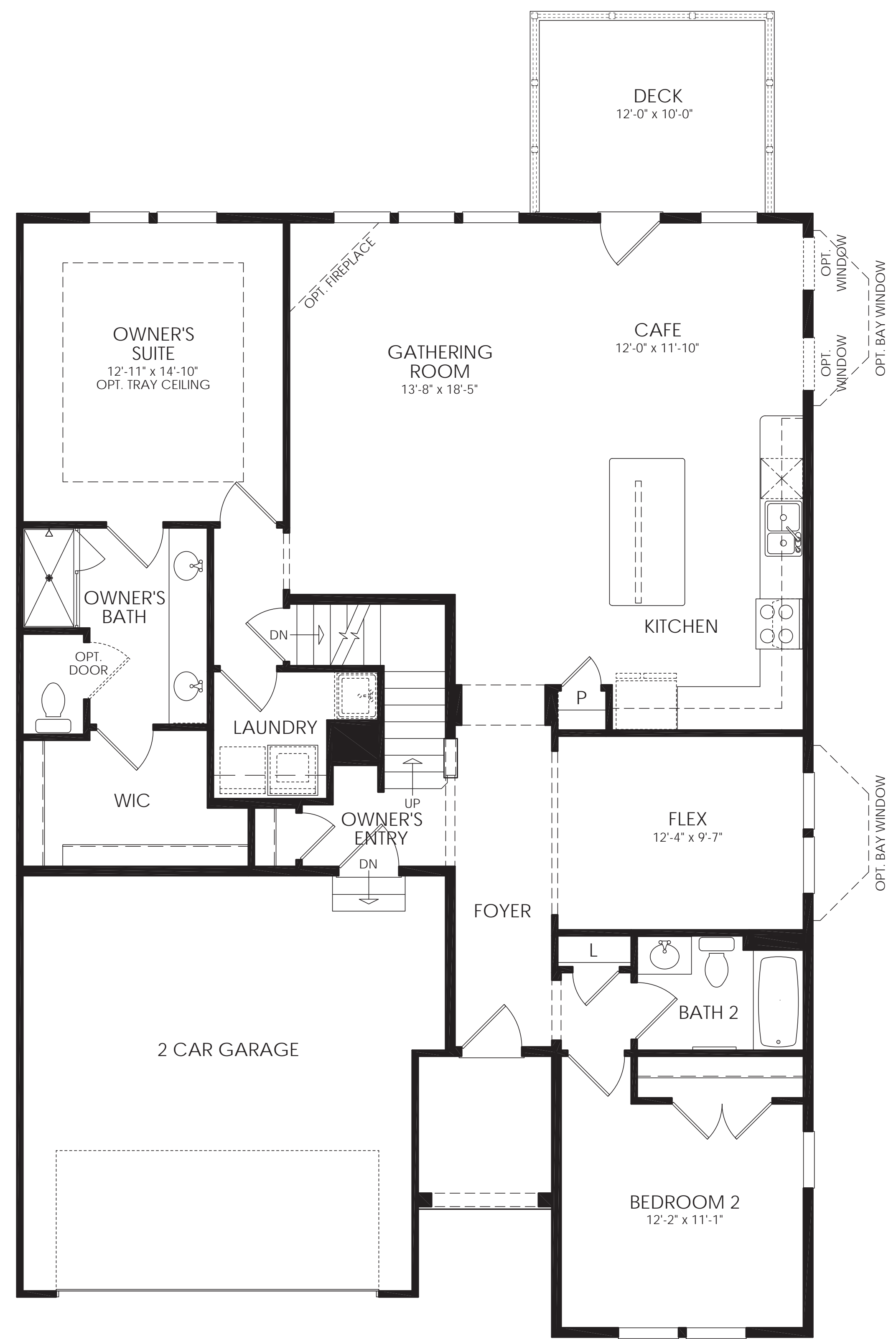


A-10



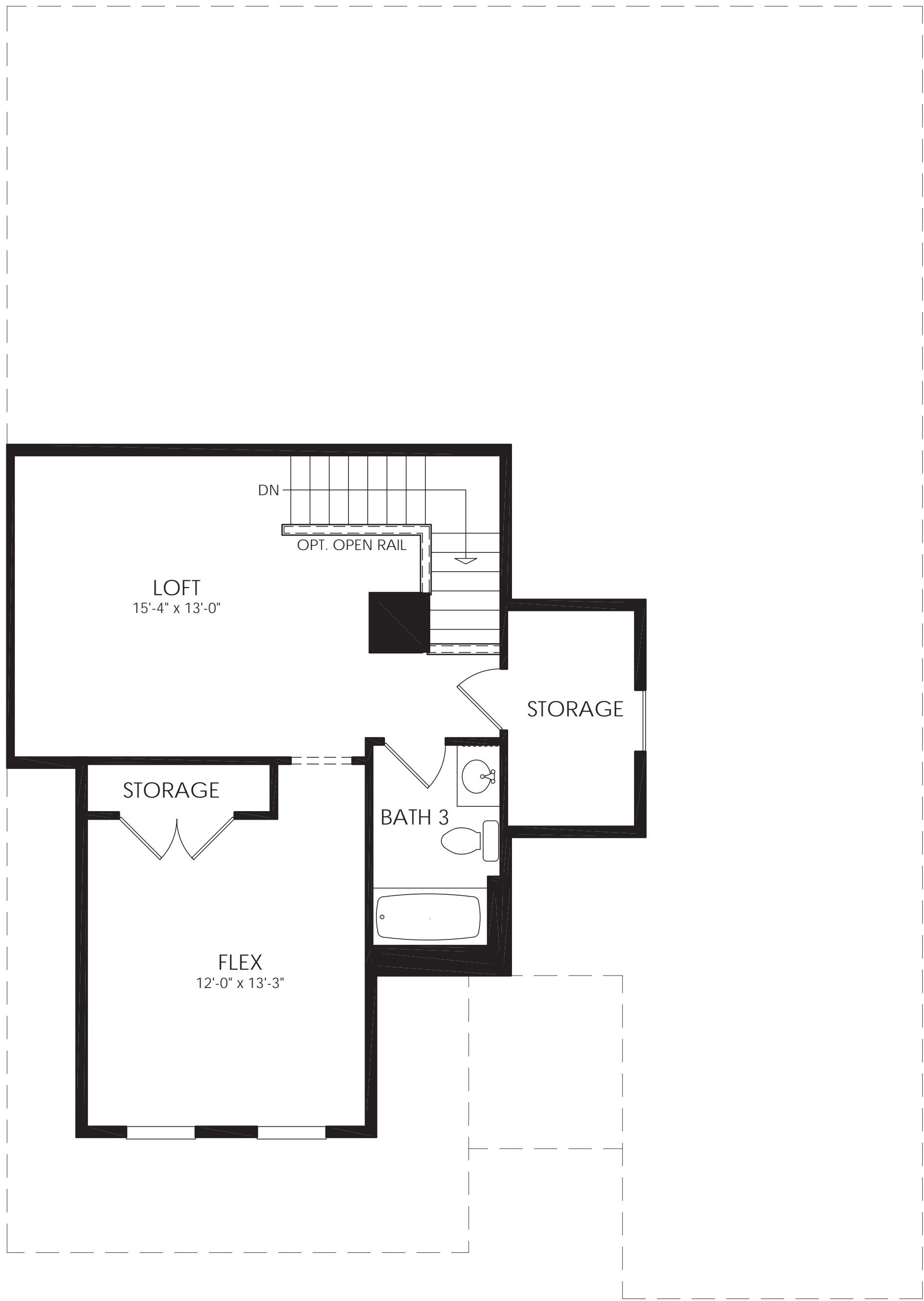
# MEADOWBROOK COMMONS

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First Floor

GROSS SQUARE FEET:  
2,160 +/-



Second Floor



MEADOWBROOK COMMONS



FRONT ELEVATION # 1  
SHOWN WITH OPTIONAL WINDOWS AT GARAGE DOOR 3/16"=1'-0"



RIGHT SIDE ELEVATION (END CONDITION) - ELEV. #1  
SHOWN WITH OPTIONAL 3-SEASON PORCH 3/16"=1'-0"



REAR ELEVATION  
SHOWN WITH OPTIONAL 3-SEASON PORCH 3/16"=1'-0"



FRONT ELEVATION # 2  
SHOWN WITH OPTIONAL WINDOWS AT GARAGE DOOR 3/16"=1'-0"



