

ARCHITECTURAL PLANS FOR *MEADOWBROOK COMMONS*

RESIDENCE EA
MULTI-DWELLING COMMUNITY

84 & 104 COOLIDGE STREET
SHERBORN, MASSACHUSETTS

PREPARED BY:

**CIVIL DESIGN
GROUP, LLC**

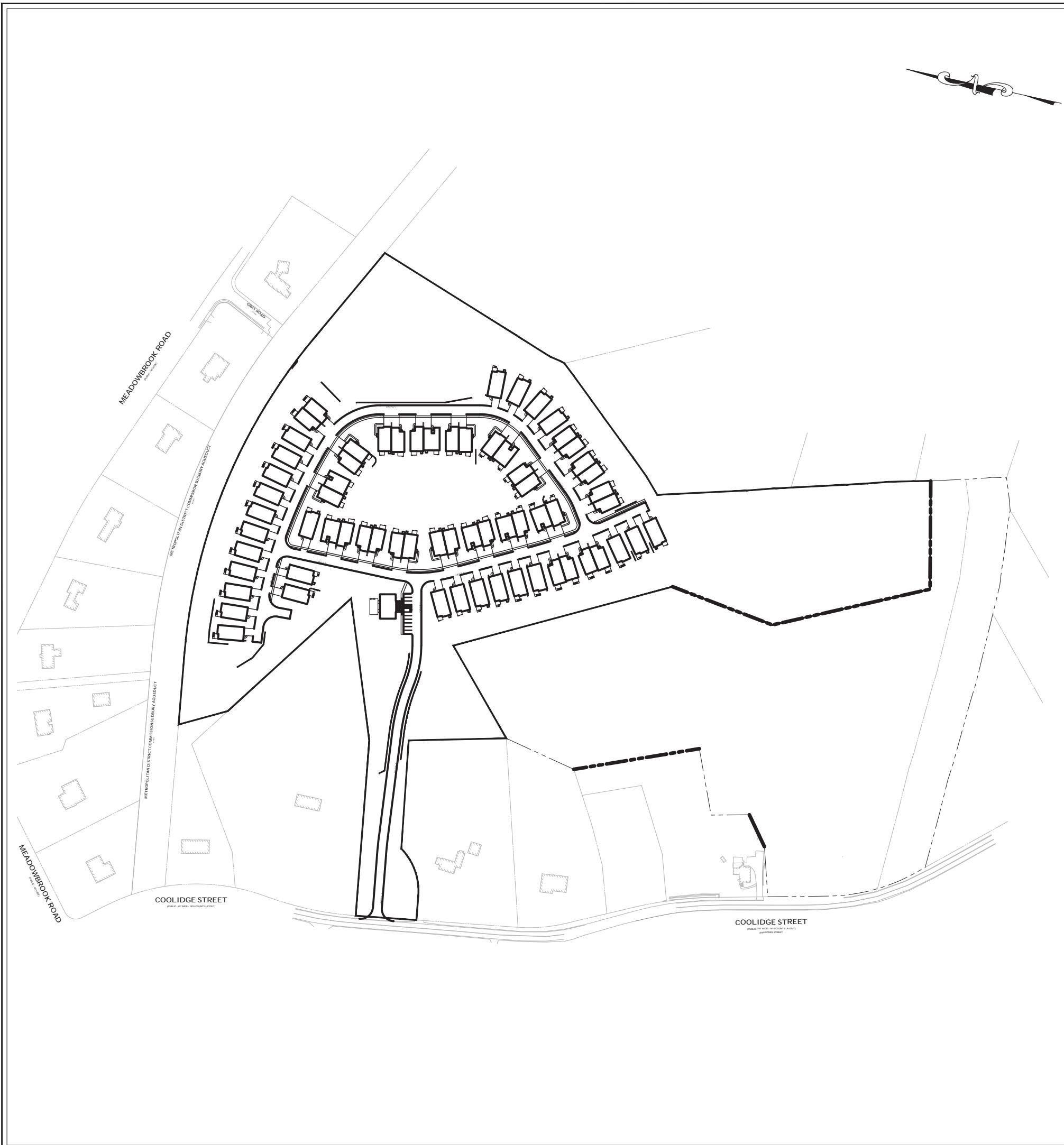
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NORTH ANDOVER, MA 01845
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CONTACT: MATTHEW LEIDNER, P.E.

PREPARED FOR:



PULTE HOMES OF NEW ENGLAND, LLC
115 FLANDERS ROAD
SUITE 200
WESTBOROUGH, MA 01581
www.pulte.com



OVERALL LAYOUT PLAN
SCALE: 1"=250'

RENDERINGS, ELEVATIONS, AND FLOOR PLANS PROVIDED CONTAIN A GREAT AMOUNT OF DETAIL TO PROVIDE A HIGH LEVEL OF VISUAL UNDERSTANDING OF THE PROPOSED ARCHITECTURAL PROGRAM. MINOR CHANGES TO THE ARCHITECTURAL ELEMENTS AND DETAILS PROVIDED MAY VARY THROUGHOUT THE PROJECT BUT THE DESIGN INTENT WILL REMAIN UNCHANGED.

MEADOWBROOK COMMONS



CHABLIS



NOIR HILL



VISTA



CHABLIS



NOIR HILL



VISTA



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PROPERTY OF PULTE HOMES. NO PART OF THIS PLAN MAY BE USED BY OTHERS WITHOUT EXPRESS WRITTEN CONSENT OF PULTE HOMES.

JULY 07, 2021

A-1

MEADOWBROOK COMMONS



TUSCAN/FLORENCE



TRENTINO/TUSCAN



TRENTINO/FLORENCE



FLORENCE/TUSCAN



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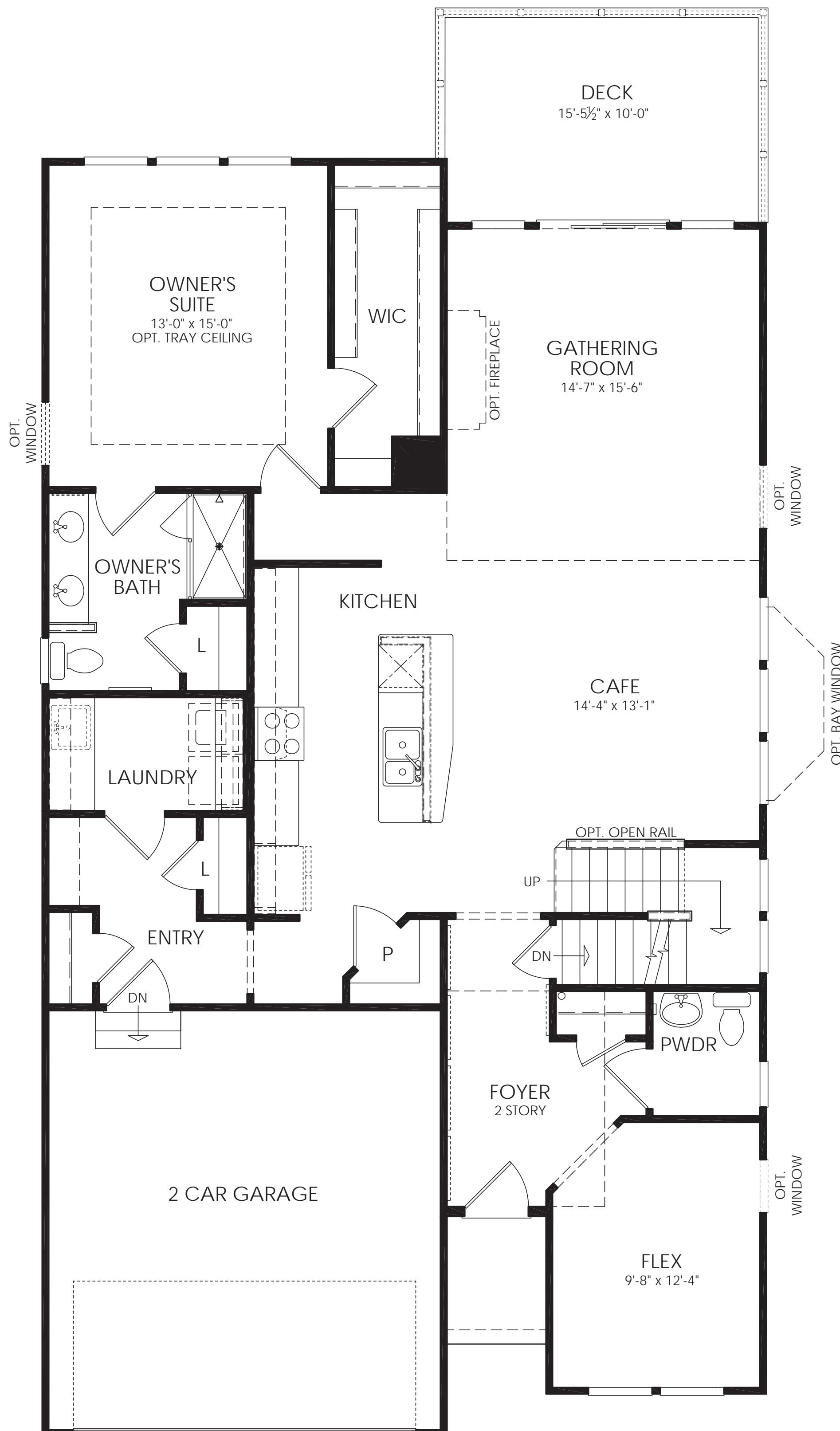
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JULY 07, 2021

