



LOCUS PLAN
SCALE: 1"=2000'±

PROPERTY:

ASSESSOR'S MAP 5, LOTS 32 & 48A
OWNER OF RECORD:
MELCHIORRI REALY TRUST

ASSESSOR'S MAP 5, LOT 55
(PORTION THEREOF)
OWNER OF RECORD:
COOLIDGE CROSSING, LLC

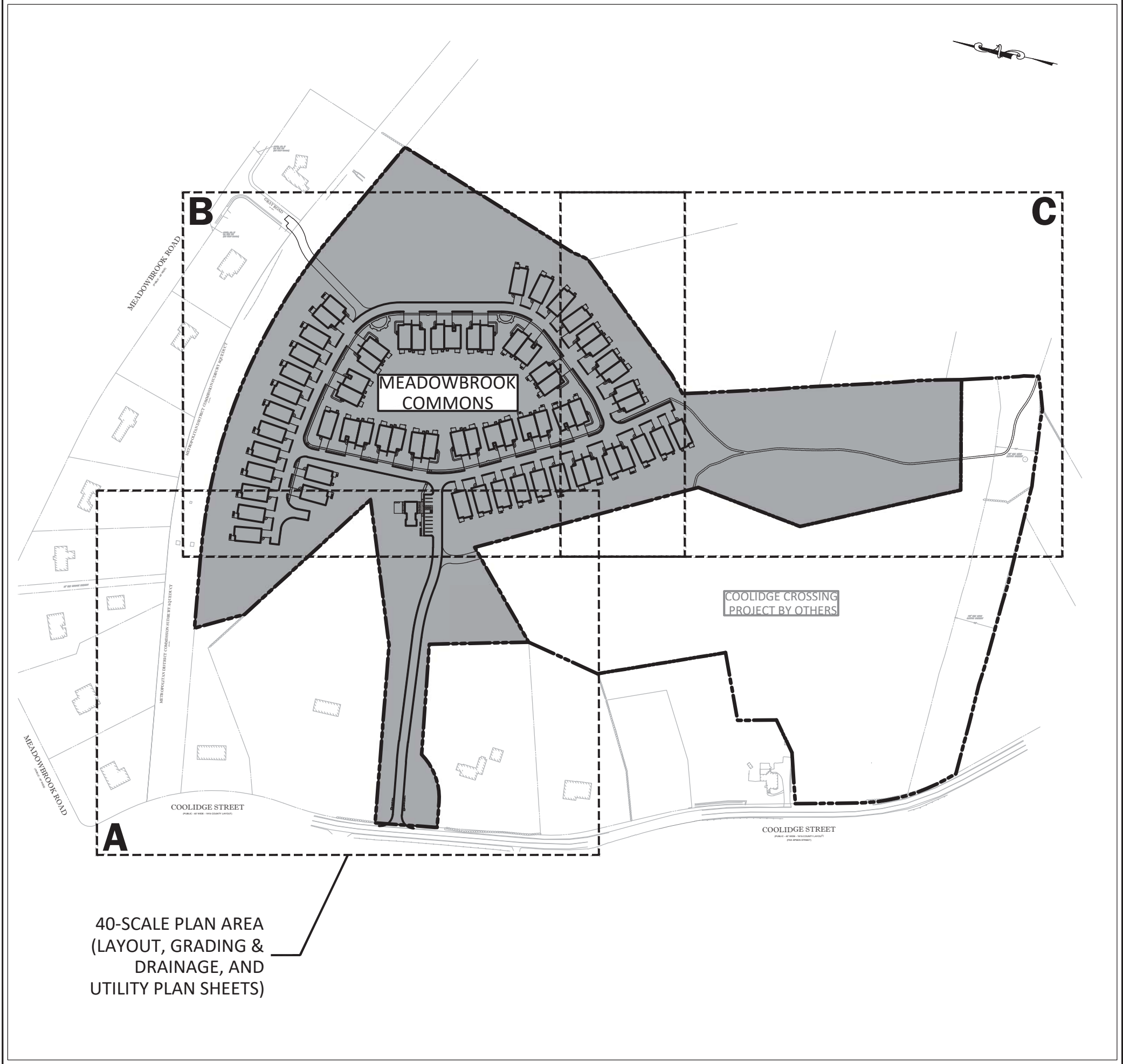
SITE PLAN FOR *MEADOWBROOK COMMONS*

RESIDENCE EA
MULTI-DWELLING COMMUNITY
84 & 104 COOLIDGE STREET
SHERBORN, MASSACHUSETTS

PLANNING BOARD:

DATE	DATE REVISED	SHEET NUMBER	SHEET DESCRIPTION
07/29/2021	-	1	COVER SHEET
07/29/2021	-	2	LEGEND & NOTES
07/29/2021	-	3	DEMOLITION & EROSION CONTROL PLAN
07/29/2021	-	4	OVERALL LAYOUT PLAN
07/29/2021	-	5 ~ 7	LAYOUT PLANS A ~ C
07/29/2021	-	8 ~ 10	GRADING & DRAINAGE PLANS A ~ C
07/29/2021	-	11 ~ 13	UTILITY PLANS A ~ C
07/29/2021	-	14	OPEN SPACE PLAN
07/29/2021	-	15 ~ 19	PLAN & PROFILE SHEETS
07/29/2021	-	20	PHOTOMETRIC PLAN
07/29/2021	-	21 ~ 28	CONSTRUCTION DETAILS
08/28/2019	-	3.0 ~ 3.4	EXISTING CONDITIONS SURVEY
07/29/2021	-	L-001	OVERALL LANDSCAPE PLAN
07/29/2021	-	L-002 ~ L-003	LANDSCAPE PLANS A ~ B
07/29/2021	-	L-004 ~ L-005	LANDSCAPE PLAN ENLARGEMENTS
07/29/2021	-	A-1 ~ A-27	ARCHITECTURAL PLANS *

* BOUND SEPARATELY



SITE CONTEXT PLAN
SCALE: 1"=250'

SURVEY:
LEVESQUE GEOMATICS INC.
43 GLENDALE ROAD
STURBRIDGE, MA 01518
508-868-0041
CONTACT: JOSEPH LEVESQUE, P.L.S.

WETLANDS:
SWCA ENVIRONMENTAL CONSULTANTS
15 RESEARCH DRIVE
AMHERST, MA 01002
413-256-0202
CONTACT: MICKEY MARCUS, PWS

CONSULTANTS:

LANDSCAPE ARCHITECT:
BOHLER ENGINEERING
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
508-480-9900
CONTACT: MATTHEW MRVA, RLA

TRAFFIC:
MDM TRANSPORTATION CONSULTANTS, INC.
28 LORD ROAD, SUITE 280
MARLBOROUGH, MA 01752
508-303-0370
CONTACT: ROBERT MICHAUD, P.E.

WATER/SEWER:
COUGHLIN ENVIRONMENTAL SERVICES, LLC
62 MONTVALE AVENUE, SUITE H
STONEHAM, MA 02180
781-832-1002
CONTACT: DANIEL COUGHLIN, P.E.

PREPARED BY:

**CIVIL DESIGN
GROUP, LLC**

21 HIGH STREET SUITE 207
NORTH ANDOVER, MA 01845
www.cdengineering.com
p: 978-794-5400
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CONTACT: MATTHEW LEIDNER, P.E.