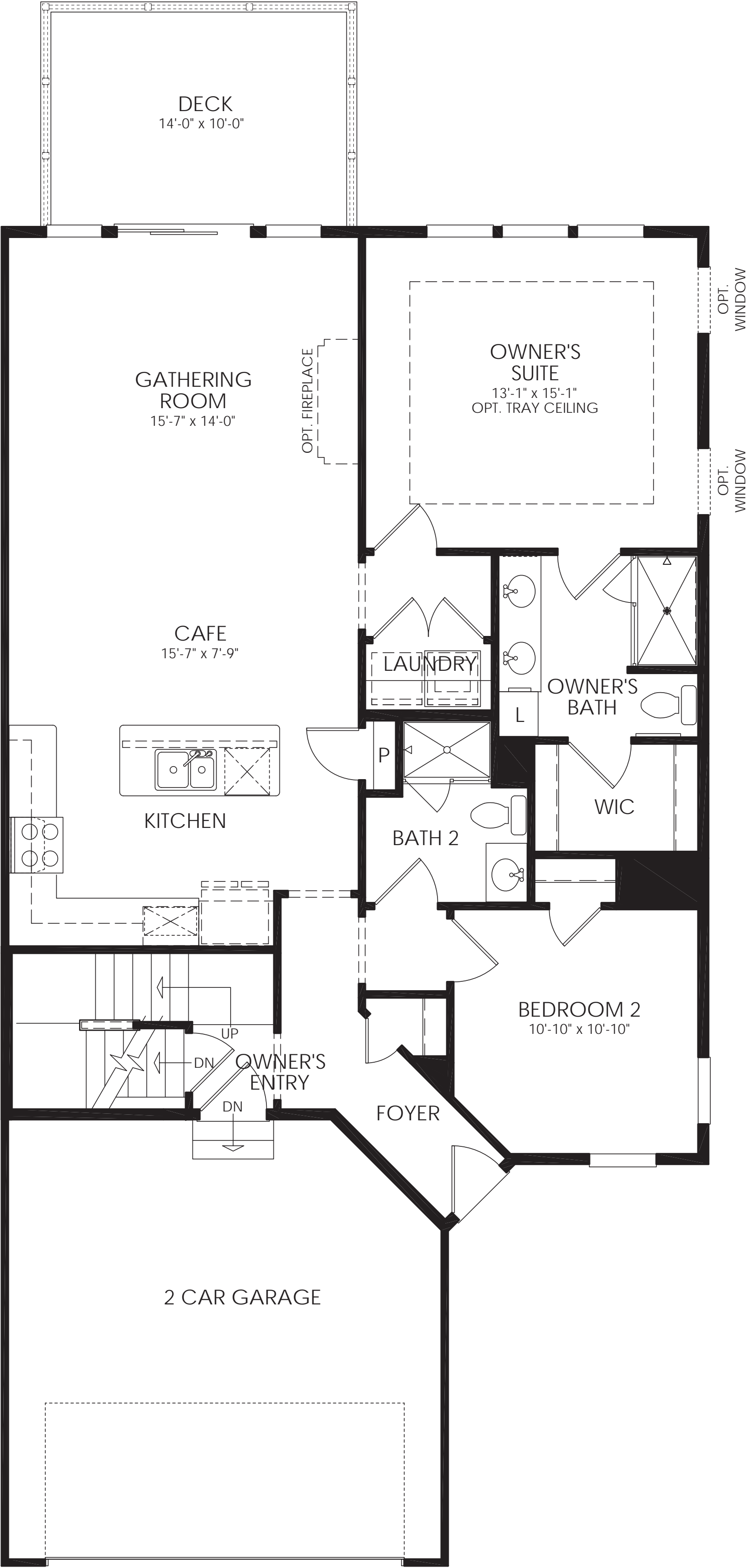
FRONT ELEVATION # 3  
3/16"=1'-0"