A-2

MEADOWBROOK COMMONS

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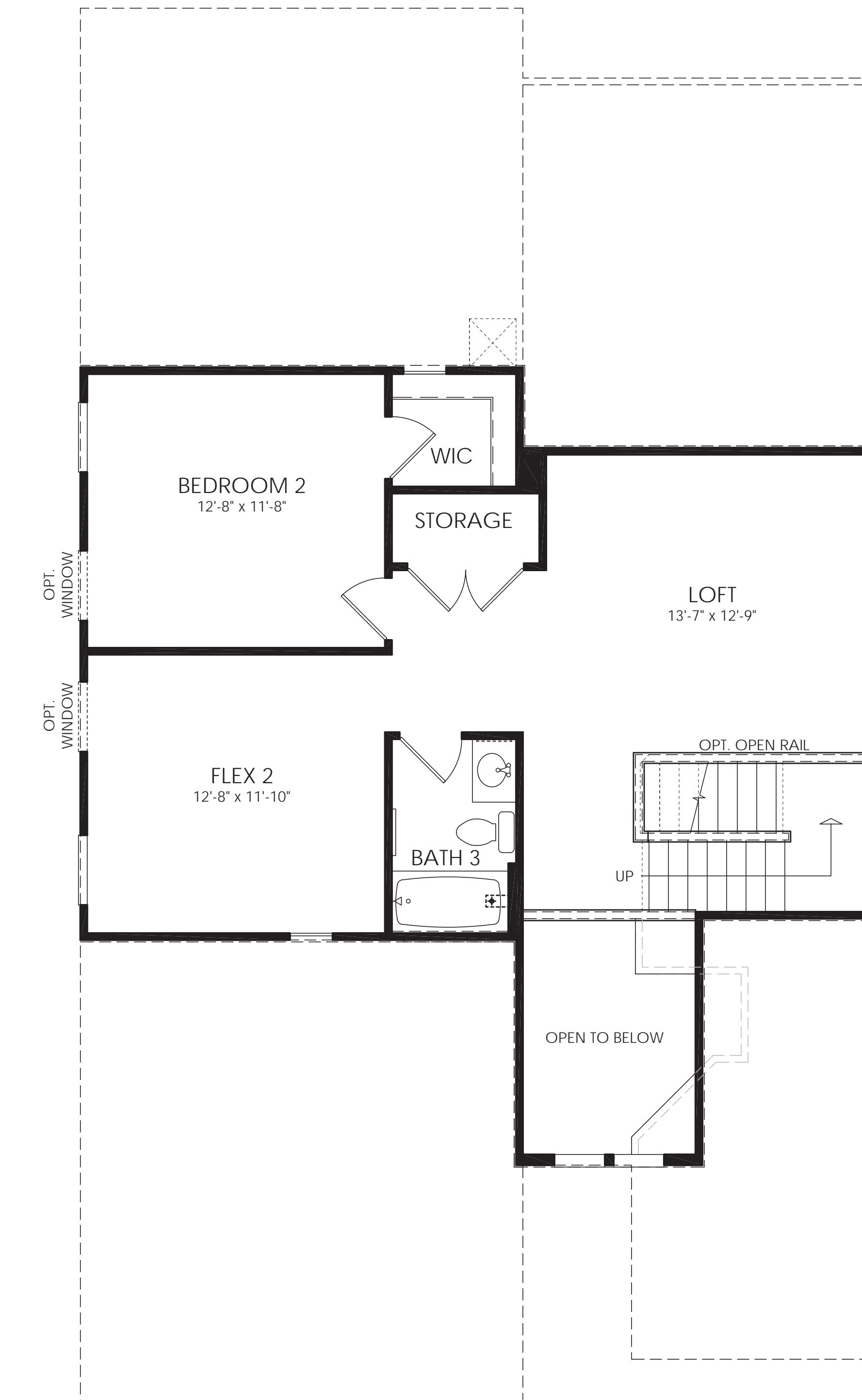
GROSS SQUARE FEET:
2,189 +/-

First Floor

Pulte Homes - New England Division
115 Flanders Road, Suite 200
Westborough, MA 01581

CHABLIS

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Second Floor



A-3

April 29, 2021

MEADOWBROOK COMMONS



ELEVATION #1 - LEFT SIDE ELEVATION

SHOWN WITH OPTIONAL 3-SEASON PORCH

1/8"=1'-0"



FRONT ELEVATION # 1

1/8"=1'-0"



ELEVATION #1 - RIGHT SIDE ELEVATION

SHOWN WITH OPTIONAL 3-SEASON PORCH

1/8"=1'-0"



FRONT ELEVATION # 2

SHOWN WITH OPTIONAL WINDOWS AT GARAGE DOOR

1/8"=1'-0"



FRONT ELEVATION # 3

1/8"=1'-0"



FRONT ELEVATION # 4

SHOWN WITH OPTIONAL WINDOWS AT GARAGE DOOR

1/8"=1'-0"