PREPARED FOR:




PULTE HOMES OF NEW ENGLAND, LLC
115 FLANDERS ROAD
SUITE 200
WESTBOROUGH, MA 01581
www.pulte.com

NOT FOR CONSTRUCTION

CDG PROJECT #: 19001

SEAL:



Matthew A. Leidner
MATTHEW A. LEIDNER, P.E.

SHEET:

COVER SHEET

1

DATE: 07/29/2021

GENERAL NOTES

1. ZONING INFORMATION OBTAINED FROM THE TOWN OF SHERBORN ZONING MAP CONTAINED IN THE 2019 MASTER PLAN AND THE TOWN OF SHERBORN ZONING BYLAWS, REVISED THROUGH THE 2019 ATM.
2. THE PROJECT SITE CONSISTS OF LOTS 32, 48A, AND A PORTION OF LOT 55 ON THE TOWN OF SHERBORN ASSESSOR'S MAP 5 AND TOTALS 25.2± ACRES.
3. THE PROJECT LIES WITHIN THE RESIDENCE 'EA' ZONING DISTRICT.
4. ACCORDING TO THE FLOOD RATE INSURANCE MAP (FIRM), COMMUNITY PANEL #2501700519F, WITH AN EFFECTIVE DATE OF JULY 7, 2014, THIS SITE LIES WITHIN ZONE X, WHICH IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% (500-YEAR) ANNUAL CHANCE FLOODPLAIN.
5. THE PROJECT WILL BE SUBJECT TO A SPECIAL PERMIT TO BE ISSUED BY THE SHERBORN PLANNING BOARD. THE CONTRACTOR SHALL BECOME FAMILIAR WITH AND ADHERE TO ALL CONSTRUCTION-RELATED REQUIREMENTS OF THE THIS APPROVAL.
6. ON-SITE WETLANDS SHOWN HEREIN WERE DELINEATED BY SWCA INC. IN JUNE 2019 AND FIELD LOCATED BY THE LEVESQUE GEOMATICS IN JULY 2019. THE WETLAND LINES WERE VALIDATED VIA AN ORDER OF RESOURCE AREA DELINEATION UNDER DEP FILE NUMBER 283-0397 AS ISSUED BY THE SHERBORN CONSERVATION COMMISSION ON AUGUST 15, 2019. THE PROJECT WILL BE SUBJECT TO A SUBSEQUENT ORDER OF CONDITIONS TO BE ISSUED BY THE SHERBORN CONSERVATION COMMISSION. THE CONTRACTOR SHALL BECOME FAMILIAR WITH AND ADHERE TO ALL CONSTRUCTION-RELATED REQUIREMENTS OF THE THIS APPROVAL.
7. THE CONTRACTOR SHALL GIVE TWENTY-FOUR (24) HOUR NOTICE TO PERTINENT TOWN DEPARTMENTS BEFORE COMMENCING ANY WORK IN THE FIELD AND HOLD A PRE-CONSTRUCTION MEETING WITH TOWN OFFICIALS AS REQUIRED BY THE CONDITIONS OF APPROVAL.
8. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, SITE ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION.
9. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS, AND PLANT SPECIFICATIONS TO THE OWNER AND SITE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
10. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF THE CONSTRUCTION.
11. TRASH MANAGEMENT FOR THE TOWNHOMES WILL BE BY CURBSIDE COLLECTION.
12. TEMPORARY ON-SITE SALES OFFICES AND ASSOCIATED MARKETING SIGNAGE WILL BE UTILIZED THROUGHOUT THE BUILD-OUT PROCESS (LOCATIONS TO BE SELECTED UPON COMMENCEMENT OF THE SALES PHASE).
13. FINAL LOCATION(S) OF MODEL HOME(S) SHALL BE DETERMINED BY THE OWNER.

SITE LAYOUT NOTES

1. ALL STATION LABELS PERTAIN TO CENTERLINE OF ROAD GEOMETRY.
2. NO BUILDINGS, BUILDING PROJECTIONS, OR APPURTENANT STRUCTURES SUCH AS DECKS AND STAIRS SHALL BE CONSTRUCTED IN THE REQUIRED BUILDING SETBACKS.
3. CURB WITHIN THE SITE LIMITS SHALL BE CAPE COD BERM (CCB), WITH VERTICAL GRANITE CURB (VGC) AT RAMPS WHERE CURB TRANSITIONS FROM REVEAL TO NO REVEAL.
4. PAVEMENT MARKINGS AND STRIPING SHALL PAINTED WITH 2 COATS OF WHITE PAINT PER FEDERAL SPECIFICATION T1-P-115 TYPE 1: ALKYD.
5. ALL ON-SITE TRAFFIC ADVISORY SIGNS INCLUDING STOP SIGNS SHALL BE MOUNTED ON A 4"x4" PRESSURE-TREATED POST WITH BLACK PVC WRAP AND MANSARD CAP, AND SHALL BE 48" FROM GROUND TO BOTTOM OF SIGN. STOP SIGNS DIMENSIONS SHALL BE 18"x18".
6. ACCESSIBLE PARKING SPACES SHALL CONFORM TO THE LATEST EDITION OF THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE ARCHITECTURAL ACCESS BOARD (AAB) AS SHOWN ON THE SITE LAYOUT PLAN.
7. ACCESSIBLE SIGNAGE SHALL CONFORM TO THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR COLOR AND SIZE, AND SHALL BE MOUNTED ON 2" ROUND GALVANIZED STEEL POSTS PAINTED BLACK, 48" FROM GROUND TO BOTTOM OF SIGN.