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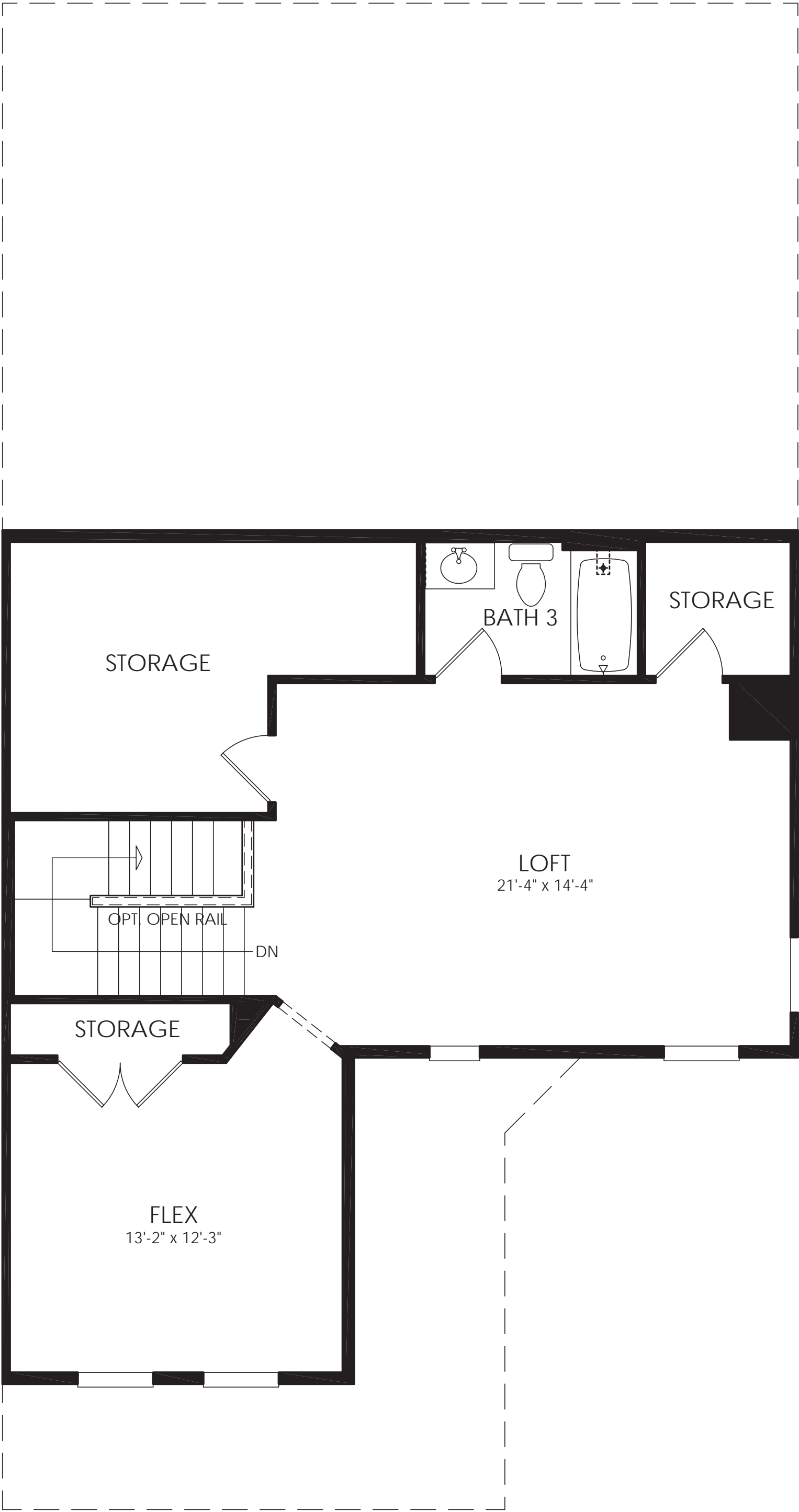
# MEADOWBROOK COMMONS

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First Floor

GROSS SQUARE FEET:  
2,051 +/-



Second Floor



# MEADOWBROOK COMMONS



FRONT ELEVATION # 1  
SHOWN WITH OPTIONAL WINDOWS AT GARAGE DOOR 3/16"=1'-0"



RIGHT SIDE ELEVATION (END CONDITION) - ELEV. #1  
SHOWN WITH OPTIONAL 3-SEASON PORCH 3/16"=1'-0"



REAR ELEVATION  
SHOWN WITH OPTIONAL 3-SEASON PORCH 3/16"=1'-0"

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FRONT ELEVATION # 2  
3/16"=1'-0"



FRONT ELEVATION # 3  
3/16"=1'-0"

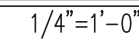


FRONT ELEVATION # 4  
SHOWN WITH OPTIONAL WINDOWS AT GARAGE DOOR 3/16"=1'-0"



FRONT ELEVATION # 5  
SHOWN WITH OPTIONAL WINDOWS AT GARAGE DOOR 3/16"=1'-0"





**New England Division**  
115 Flanders Road, Suite 200  
Westborough, MA 01581



SHERBORN - CLUB HOUSE  
BUILDING ELEVATIONS

[illegible]

PROJECT TYPE

COMMUNITY NAME

LAWSON COMMUNITY ID

#### GARAGE HANDING

SPECIFICATION LEVEL
---------------------

PLAN NAME

NPC PLAN NUMBER

LAWSON PLAN ID

[illegible]

SHEET

a101.3





1 FRONT ELEVATION

1/4"=1'-0"



2 LEFT SIDE ELEVATION

1/4"=1'-0"

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SHERBORN - CLUB HOUSE  
BUILDING ELEVATIONS