REAR ELEVATION

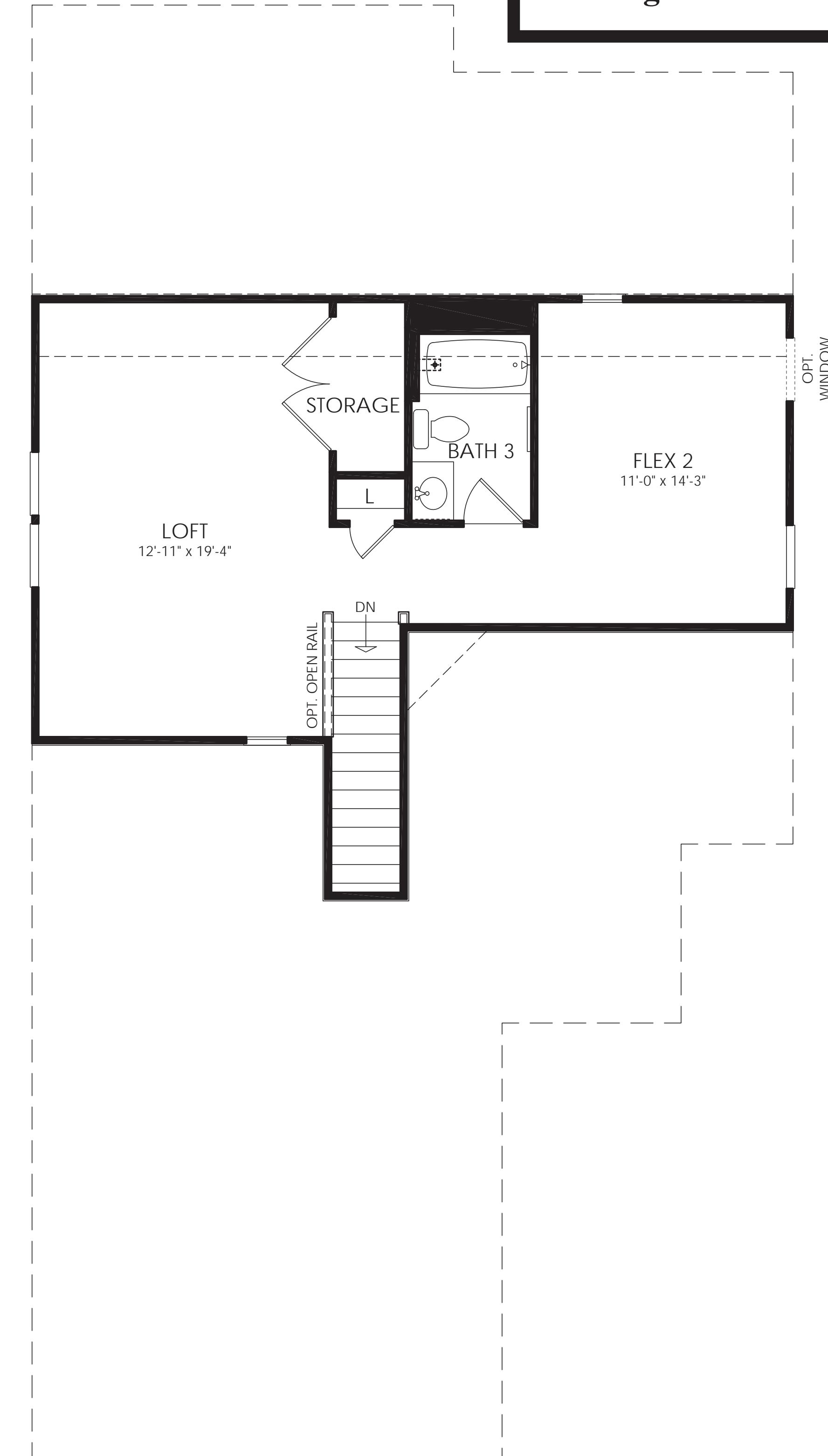
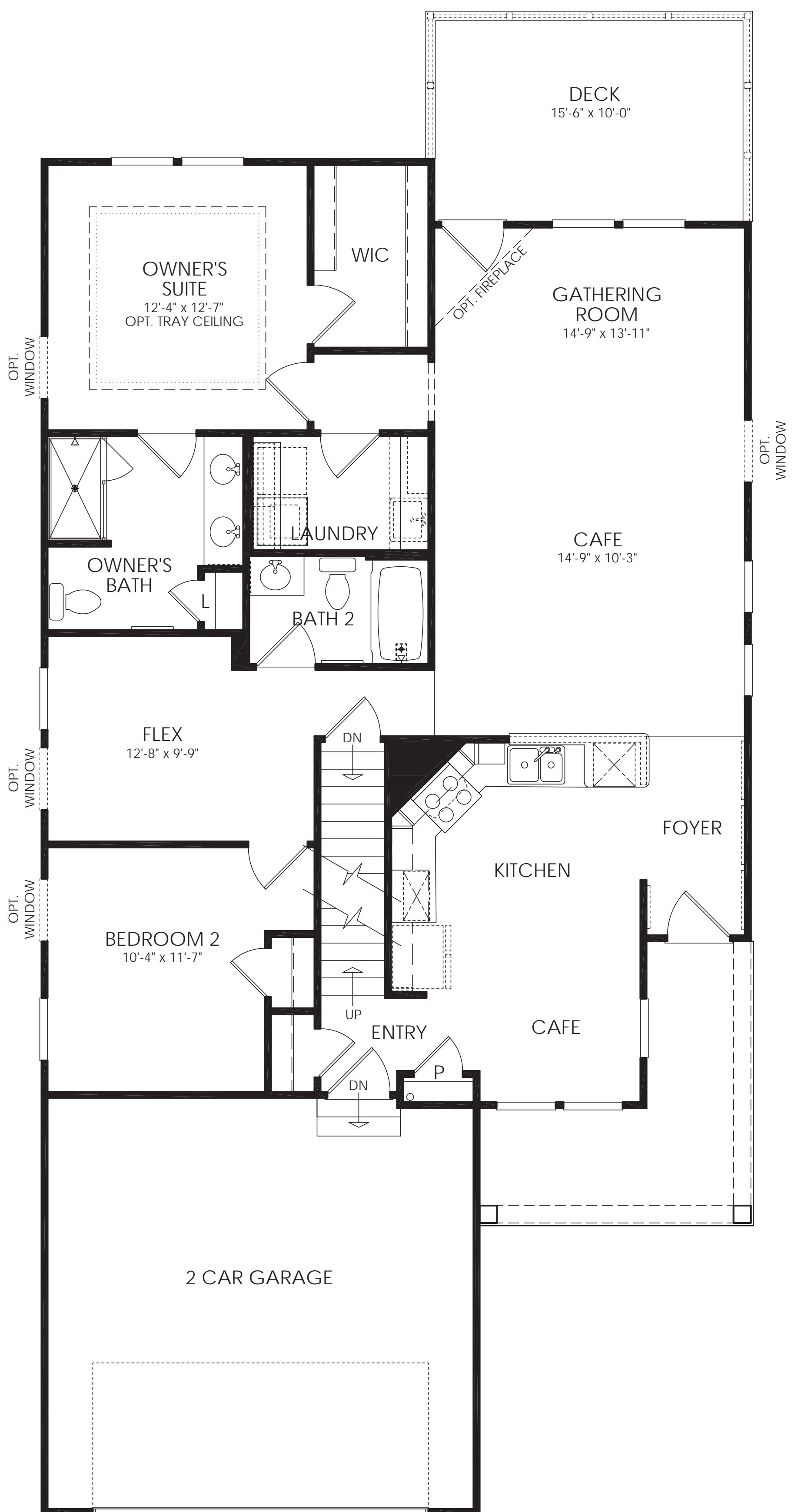
SHOWN WITH OPTIONAL 3-SEASON PORCH

1/8"=1'-0"

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MEADOWBROOK COMMONS



ELEVATION #5 - LEFT SIDE ELEVATION

SHOWN WITH OPTIONAL 3-SEASON PORCH

1/8"=1'-0"



FRONT ELEVATION # 1

SHOWN WITH OPTIONAL WINDOWS AT GARAGE DOOR

1/8"=1'-0"



ELEVATION #5 - RIGHT SIDE ELEVATION

SHOWN WITH OPTIONAL 3-SEASON PORCH

1/8"=1'-0"



FRONT ELEVATION # 2

1/8"=1'-0"



FRONT ELEVATION # 3

1/8"=1'-0"



FRONT ELEVATION # 4

SHOWN WITH OPTIONAL WINDOWS AT GARAGE DOOR

1/8"=1'-0"



REAR ELEVATION

SHOWN WITH OPTIONAL 3-SEASON PORCH

1/8"=1'-0"