GRADING & DRAINAGE NOTES

1. THE ELEVATIONS SHOWN ON THIS PLAN ARE BASED ON THE DATUM REFERENCE USED ON THE EXISTING CONDITIONS SURVEY.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND ELEVATION BENCHMARKS THROUGHOUT CONSTRUCTION.
3. EXTERIOR ELEVATIONS ALONG EACH BUILDING SIDE MAY VARY IN ORDER TO ACHIEVE GRADE IN CERTAIN AREAS. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM THE PROPOSED BUILDING. THE FINISHED GRADE ALONG ALL BUILDINGS SHALL BE A MINIMUM OF 13" BELOW FIRST FLOOR ELEVATION EXCEPT AT DOORWAYS.
4. NEW SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.0%. FURTHERMORE, ACCESSIBLE PARKING SPACES AND PROXIMATE ACCESS ASLES SHALL BE SLOPED AT A MAXIMUM OF 2.0% IN ALL DIRECTIONS. SHOULD ANY DISCREPANCIES WITH THESE REQUIREMENTS ARISE DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT AN ACCEPTABLE SOLUTION CAN BE DETERMINED.
5. CONTRACTOR SHALL NOTIFY ENGINEER IF THE ILLUSTRATED GRADES CANNOT BE ACHIEVED WITHIN ACCESSIBLE AREAS, INCLUDING PARKING SPACES.
6. UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF THE CONSTRUCTION.
7. PROPOSED BOTTOM OF CURB ELEVATIONS ALONG EXISTING STREETS ARE BASED ON EXISTING CONDITIONS INFORMATION AND SHALL BE CONSIDERED APPROXIMATE. CONTRACTOR SHALL MATCH EXISTING EDGE OF PAVEMENT GRADE.
8. EXISTING DRAINAGE AND UTILITY RIM ELEVATIONS LOCATED WITHIN THE LIMIT OF WORK TO REMAIN SHALL BE ADJUSTED BY THE CONTRACTOR TO MATCH NEW FINISHED GRADE.
9. ALL DISTURBED AREAS OUTSIDE THE LIMIT OF WORK SHALL BE RESTORED IN KIND.
10. PROPOSED CATCH BASINS SHALL INCLUDE ELIMINATOR HOODS AS SPECIFIED IN THE DETAILS.
11. UNLESS OTHERWISE SPECIFIED, ALL NEW DRAINAGE PIPE SHALL BE DUAL WALL CORRUGATED HDPE (ADS N-12 OR APPROVED EQUAL), RATED FOR H-20 LOADING, MINIMUM 12" COVER (UNLESS GREATER COVER IS REQUIRED BY THE MANUFACTURER), AND LAID AT A MINIMUM SLOPE OF 0.005'/'. PIPE SIZES SHALL BE AS FOLLOWS UNLESS OTHERWISE SPECIFICALLY INDICATED ON THE PLANS:
 - 11.1. DRAINAGE PIPES CONNECTING CATCH BASINS TO MANHOLES AND MANHOLES TO MANHOLES: SIZE VARIES, REFER TO GRADING AND PROFILE SHEETS FOR SIZES.
 - 11.2. TOWNHOME ROOF DRAIN PIPES: 6" FROM GUTTER DOWNSPOUTS TO HEADERS PIPES. HEADER PIPES SERVING UP TO TWO UNITS SHALL BE 6", SERVING 3-6 UNITS SHALL BE 8", AND SERVING 7 OR MORE UNITS SHALL BE 12". ALL ROOF DRAIN PIPES SHALL BE LAID AT >=0.01'/'.
 - 11.3. FOUNDATION DRAIN PIPES: 4" FOR EACH TOWNHOME BUILDING (STEP UP TO 6" IF MULTIPLE TOWNHOME BUILDINGS TIED TOGETHER). SDR-35 PVC SHALL BE AN ALLOWABLE ALTERNATIVE TO HDPE FOR FOUNDATION DRAINS.
12. ROOF DRAINS:
 - 12.1. TOWNHOMES: ALL ROOFTOPS SHALL BE GUTTERED. FRONT GUTTER DOWNSPOUTS SHALL TIE INTO A ROOF DRAIN PIPE. REAR GUTTER DOWNSPOUTS SHALL SPILL ONTO THE GROUND UNLESS SPECIFICALLY SHOWN OTHERWISE ON THE PLANS. ROOF DRAIN PIPES ARE SHOWN SCHEMATICALLY AND MAY NOT REPRESENT THE EXACT LOCATION OF DOWNSPOUTS.
 - 12.2. EACH BUILDING SHALL HAVE A MINIMUM OF ONE GUTTER DOWNSPOUT OVERFLOW ON EACH INDEPENDENT PIPE NETWORK. THE OVERFLOW SHALL BE INSTALLED ON THE DOWNSPOUT LOCATED AT THE LOWEST GROUND ELEVATION ALONG THE BUILDING WITHIN EACH PIPE NETWORK.
 - 12.3. THE LOWEST GROUND ELEVATION AT THE GUTTER DOWNSPOUTS SHALL BE ABOVE THE 100-YEAR STORM PEAK WATER ELEVATION FOR THE STORMWATER MANAGEMENT SYSTEM INTO WHICH IT FLOWS.
13. FOUNDATION DRAINS:
 - 13.1. PROPOSED FOUNDATION DRAIN PIPES SHALL HAVE CLEANOUTS INSTALLED AT INTERSECTIONS AND ANGULAR BENDS. NOT REQUIRED AT RADIAL BENDS.
14. SEE DETAIL SHEETS AND PROFILES FOR WATER QUALITY UNITS MANUFACTURER AND MODELS.
15. GALVANIZED STEEL TRASH RACKS SHALL BE INSTALLED ON OPEN ENDS OF ALL INLET AND DISCHARGE DRAIN PIPES 18" OR LARGER IN DIAMETER. TRASH RACKS SHALL BE SIZED TO FIT THE SPECIFIC PIPE FOR WHICH THEY WILL BE USED AND SHALL BE REMOVABLE FOR SERVICING THE PIPE.
16. TOP AND BOTTOM OF WALL ELEVATIONS SHOWN ON GRADING & DRAINAGE PLANS REPRESENT THE EXPOSED PORTION OF THE WALL. ALL WALLS GREATER THAN 4 FEET EXPOSED HEIGHT SHALL BE DESIGNED BY A STRUCTURAL ENGINEER.
17. ELEVATION OF LANDSCAPED AREAS ARE GIVEN AT PLANTED GRADE.

SITE & DEMOLITION NOTES

1. THE LOCATION AND ELEVATION OF EXISTING UTILITIES AND STRUCTURES SHOWN ON THESE PLANS ARE BASED ON MEASUREMENTS TAKEN IN THE FIELD AND DISCOVERED RECORDS FROM VARIOUS UTILITY COMPANIES AND/OR FROM THE MUNICIPALITY. THIS INFORMATION SHALL NOT BE CONSIDERED EXACT AND THE CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL NOTIFY "DIG SAFE" (811) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXISTING UTILITY MARK OUT LOCATIONS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF EXISTING UTILITY LOCATIONS CONFLICT WITH THE PROPOSED DEVELOPMENT PROGRAM SO THAT A REMEDIAL ACTION CAN TAKE PLACE PRIOR TO ANY WORK. THE CONTRACTOR IS RESPONSIBLE FOR RELOCATING ALL EXISTING UTILITIES AS A RESULT OF THE PROPOSED DEVELOPMENT.
2. ELEVATIONS SHOWN ARE BASED ON THE DATUM REFERENCED ON THE EXISTING CONDITIONS PLAN.
3. ALL WORK MUST BE INSPECTED PER MUNICIPAL REQUIREMENTS. CONTRACTOR SHALL CONTACT THE MUNICIPAL BUILDING DEPARTMENT PRIOR TO THE START OF WORK.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING ALL CONSTRUCTION RELATED CONDITIONS OUTLINED IN THE APPROVALS IN ADDITION TO THE ITEMS OUTLINED IN THESE CONSTRUCTION DOCUMENTS.
5. THE LIMIT OF WORK FOR THIS PROJECT SHALL BE SHOWN ON THE PLANS AS SAWCUT LINES, EROSION CONTROL BARRIER LINES, AND/OR CONSTRUCTION DELINEATION FENCE LINES. LIMIT OF WORK LINES AND SHALL BE MARKED IN THE FIELD PRIOR TO CONSTRUCTION. ALL EXISTING FEATURES WITHIN LIMIT OF WORK LINE SHALL BE REMOVED UNLESS OTHERWISE SPECIFIED.
6. THE CONTRACTOR SHALL ARRANGE A PRE-CONSTRUCTION MEETING WITH THE ENGINEER AND MUNICIPAL OFFICIALS PRIOR TO THE START OF CONSTRUCTION.
7. ALL DISTURBED OFF-SITE AREAS SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITION.
8. A STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED PER THE DETAIL WHEREVER CONSTRUCTION ACCESS EXISTS. PAVED AREAS SHALL BE KEPT CLEAN AT ALL TIMES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS AND UTILITY CONNECTION/DISCONNECTION FEES RELATED TO THE PROJECT. CONTRACTOR SHALL NOTIFY AND COORDINATE ALL UTILITY WORK WITH THE APPLICABLE UTILITY COMPANIES AND/OR LOCAL DEPARTMENTS. ALL PERMITS SHALL BE KEPT WITHIN THE TRAILER AND CLEARLY VISIBLE.
10. THE OFFSITE DISPOSAL OF ALL DEMOLISHED MATERIALS SHALL COMPLY WITH THE APPLICABLE LOCAL, STATE AND FEDERAL GUIDELINES.
11. FILL MATERIAL(S) SHALL NOT CONTAIN HAZARDOUS MATERIALS.
12. CONSTRUCTION DUMPSTERS SHALL BE LOCATED ON A STABLE SURFACE, PROPERLY MAINTAINED, AND EMPTIED ON A REGULAR BASIS.
13. THE CONTRACTOR IS RESPONSIBLE FOR THE GENERAL UPKEEP OF THE SITE DURING THE CONSTRUCTION PROCESS.