PRODUCTION MANAGER	
CURRENT RELEASE DATE: 01/--/--/2021	
REV #	DATE / DESCRIPTION
△	
△	
△	
△	
△	
△	
△	
△	

PROJECT TYPE
COMMUNITY NAME
LAWSON COMMUNITY ID
GARAGE HANDING
SPECIFICATION LEVEL
PLAN NAME
NPC PLAN NUMBER
LAWSON PLAN ID
LEGACY PLAN NUMBER / NAME

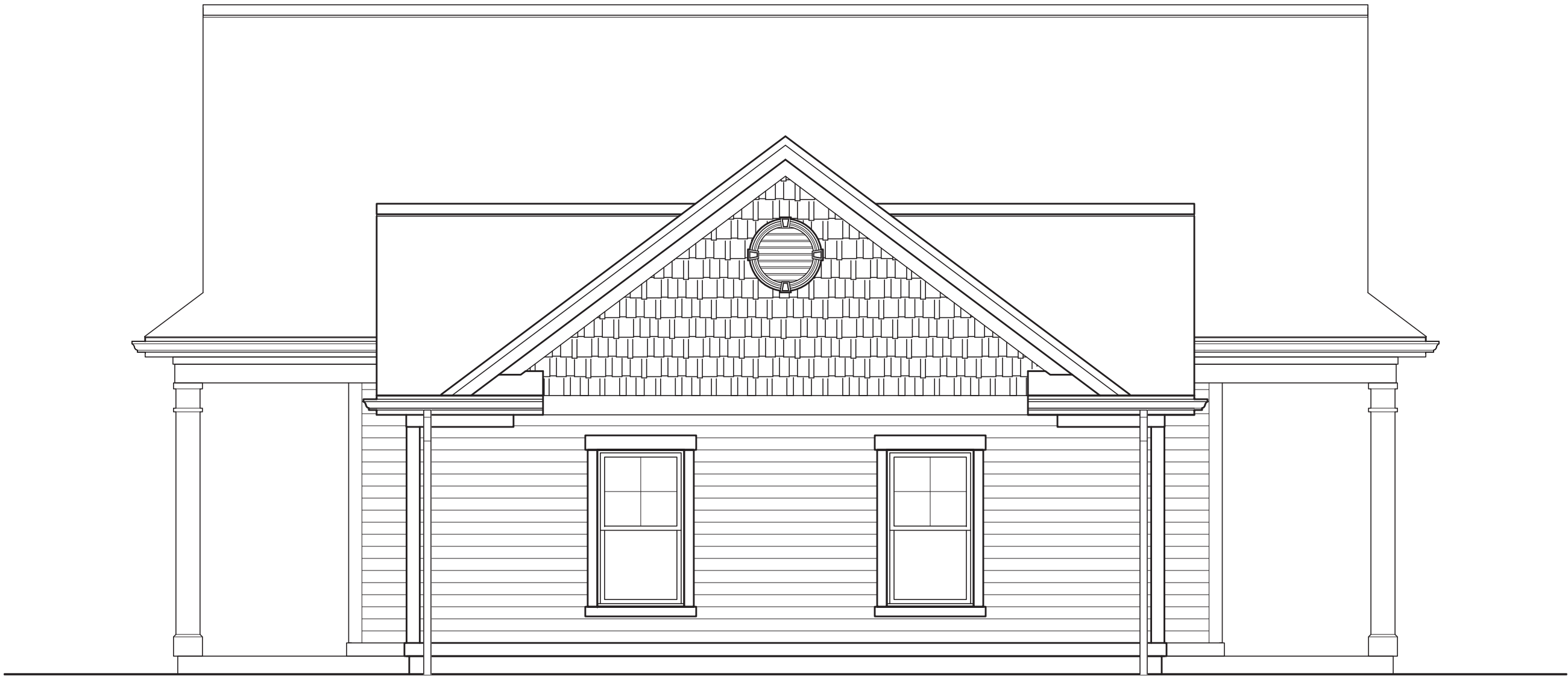
SHEET  
a201.3





3 REAR ELEVATION

1/4"=1'-0"



4 RIGHT SIDE ELEVATION

1/4"=1'-0"

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SHERBORN - CLUB HOUSE  
BUILDING ELEVATIONS

PRODUCTION MANAGER	
CURRENT RELEASE DATE: 01/--/--/2021	
REV #	DATE / DESCRIPTION
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PROJECT TYPE
COMMUNITY NAME
LAWSON COMMUNITY ID
GARAGE HANDING
SPECIFICATION LEVEL
PLAN NAME
NPC PLAN NUMBER
LAWSON PLAN ID
LEGACY PLAN NUMBER / NAME

SHEET  
a202.3