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NOIR HILL

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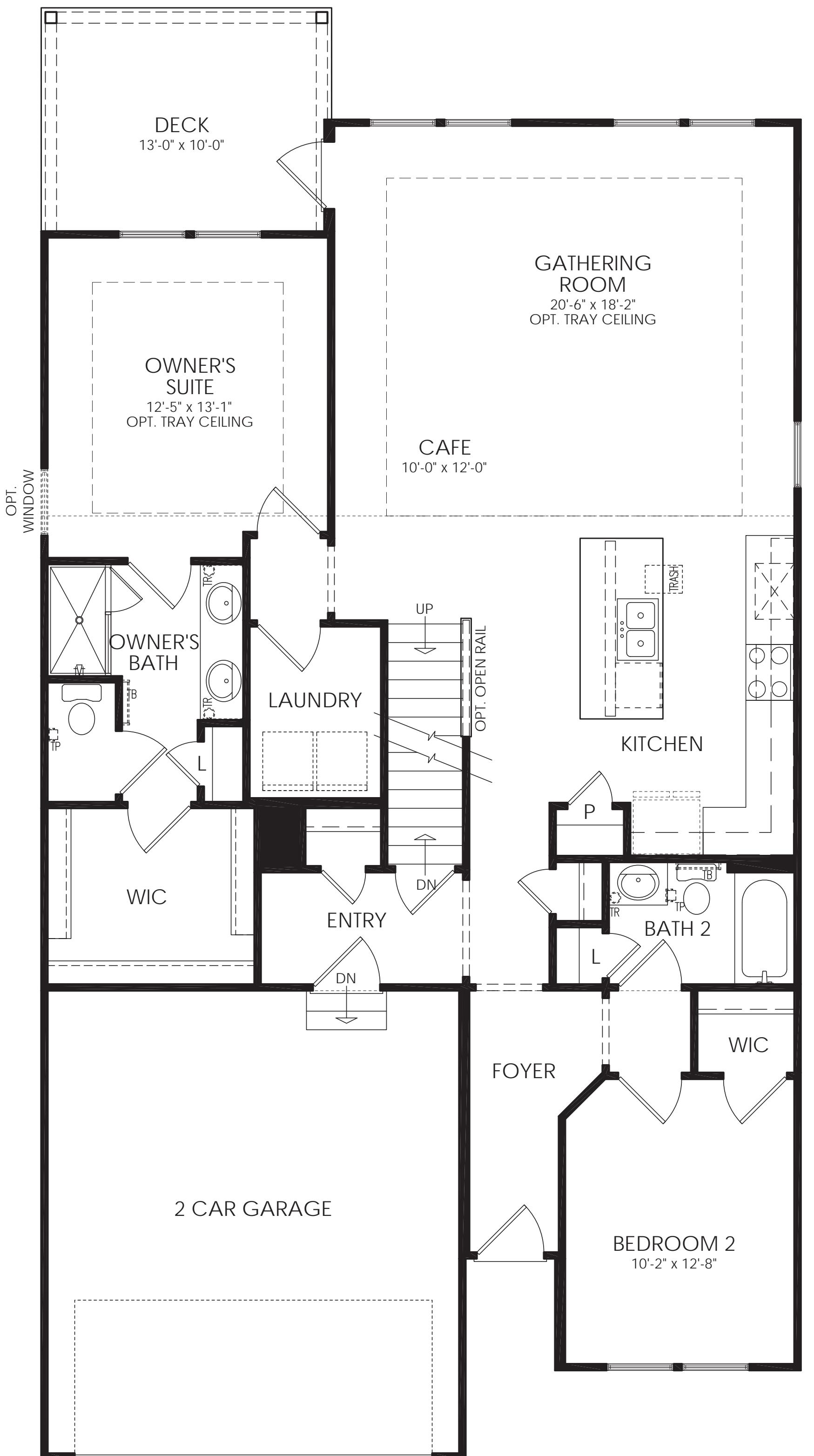
April 29, 2021

Pulte
HOMES

A-6

MEADOWBROOK COMMONS

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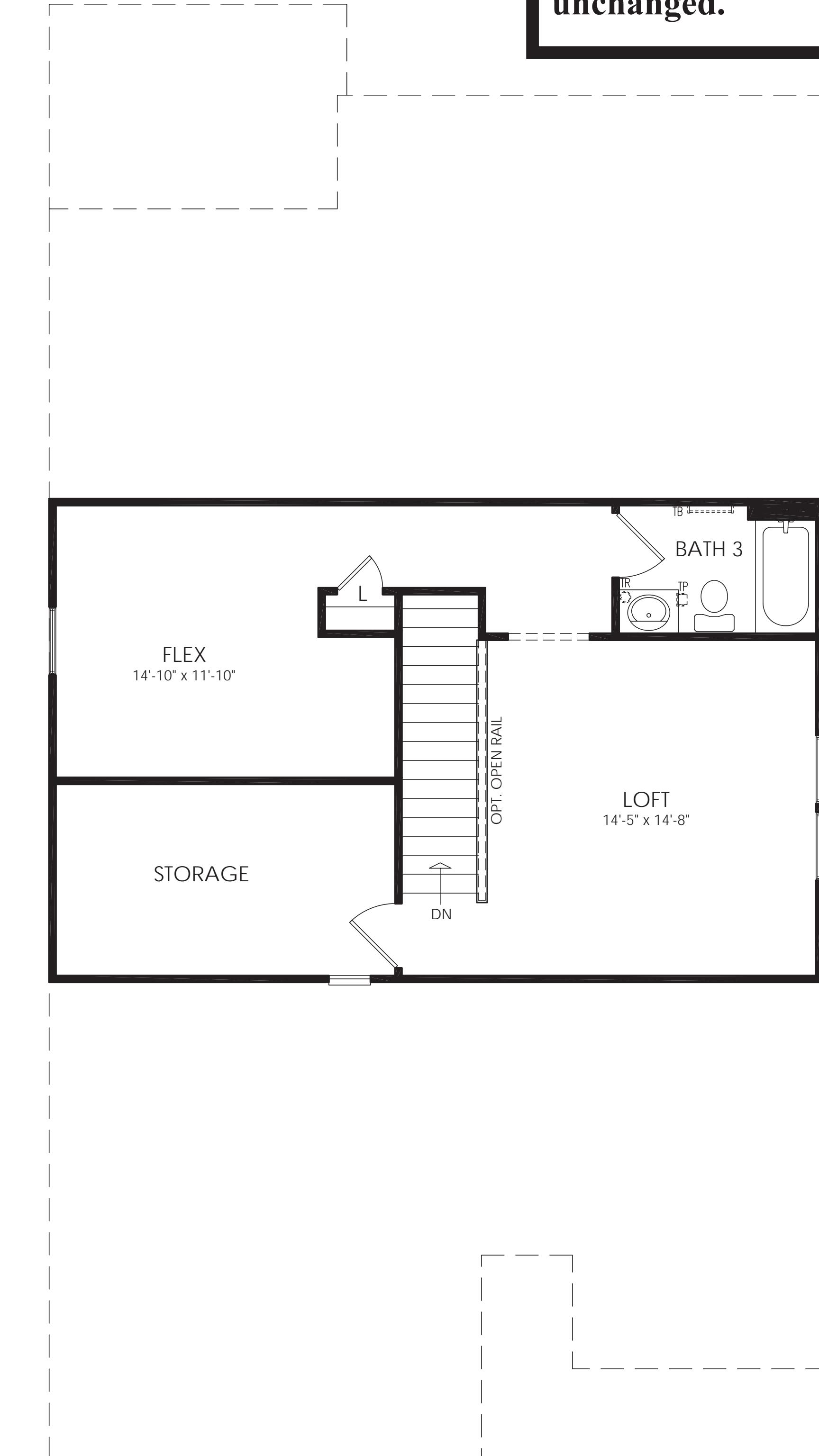
GROSS SQUARE FEET:
2,069 +/-

First Floor

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115 Flanders Road, Suite 200
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VISTA