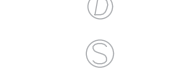
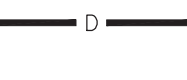
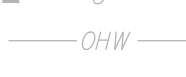
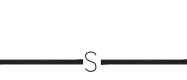

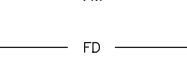



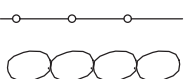

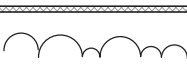



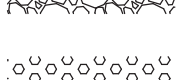








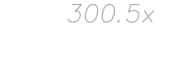




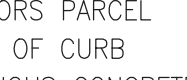











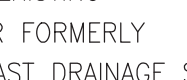











UTILITY NOTES

1. ALL UTILITIES ARE TO BE LOCATED UNDERGROUND UNLESS OTHERWISE NOTED.
2. ALL UTILITIES, PIPE MATERIALS, STRUCTURES, INSTALLATION METHODS, AND TESTING SHALL CONFORM TO MUNICIPALITY STANDARDS AND REQUIREMENTS. THE CONTRACTOR SHALL COORDINATE INSPECTIONS BY THE MUNICIPALITY WHEN REQUIRED.
3. WATER:
 - 3.1. WATER WILL BE SUPPLIED TO THE PROJECT FROM FRAMMINGHAM VIA A NEW WATER MAIN TO BE INSTALLED IN COOLIDGE STREET.
 - 3.2. WATER MAINS AND SERVICES SHALL BE INSTALLED WITH A MINIMUM 5' OF COVER EXCEPT AS NOTED OR DETAILED OTHERWISE.
 - 3.3. NO WATER SERVICE PIPES SHALL BE LAID IN THE SAME TRENCH WITH GAS PIPES, SEWER PIPE OR ANY OTHER FACILITY OF A PUBLIC SERVICE COMPANY, OR WITHIN THREE FEET OF ANY OPEN EXCAVATION OR VAULT.
 - 3.4. WATER PIPE SIZES AND MATERIALS:
 - 3.4.1. INCOMING WATER MAIN FROM FRAMMINGHAM TO ON-SITE WATER BOOSTER STATION SHALL BE 12". ON-SITE WATER MAINS DOWNSTREAM OF BOOSTER STATION SHALL BE 8". ALL WATER MAINS SHALL BE CLASS 52 CLD.
 - 3.4.2. FOR DETACHED UNITS AND TOWNHOME BUILDINGS CONTAINING 2 UNITS, EACH DWELLING UNIT SHALL BE SERVICED BY A 1" DOMESTIC WATER SERVICE.
4. SEWER:
 - 4.1. WASTEWATER FROM THE PROJECT WILL BE DIRECTED TO NATICK VIA A FORCE MAIN TO BE INSTALLED IN COOLIDGE STREET.
 - 4.2. SEWER SHALL BE ENCASED IN CONCRETE IF THE SEWER IS PLACED WITHIN 10' (HORIZONTALLY) OF A WATER LINE AND THE SEWER IS EITHER ABOVE OR WITHIN 18" BELOW THE WATER LINE.
 - 4.3. SEWER PIPE SIZES AND MATERIALS:
 - 4.3.1. FOR DETACHED UNITS AND TOWNHOME BUILDINGS CONTAINING 2 UNITS, EACH DWELLING UNIT SHALL BE SERVICED BY A 4" SDR-35 PVC SEWER SERVICE LAID AT A MINIMUM SLOPE OF 0.02'/' TO A COMMON SEWER PUMP SERVING TWO ADJACENT DWELLING UNITS. THE SEWER PUMP WILL DISCHARGE TO A COMMON FORCE MAIN, WHICH WILL DISCHARGE TO NATICK VIA A COMMON FORCE MAIN TO BE CONSTRUCTED IN COOLIDGE STREET.
 - 4.3.2. FORCE MAIN SHALL BE SDR-11 HDPE, SIZING TBD.
 - 4.3.3. THE MEADOWBROOK COMMONS SEWER SYSTEM DESIGN, INCLUDING PUMP STATION SELECTION AND FORCE MAIN SIZING, SHALL ACCOUNT FOR THE ADJACENT COOLIDGE CROSSING PUMP STATION AND SHALL BE DESIGNED TO MEET THE APPLICABLE STANDARDS OF THE APPROVING AUTHORITY (TOWN OF NATICK).
5. THE CONTRACTOR, ON BEHALF OF THE DEVELOPER, SHALL SUBMIT UTILITY AS-BUILT PLANS IN PAPER AND PDF FORMAT INCLUDING SWING TIES FOR SEWER AND WATER TO THE TOWN ENGINEERING DEPARTMENT.
6. THE CONTRACTOR SHALL COORDINATE ALL PROPOSED GAS, ELECTRIC, TELEPHONE, AND CABLE UTILITY WORK WITH THE RESPECTIVE UTILITY COMPANIES. THE PROPOSED CONNECTION LOCATIONS AND DETAILS PROVIDED HEREIN ARE FOR REPRESENTATION PURPOSES ONLY. FINAL CONNECTION POINTS AND DETAILS SHALL BE AS DETERMINED AND REQUIRED BY THE UTILITY COMPANIES.
7. TRANSFORMERS AND ASSOCIATED PROTECTIVE BOLLARDS SHALL BE PAINTED DARK GREEN IN COLOR. PAD SIZE AS DETERMINED BY UTILITY COMPANY.
8. SITE LIGHTING INSTALLATION CONTRACTOR SHALL BE RESPONSIBLE FOR RUNNING THE WIRING INTO THE NEAREST BUILDING OR DESIGNATED METER LOCATION.
9. GAS MAIN AND SERVICE SIZING SHALL BE AS DETERMINED BY THE UTILITY COMPANY.
10. DUE TO THE SCALE OF THE SITE WORK DRAWINGS, THE EXACT LOCATION OF UTILITY SERVICES TO THE BUILDING SHALL BE VERIFIED WITH THE BUILDING DRAWINGS.
11. SUITABLE, TEMPORARY PLUGS SHALL BE INSTALLED IN THE OPEN ENDS OF UTILITY SERVICES TO THE BUILDING PRIOR TO BACKFILLING. STUB LOCATIONS SHALL BE MARKED IN THE FIELD SO THAT THEY MAY BE EASILY LOCATED.
12. EXISTING DRAINAGE AND UTILITY RIM ELEVATIONS LOCATED WITHIN THE LIMIT OF WORK TO REMAIN SHALL BE ADJUSTED BY THE CONTRACTOR TO MATCH NEW FINISHED GRADE.
13. GUY WIRES SHALL BE INSTALLED AS REQUIRED/DESIGNED BY THE UTILITY COMPANY.
14. PIPE MATERIALS SHOWN ON THIS PLAN ARE SUBJECT TO SUBSTITUTION AT THE TIME OF CONSTRUCTION. ANY ALTERNATIVE PIPE MATERIAL SHALL CONFORM TO MUNICIPAL AND INDUSTRY STANDARDS FOR THE SELECTED APPLICATION.