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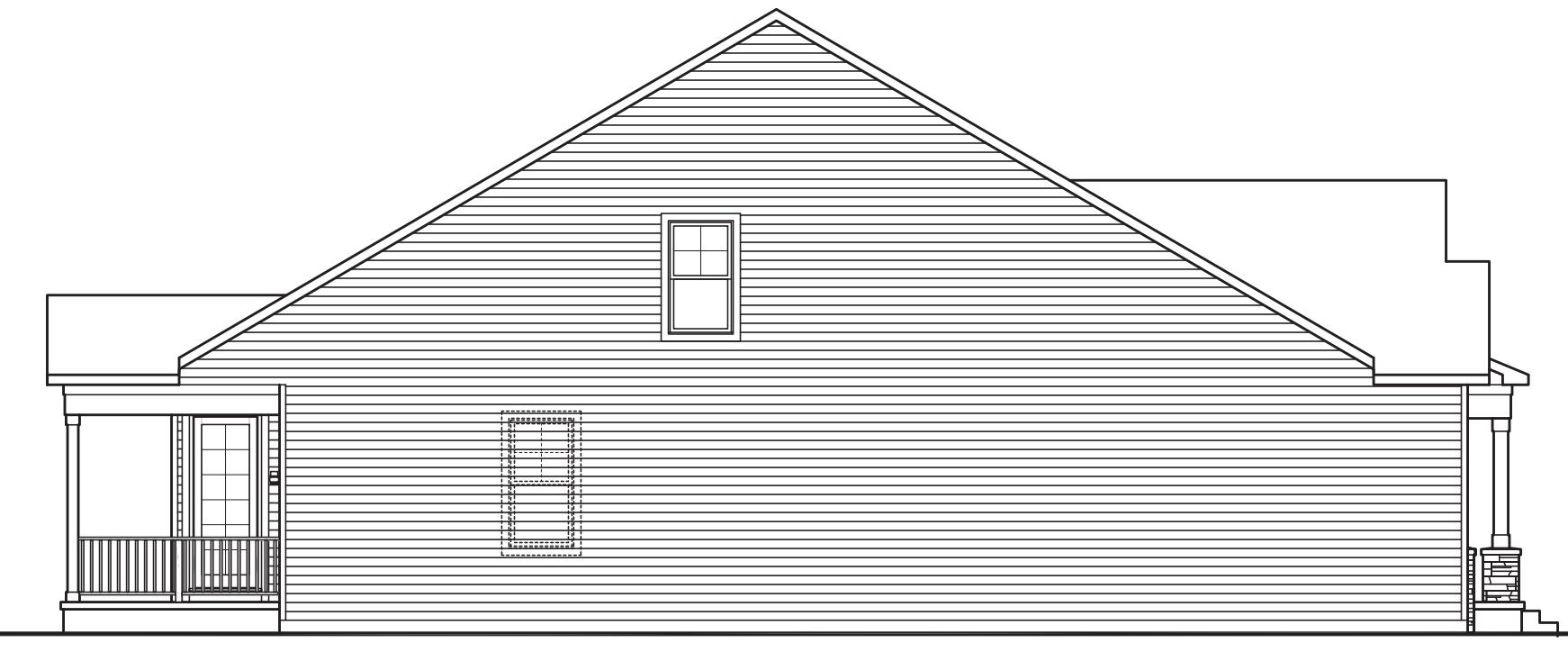
Second Floor

Pulte
HOMES

A-7

April 29, 2021

MEADOWBROOK COMMONS



ELEVATION #1 - LEFT SIDE ELEVATION

1/8"=1'-0"



FRONT ELEVATION # 1

SHOWN WITH OPTIONAL WINDOWS AT GARAGE DOOR

1/8"=1'-0"



ELEVATION #1 - RIGHT SIDE ELEVATION

1/8"=1'-0"



FRONT ELEVATION # 2

1/8"=1'-0"



FRONT ELEVATION # 3

SHOWN WITH OPTIONAL WINDOWS AT GARAGE DOOR

1/8"=1'-0"



FRONT ELEVATION # 4

1/8"=1'-0"



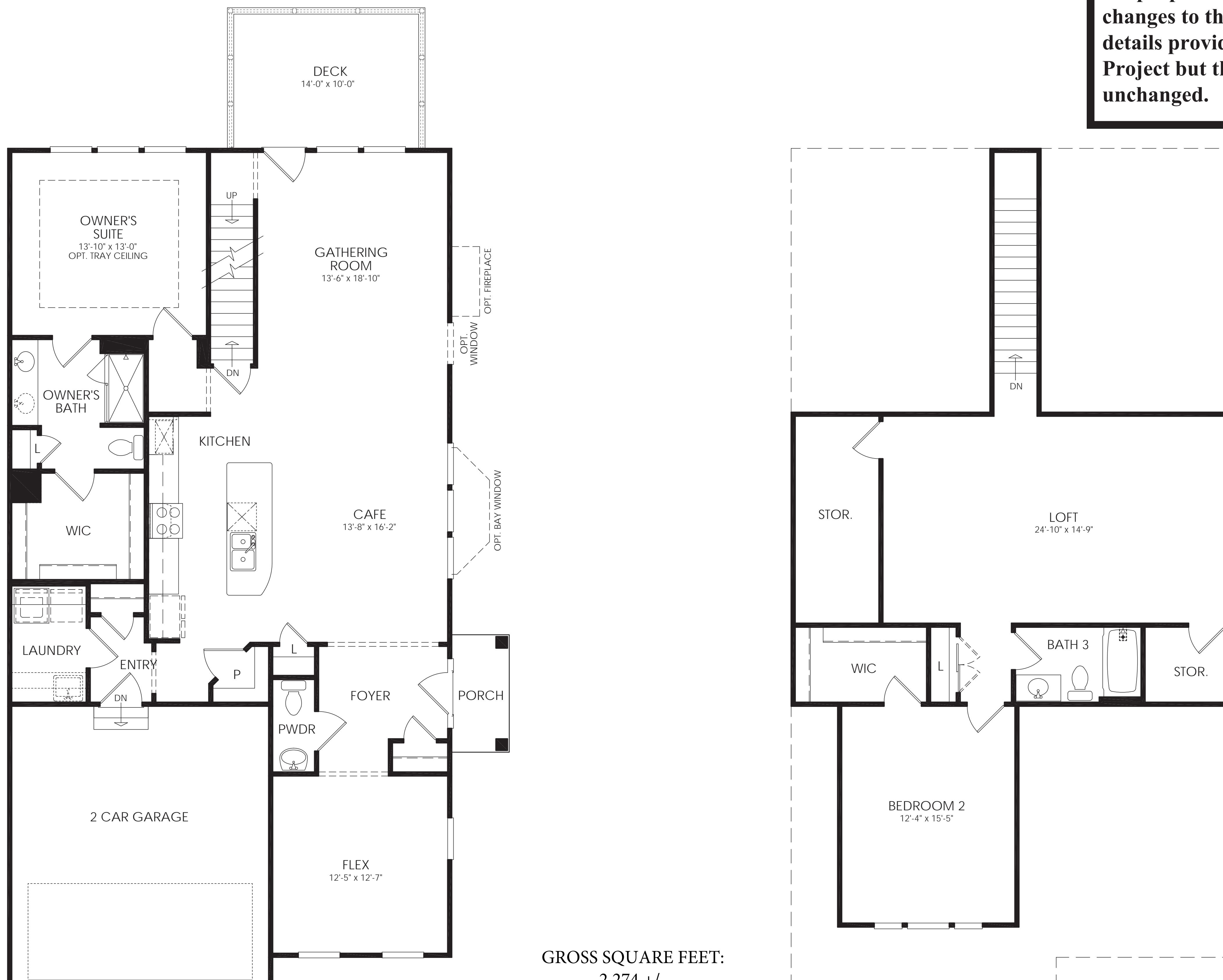
REAR ELEVATION

1/8"=1'-0"

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MEADOWBROOK COMMONS



FRONT ELEVATION #1

SHOWN WITH OPTIONAL WINDOWS AT GARAGE DOOR

3/16"=1'-0"



RIGHT SIDE ELEVATION (END CONDITION) - ELEV. #1

SHOWN WITH OPTIONAL 3-SEASON PORCH

3/16"=1'-0"



REAR ELEVATION

SHOWN WITH OPTIONAL 3-SEASON PORCH

3/16"=1'-0"



FRONT ELEVATION #2

3/16"=1'-0"



FRONT ELEVATION #3

3/16"=1'-0"