SOIL EROSION AND SEDIMENTATION CONTROL NOTES

1. THIS SITE IS SUBJECT TO THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PROGRAM OF THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY. SITE OPERATORS SHALL CONFORM TO MEET THE CRITERIA FOR A NPDES GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
2. ADAPTATION TO ACTUAL FIELD CONDITIONS MAY WARRANT VARIATIONS FROM WHAT IS SHOWN ON THESE PLANS FOR EROSION CONTROLS IN ORDER TO MAXIMIZE THE EFFECTIVENESS OF THE CONTROLS.
3. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING ALL CONSTRUCTION RELATED CONDITIONS OUTLINED IN THE APPROVALS IN ADDITION TO THE ITEMS OUTLINED IN THESE CONSTRUCTION DOCUMENTS. THE SEQUENCING PLANS INCLUDED HEREIN ARE PROVIDED AS A GUIDANCE DOCUMENT TO ASSIST IN THE IMPLEMENTATION OF EROSION/SEDIMENTATION CONTROLS AND STABILIZATION OF THE SITE. ADAPTATION TO ACTUAL FIELD CONDITIONS MAY WARRANT VARIATIONS FROM WHAT IS SHOWN ON THESE PLANS TO MAXIMIZE THE EFFECTIVENESS OF THE CONTROLS.
4. THE CONTRACTOR SHALL ADHERE TO PROCEDURES OUTLINED IN THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN ACCORDANCE WITH THE EPA NPDES CONSTRUCTION GENERAL PERMIT REQUIREMENTS.
5. IN ACCORDANCE WITH THE NPDES CONSTRUCTION GENERAL PERMIT AND ASSOCIATED STORMWATER POLLUTION PREVENTION PLAN (SWPPP), EROSION CONTROL MEASURES SHALL BE INSPECTED AT LEAST EVERY 14 DAYS AND WITHIN 24 HOURS OF A 0.25" STORM. REPORTS DOCUMENTING THE RESULTS OF EACH INSPECTION AND ANY CORRECTIVE ACTIONS SHALL BE KEPT ON-FILE WITH THE SWPPP.
6. PROPOSED EROSION AND SEDIMENTATION CONTROL MEASURES WILL INCLUDE SILTATION FENCES, HAY BALES, CRUSHED STONE, RIPRAP, LOAM/SEED, HYDROSEEDING, MULCHING, EROSION CONTROL MATING, DIVERSION BERMS, AND SEDIMENTATION BASINS AS FURTHER DESCRIBED HEREIN.
7. SILTATION FENCES AND WATTLES WILL BE USED FOR THE PERIMETER EROSION CONTROL BARRIER AS SHOWN ON THIS PLAN AND ELSEWHERE AS CONDITIONS WARRANT. HAY BALES WILL BE USED TO PROTECT OFFLINE CATCH BASINS (PRIOR TO BINDER) AND ELSEWHERE AS CONDITIONS WARRANT. THE CONTRACTOR WILL BE REQUIRED TO KEEP A REASONABLE STOCK OF SILTATION FENCE, WATTLES, AND HAY BALES ON SITE TO BE ABLE TO SUPPLEMENT OR MAKE REPAIRS AS NECESSARY.
8. LOAMING AND SEEDING OR HYDROSEEDING WILL BE USED AS A PERMANENT STABILIZATION MEASURE FOR ALL REVEGETATED AREAS OF THE SITE.
9. ALL PROPOSED SLOPES 3:1 AND STEEPER SHALL BE STABILIZED WITH AN EROSION CONTROL MATTING AND SHALL BE HYDROSEEDED.
10. MULCHING MAY BE USED TO REINFORCE SEEDDED AREAS WHERE EROSION CONTROL MATTING IS NOT REQUIRED OR WARRANTED, BUT WHERE SOME PROTECTION IS WARRANTED. MULCHING MAY ALSO BE USED TO STABILIZE AREAS WHERE CONSTRUCTION ACTIVITIES WILL TEMPORARILY CEASE FOR MORE THAN 14 DAYS.
11. SEDIMENTATION BASINS SHALL BE USED THROUGHOUT THE SITE TO TREAT RUNOFF. DIVERSION BERMS SHALL BE UTILIZED TO DIVERT UNTREATED STORMWATER TO THE SEDIMENTATION BASINS. SEDIMENTATION BASINS AND DIVERSION BERMS SHALL BE ADDED, REMOVED, AND ADJUSTED AS THE SITE EVOLVES THROUGHOUT THE CONSTRUCTION PROCESS.
12. UPON CONVERTING ANY TEMPORARY SEDIMENTATION BASINS TO PERMANENT DETENTION/INFILTRATION BASINS, THE BASINS SHALL BE CLEARED OF ALL ACCUMULATED SEDIMENT TO ENSURE THAT THE VOLUMETRIC AND INFILTRATION DESIGN CAPACITIES ARE MAINTAINED.
13. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. IN ACCORDANCE WITH THE NPDES CONSTRUCTION GENERAL PERMIT, STABILIZATION MEASURES SHALL BE IMPLEMENTED NOT MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED, UNLESS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS IN WHICH CASE STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE. WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
14. EROSION AND SEDIMENTATION CONTROLS WILL BE REQUIRED TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT TO ENSURE THAT THEY FUNCTION AS INTENDED. DEFICIENCIES WILL BE CORRECTED BY CLEANING, REPAIRING, OR REPLACING THE AFFECTED CONTROL(S) OR PORTION(S) THEREOF TO REESTABLISH PROPER FUNCTIONING AS QUICKLY AS POSSIBLE. SEDIMENTATION CONTROLS WILL BE REQUIRED TO BE CLEARED OR REPLACED WHEN THE ACCUMULATED SEDIMENT EXCEEDS 50 PERCENT OF THE DESIGN CAPACITY OF THE CONTROL. ANY OFF-SITE ACCUMULATIONS OF SEDIMENT WILL BE REQUIRED TO BE REMOVED AS QUICKLY AS POSSIBLE IN A MANNER THAT MINIMIZES ADDITIONAL DISTURBANCE.
15. EROSION CONTROL BARRIER (WHERE SHOWN) REPRESENTS THE LIMIT OF WORK. WHERE NO EROSION CONTROL BARRIER IS REQUIRED (SUCH AS UPSLOPE AREAS), A LIMIT OF WORK LINE HAS BEEN SHOWN. WHERE NO EROSION CONTROL BARRIER IS REQUIRED, THE LIMIT OF WORK SHALL BE DELINEATED IN THE FIELD BY A VISUAL BARRIER SUCH AS TEMPORARY CONSTRUCTION FENCING IN ORDER TO KEEP CONSTRUCTION ACTIVITIES OUT OF THOSE AREAS.
16. THE PROPOSED ONSITE DRAINAGE SYSTEM SHALL BE INSTALLED AS SOON AS PRACTICABLE. ALL EXISTING AND PROPOSED CATCH BASIN INLETS SHALL BE PROTECTED WITH A SILT SACK (SEE DETAIL).
17. DEMATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT BASIN OR OTHER SETTLING AREA TO ALLOW FOR SUFFICIENT SETTLING PRIOR TO DISCHARGE.
18. DUST SHALL BE CONTROLLED BY AN APPROVED METHOD ACCORDING TO LOCAL, STATE AND FEDERAL STANDARDS.
19. ABUTTING PROPERTIES SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS FROM THIS PROJECT AT ALL TIMES. WORK ON ABUTTING PROPERTY SHALL REQUIRE WRITTEN AUTHORIZATION FROM THE OWNER PRIOR TO ANY LAND DISTURBANCE.
20. THE EROSION CONTROL MEASURES ILLUSTRATED IN THIS PLAN SET SHALL BE THE MINIMUM REQUIRED CONTROLS IMPLEMENTED.
21. STOCKPILING LOCATIONS SHALL BE FIELD DETERMINED AND SHALL NOT LIE WITHIN THE 100-FOOT WETLAND BUFFER. DIVERSION BERMS AND EROSION CONTROL BARRIERS SHALL BE INSTALLED DOWNGRADIENT OF STOCKPILES IN ACCORDANCE WITH THE PLAN AND DETAILS.
22. ESTIMATED STABILIZED AREA AS SHOWN ON THE SEQUENCING PLANS PROVIDED HEREIN REPRESENTS THE APPROXIMATE AREA THAT WILL BE STABILIZED (EITHER TEMPORARILY OR PERMANENTLY) BY THE END OF THE CONSTRUCTION SEQUENCE.
23. CRUSHED STONE AND/OR RIPRAP SHALL BE USED TO CONSTRUCT THE TRACKING PAD, CUT SLOPE TREATMENT AREAS, CHECK DAMS, SEDIMENTATION BASIN OUTLET PROTECTION, AND ELSEWHERE AS CONDITIONS WARRANT. THE CONTRACTOR WILL BE REQUIRED TO KEEP A REASONABLE STOCK OF CRUSHED STONE AND RIPRAP ON SITE TO BE ABLE TO SUPPLEMENT OR MAKE REPAIRS AS NECESSARY.