FRONT ELEVATION #4

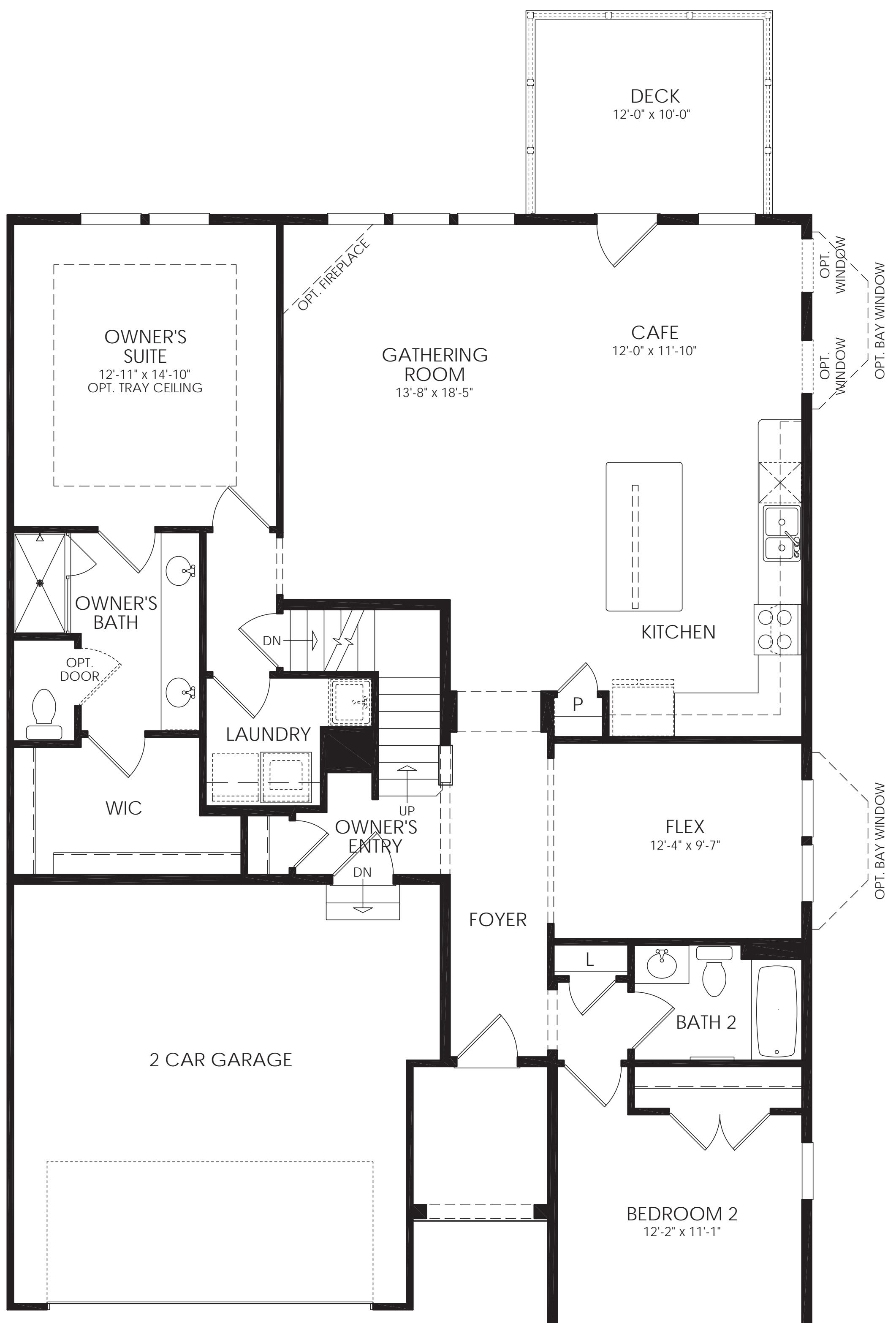
SHOWN WITH OPTIONAL WINDOWS AT GARAGE DOOR

3/16"=1'-0"

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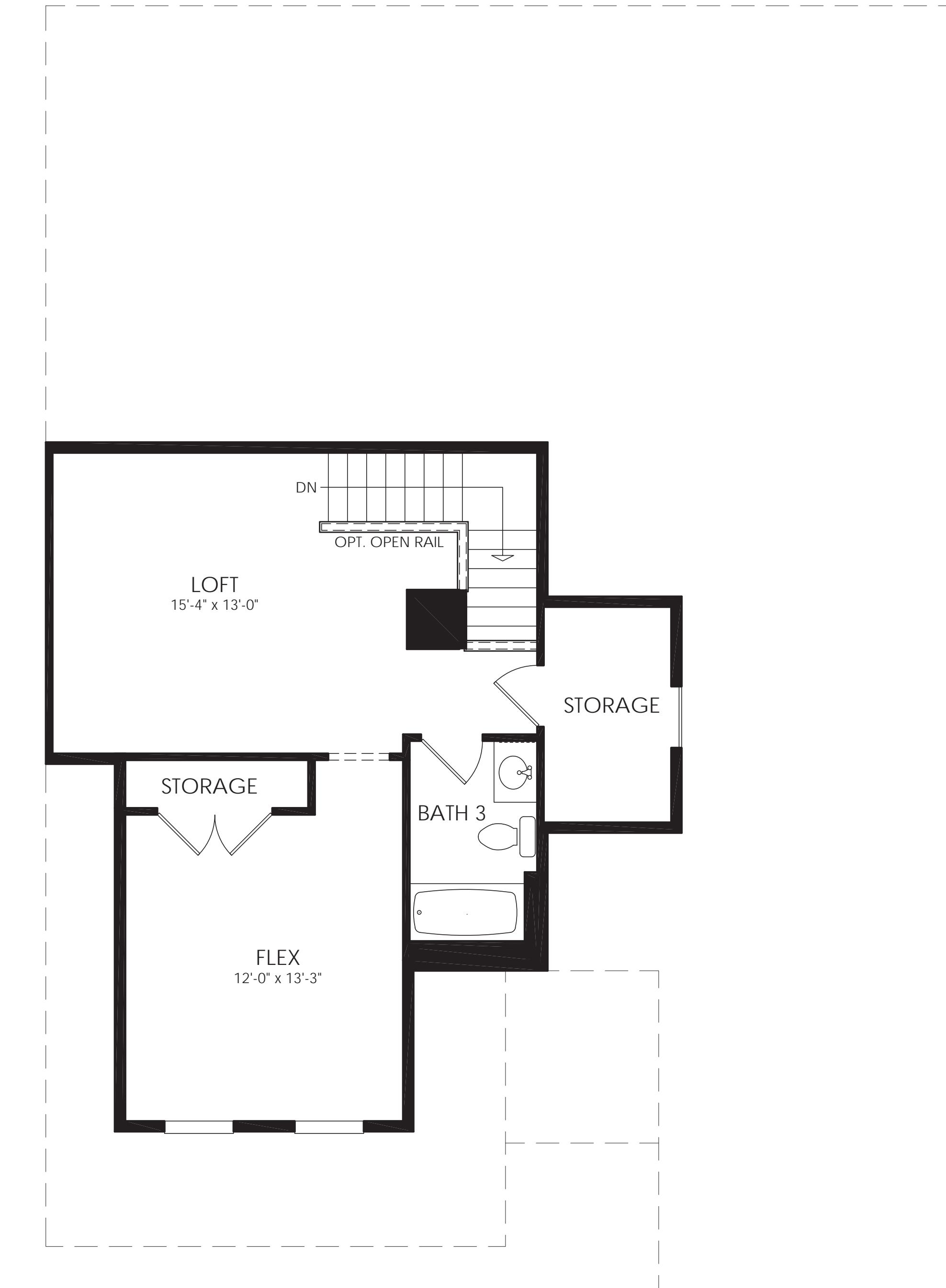
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First Floor

GROSS SQUARE FEET:
2,160 +/-



Second Floor

MEADOWBROOK COMMONS



FRONT ELEVATION # 1

SHOWN WITH OPTIONAL WINDOWS AT GARAGE DOOR

3/16"=1'-0"



RIGHT SIDE ELEVATION (END CONDITION) - ELEV. #1

SHOWN WITH OPTIONAL 3-SEASON PORCH

3/16"=1'-0"



REAR ELEVATION

SHOWN WITH OPTIONAL 3-SEASON PORCH

3/16"=1'-0"



FRONT ELEVATION # 2

SHOWN WITH OPTIONAL WINDOWS AT GARAGE DOOR

3/16"=1'-0"

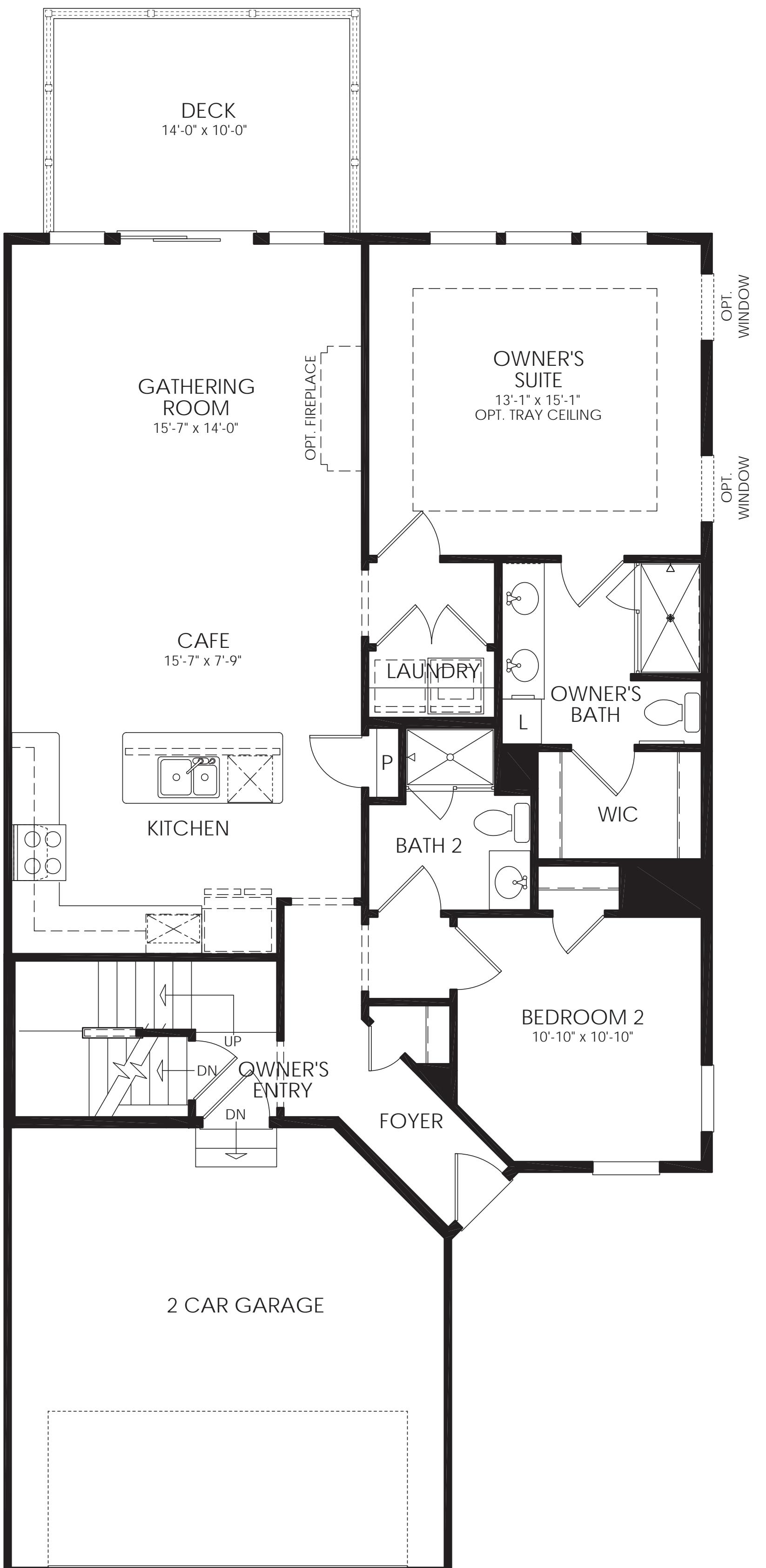


FRONT ELEVATION # 3

3/16"=1'-0"

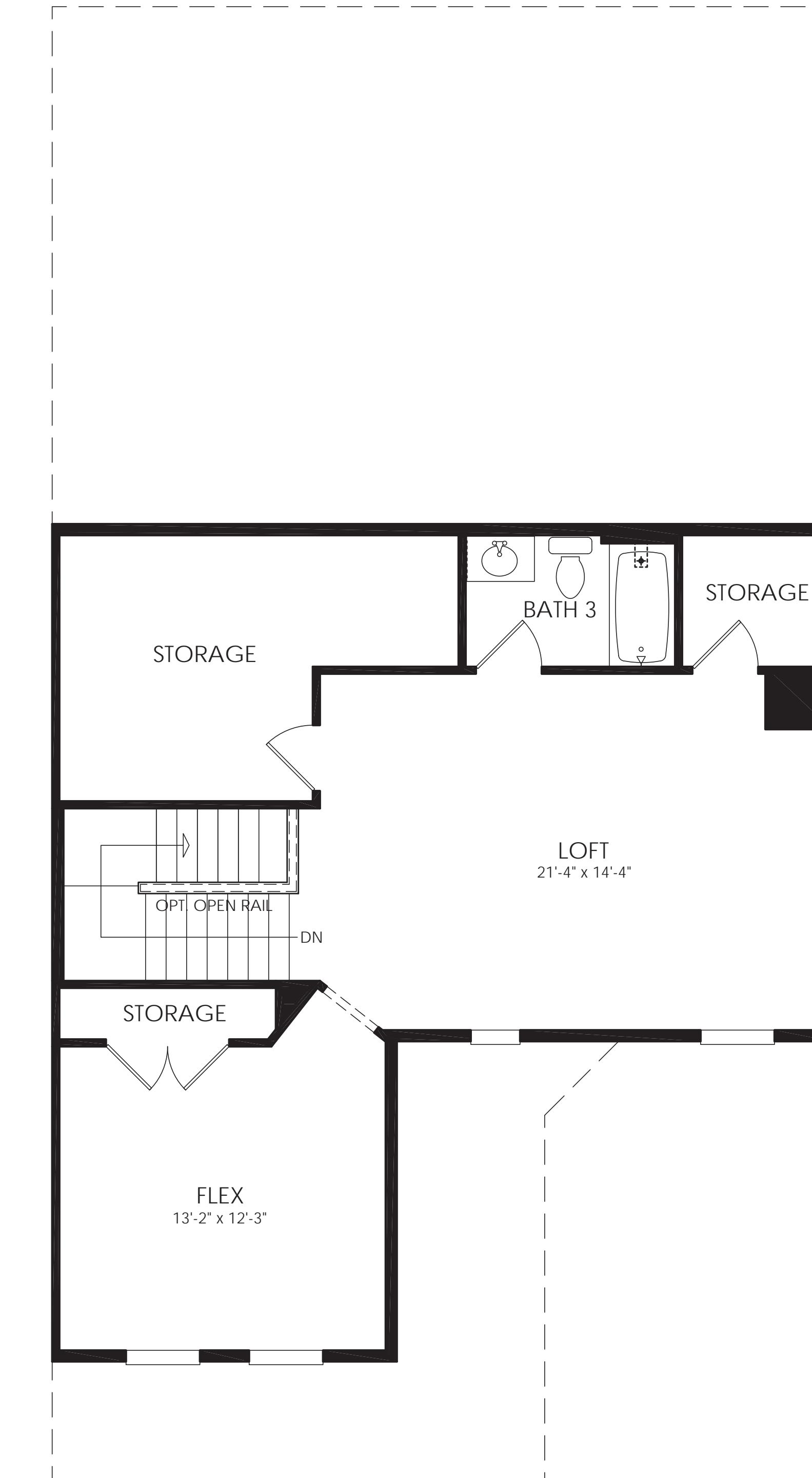
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MEADOWBROOK COMMONS



First Floor

GROSS SQUARE FEET:
2,051 +/-



Second Floor

MEADOWBROOK COMMONS



FRONT ELEVATION # 1

SHOWN WITH OPTIONAL WINDOWS AT GARAGE DOOR



RIGHT SIDE ELEVATION (END CONDITION) - ELEV. #1

SHOWN WITH OPTIONAL 3 SEASON PORCH



REAR ELEVATION

SHOWN WITH OPTIONAL 3 SEASON PORCH

3/16"=1'-0"