LEGEND

EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINE
		CATCH BASIN
		DRAIN MANHOLE
		SEWER MANHOLE
		DRAIN PIPE
		GAS LINE
		OVERHEAD WIRES
		UNDERGROUND WIRES
		SEWER LINE
		WATER LINE
		FORCE MAIN
		FOUNDATION DRAIN
		ROOF DRAIN
		MINOR CONTOUR
		INDEX CONTOUR
		FENCE
		CONSTRUCTION FENCE
		GUIDERAIL
		STONE WALL
		ECON: WATTLES + SILT FENCE
		ECON: WATTLES ONLY
		TREELINE
		BUILDING
		CRUSHED STONE
		RIPRAP
		CONSTRUCTION ENTRANCE
		MILL & OVERLAY
		HYDRANT
		SIGN
		SITE/STREET LIGHT
		BOLLARD LIGHT
		UTILITY POLE
		OUTLET CONTROL STRUCTURE
		FLARED END SECTION
		TEST PIT LOCATION
		TOP/BOTTOM CURB ELEVATION
		SPOT ELEVATION
		NUMBER OF PARKING SPACES
		CURB RADIUS
		ACCESSIBLE MARKINGS

GENERAL ABBREVIATIONS

ASSESSORS' PARCEL	A.P.
BOTTOM OF CURB	BC
BITUMINOUS CONCRETE	BIT. CONC
BEST MANAGEMENT PRACTICE	BMP
BORDERING VEGETATED WETLAND	BVW
CATCH BASIN	CB
CAPE COD BERM	CCB
CELLAR FLOOR	CF
CENTERLINE	CL
CLEANOUT	CO
CONCRETE SURFACE	CONC.
DRAIN MANHOLE	DMH
DIRECTION SIGN	DS
EMERGENCY SPILLWAY	ES
FLARED END SECTION	FES
FOOTING DRAIN	FD
GAS TRAP	GT
HIGH DENSITY POLYETHYLENE	HDPE
HIGH POINT	HP
INVERT ELEVATION	I=
IRON PIPE/PIN	IP
LINEAL FEET	LF
LOW POINT	LP
LIMIT OF WORK	LOW
MATCH EXISTING	ME
NOW OR FORMERLY	N/F
NYLOPLAST DRAINAGE STRUCTURE	NP
OUTLET CONTROL STRUCTURE	OCS
PRECAST CONCRETE CURB	PCC
RADIUS	X/R
RIM ELEVATION	R=
ROOF DRAIN	RD
REMOVE	REM
SLOPED GRANITE CURB	SGC
SPEED LIMIT	SL
SUBSURFACE INFILTRATION SYSTEM	SIS
STORMWATER MANAGEMENT AREA	SWMA
TOP OF CURB	TC
TOP OF FOUNDATION	TF
TYPICAL	TYP.
UNDERDRAIN	UD
UTILITY POLE	UP
WATER QUALITY UNIT	WQU
VERTICAL GRANITE CURB	VGC

NOT FOR CONSTRUCTION

CDG PROJECT #: 19001

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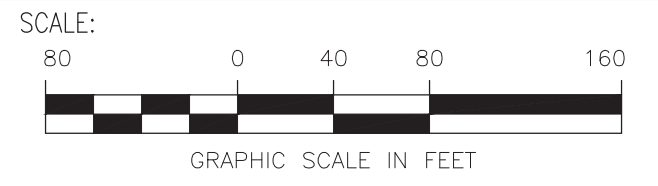
Pulte HOMES

115 FLANDERS ROAD
SUITE 200
WESTBOROUGH, MA 01581
www.pulte.com

PROJECT:

MEADOWBROOK COMMONS

**84 & 104 COOLIDGE STREET
SHERBORN, MASSACHUSETTS**



SHEET:

**DEMOLITION &
EROSION CONTROL PLAN**

3

DATE: 07/29/2021

UNIT SUMMARY

TYPE A

27

TYPE B

24

TYPE C

7

TYPE D

9

67 UNITS

40 DUPLEX UNITS/
20 DUPLEX BUILDINGS

27 SIMPLEX UNITS/
27 SIMPLEX BUILDINGS

NOTE: THE FINAL # OF EACH UNIT STYLE
MAY VARY AND IS DEPENDENT UPON
PRODUCT SELECTION BY THE OWNER AT
THE TIME OF SALES AND MARKETING.