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FRONT ELEVATION # 2



FRONT ELEVATION # 3



FRONT ELEVATION # 4

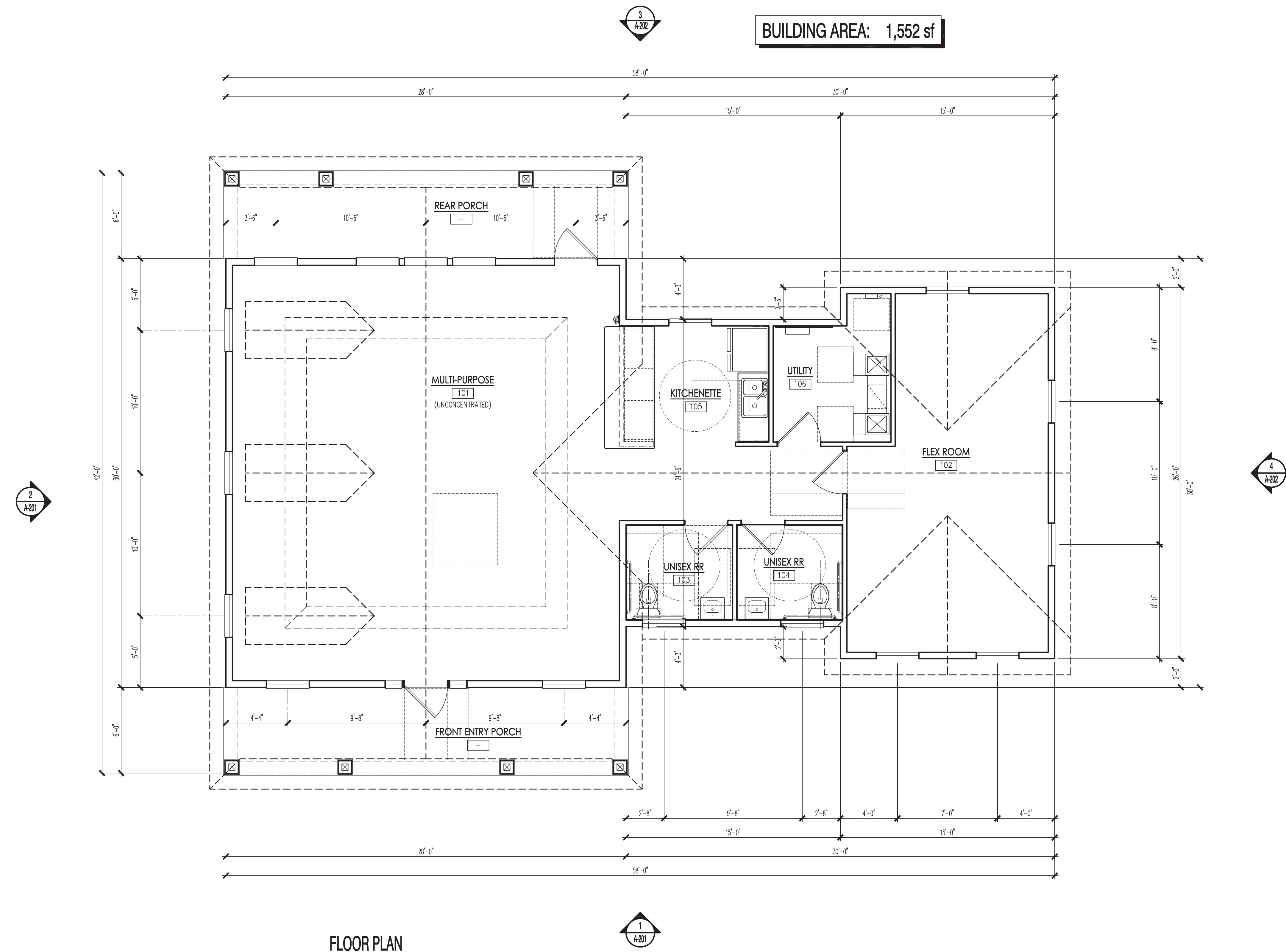
SHOWN WITH OPTIONAL WINDOWS AT GARAGE DOOR



FRONT ELEVATION # 5

SHOWN WITH OPTIONAL WINDOWS AT GARAGE DOOR

3/16"=1'-0"



SHERBORN - CLUB HOUSE BUILDING ELEVATIONS

PROJECT TYPE
COMMUNITY NAME
AWSON COMMUNITY ID
ARAGE HANDING
ECIFICATION LEVEL
AN NAME
PC PLAN NUMBER
AWSON PLAN ID
AGACY PLAN NUMBER / NAME

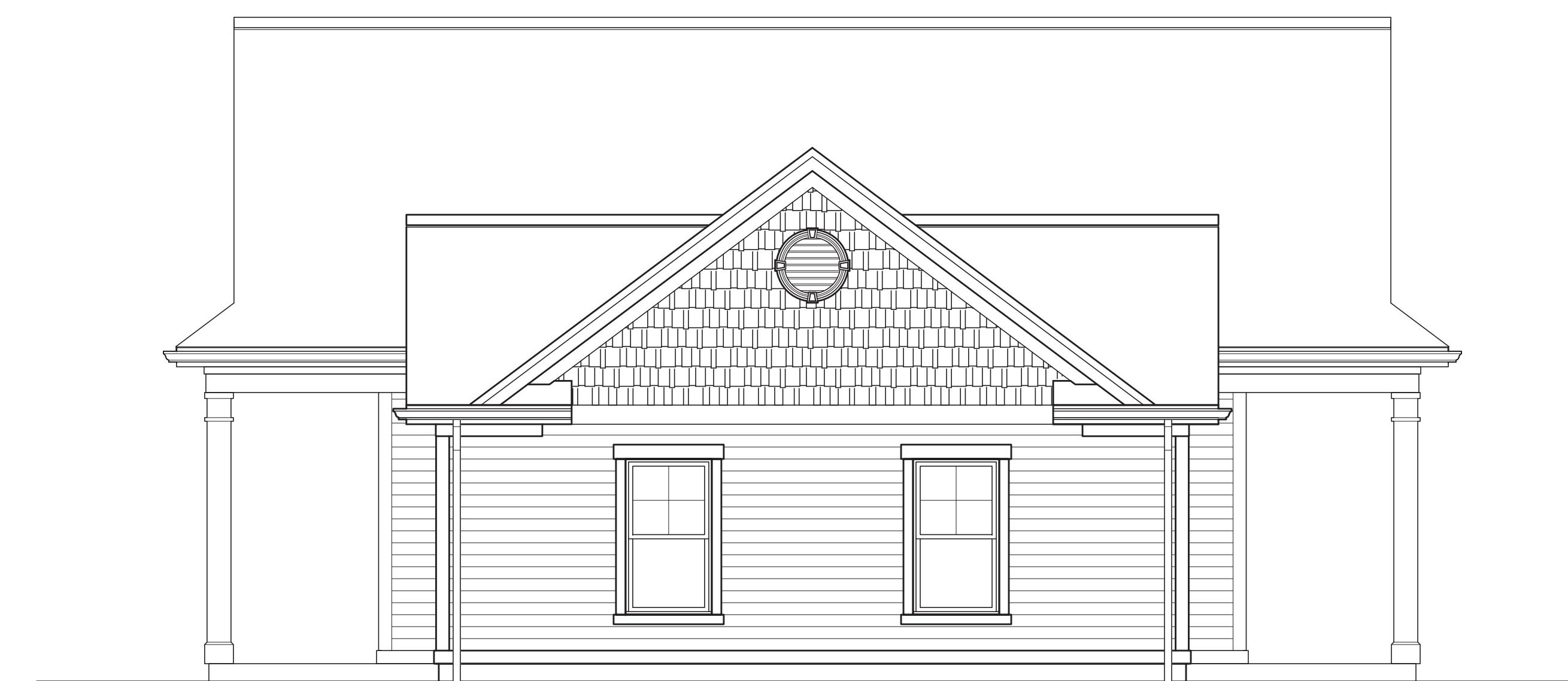
HEET
a101.3





3 REAR ELEVATION

1/4"=1'-0"



4 RIGHT SIDE ELEVATION

1/4"=1'-0"

PLOTTED: January 7, 2021 / James Lazo / X-BLDG-PLAN-PENNINGTON CROSSING CH-HOA.DWG

New England Division
115 Flanders Road, Suite 200
Westborough, MA 01581

SHERBORN - CLUB HOUSE

BUILDING ELEVATIONS

PRODUCTION MANAGER	
JL	
CURRENT	
RELEASE DATE: 01/--/2021	
REV #	DATE / DESCRIPTION
△	
△	
△	
△	
△	
△	
△	
△	
PROJECT TYPE	
COMMUNITY NAME	
LAWSON COMMUNITY ID	
GARAGE HANDING	
SPECIFICATION LEVEL	
PLAN NAME	
NPC PLAN NUMBER	

HEET
a202.3