ZONING INFORMATION		
ZONING DISTRICT(S):	RESIDENCE EA	
OVERLAY DISTRICT(S):	NONE	
	REQUIRED	PROVIDED
MIN. TRACT AREA	6 ACRES	25.2± ACRES
MIN. AGE RESTRICTION	55+	55+
MIN. AFFORDABILITY	10%	10% (7 UNITS)
MAX. DENSITY	4 UNITS/ACRE	2.7 UNITS/ACRE
MIN. FRONT YARD SETBACK	100'	730'±
MIN. SIDE YARD SETBACK	60'	61'
MIN. REAR YARD SETBACK	60'	61'
MIN. FRONTAGE	50'	150'
MIN. LOT DEPTH	300'	1,200'
MAX. BEDROOMS/DWELLING	3	2
MAX. DWELLINGS/BUILDING	8	2
MAX. BUILDING HEIGHT	2.5 STY / 35'	<2.5 STY / 35'
MAX. FLOOR AREA	149,930 SF	<149,930± SF *
MIN. OPEN SPACE	50% OF LOT AREA (12.6 ACRES)	56% OF LOT AREA (14.0 ACRES)
MAX. MATERIAL REMOVAL	24K CUBIC YARDS	5K± CUBIC YARDS
MIN. # OF PARKING SPACES	101 SPACES	278 SPACES

* NOTE: THE APPROXIMATE FLOOR AREA AS CURRENTLY DEPICTED ON THIS PLAN IS 145,465± SF CONSISTING OF 143,913± SF (DWELLINGS) + 1,552± SF (CLUBHOUSE). IN NO CASE SHALL THE MAXIMUM FLOOR AREA EXCEED 149,930 SF.



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CDG PROJECT #: 19001

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www.pulte.com

PROJECT:

MEADOWBROOK COMMONS

84 & 104 COOLIDGE STREET
SHERBORN, MASSACHUSETTS

SCALE:

100 0 50 100 200

GRAPHIC SCALE IN FEET

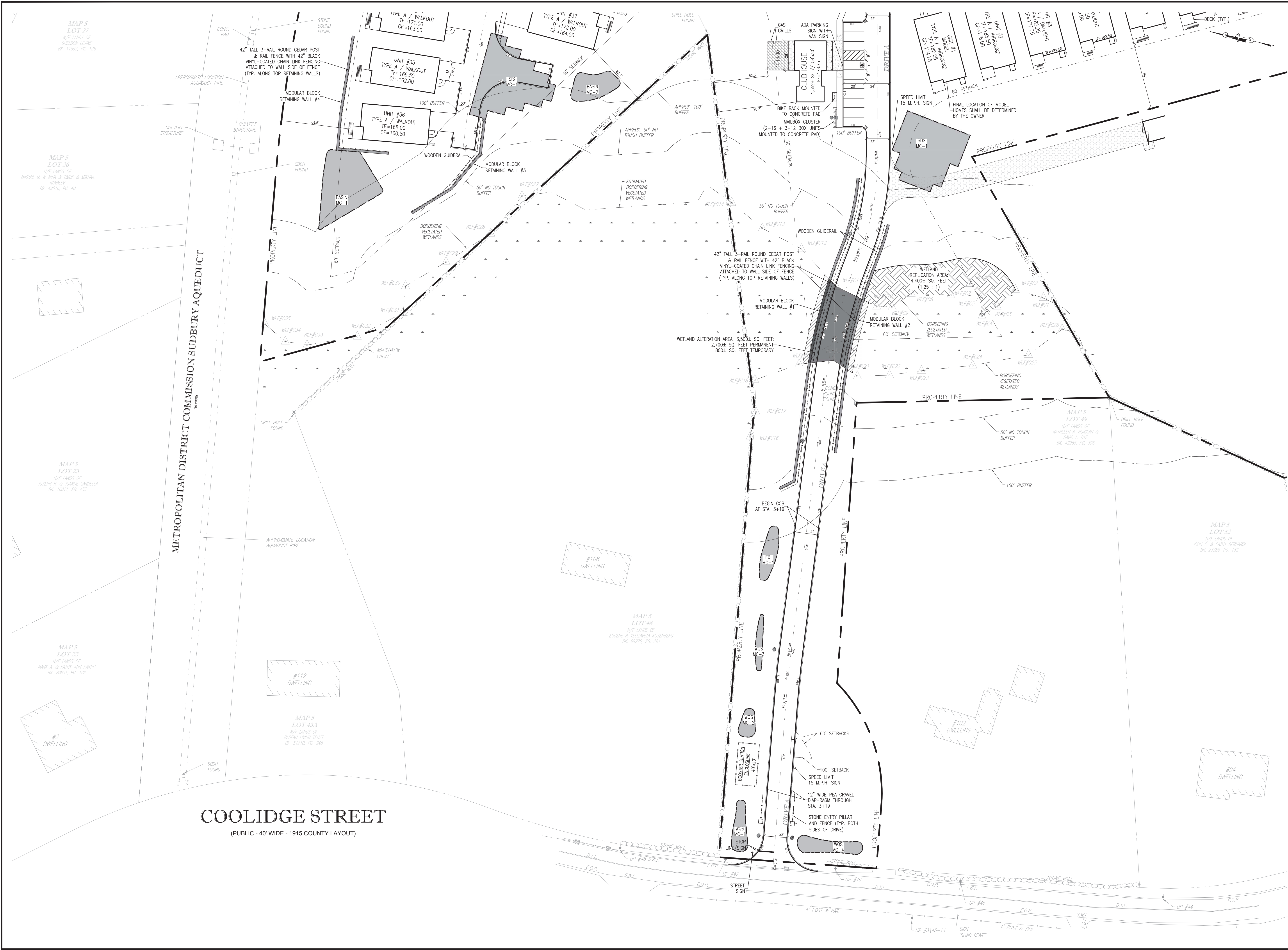
SHEET:

OVERALL LAYOUT PLAN

4

DATE:

07/29/2021



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84 & 104 COOLIDGE STREET
SHERBORN, MASSACHUSETTS

SCALE:

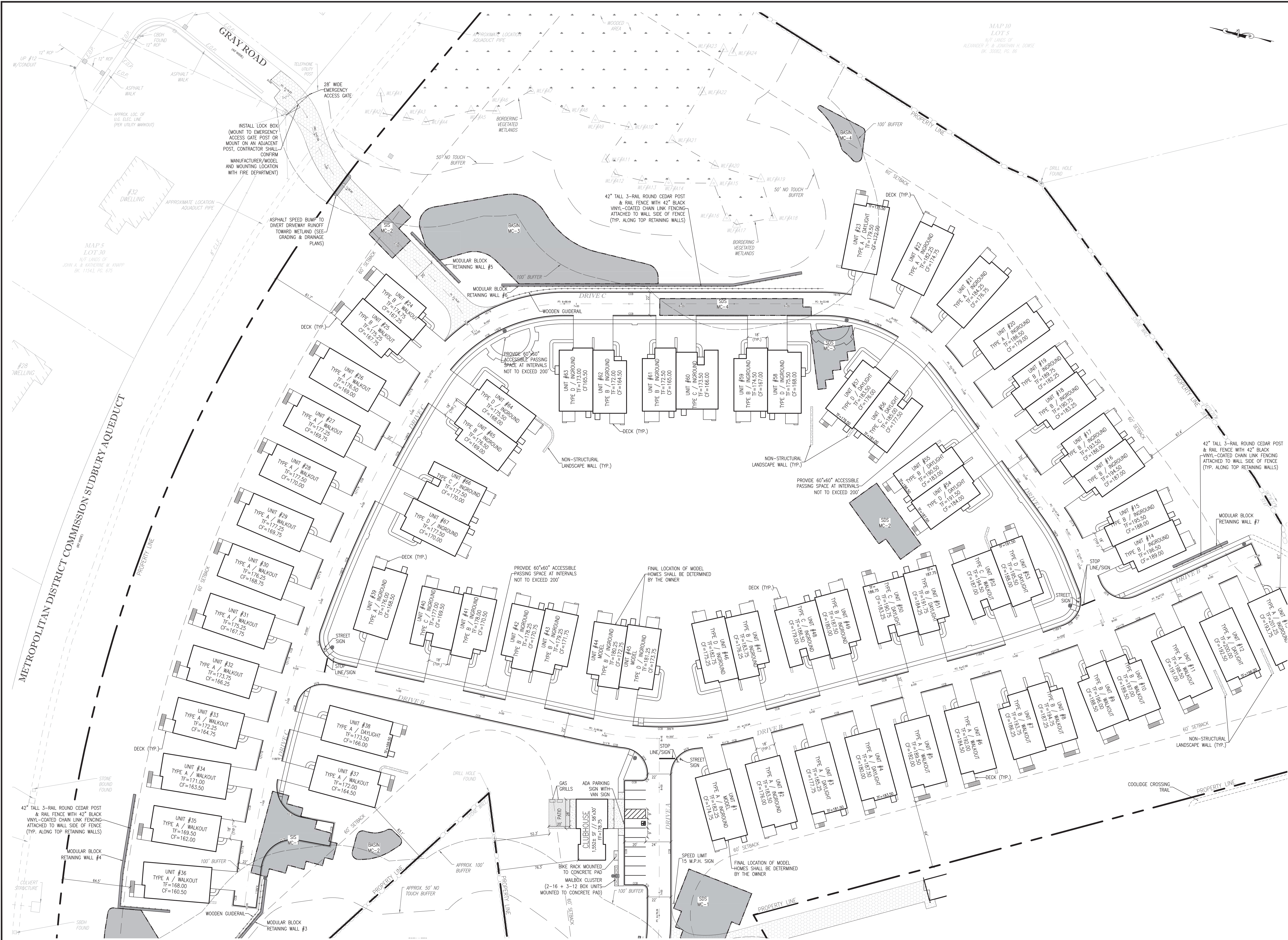
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GRAPHIC SCALE IN FEET

SHEET:

LAYOUT PLAN
A
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DATE: 07/29/2021



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PLANNING BOARD:

SEAL:

COMMONWEALTH OF MASSACHUSETTS

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CIVIL ENGINEER

REGISTERED PROFESSIONAL ENGINEER

No. 45641

Matthew A. Leidner

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84 & 104 COOLIDGE STREET
SHERBORN, MASSACHUSETTS

SCALE:

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GRAPHIC SCALE IN FEET

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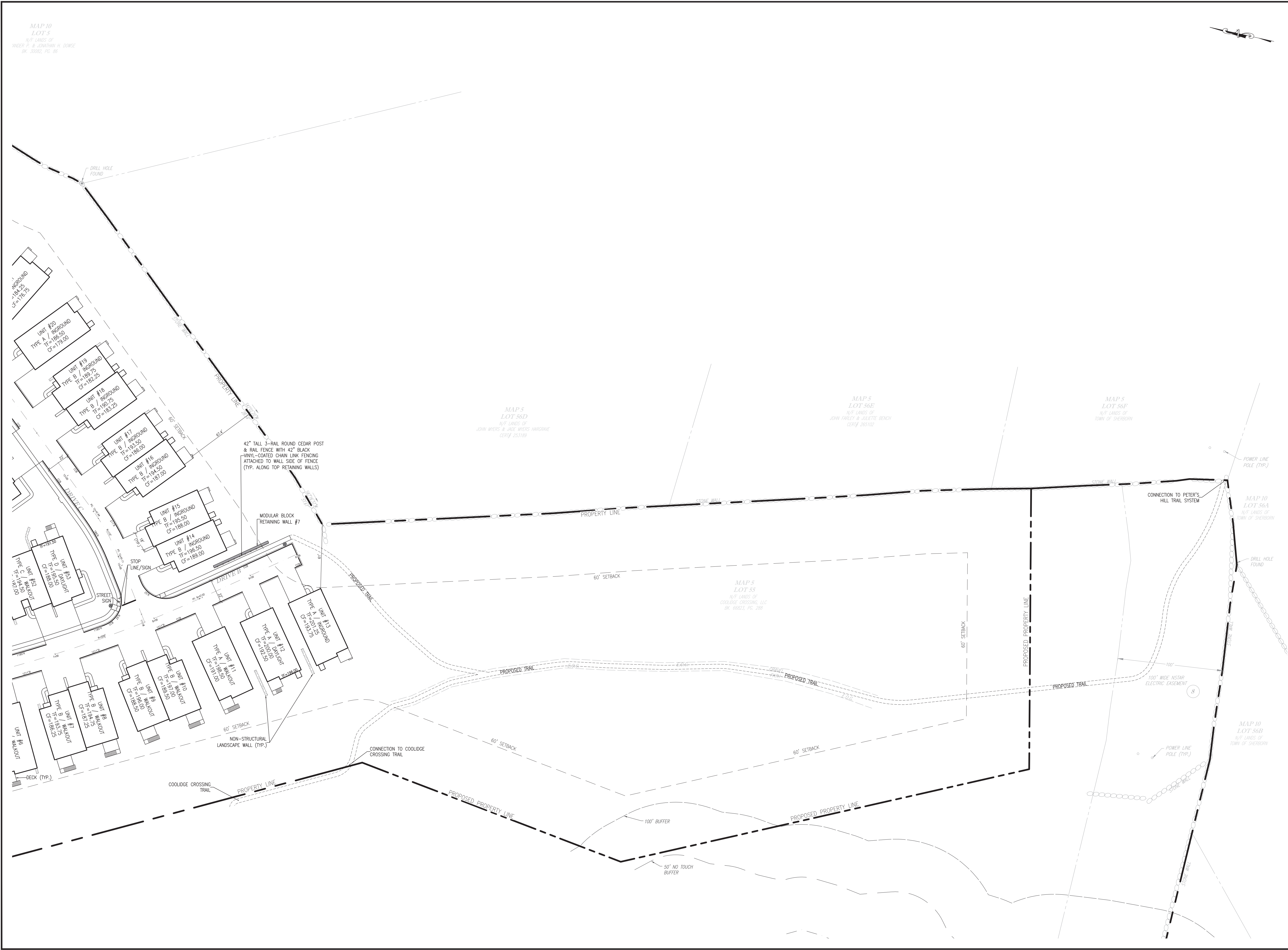
LAYOUT PLAN

B

6

DATE:

07/29/2021



MAP 10
LOT 5
N/F LANDS OF
ANDER P. & JONATHAN H. BOWSE
BK. 30082, PG. 86

MAP 5
LOT 56D
N/F LANDS OF
JOHN MIERS & JAR MIERS HARGREVE
CERT# 253109

MAP 5
LOT 56E
N/F LANDS OF
JOHN FARLEY & JULETTE BENCH
CERT# 265102

MAP 5
LOT 56F
N/F LANDS OF
TOWN OF SHERBORN

MAP 10
LOT 56A
N/F LANDS OF
TOWN OF SHERBORN

MAP 10
LOT 56B
N/F LANDS OF
TOWN OF SHERBORN

NOT FOR CONSTRUCTION

CDG PROJECT #: 19001

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MEADOWBROOK COMMONS
84 & 104 COOLIDGE STREET
SHERBORN, MASSACHUSETTS

SCALE:

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GRAPHIC SCALE IN FEET

SHEET:

LAYOUT PLAN
C
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DATE: 07/29/2021



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CDG PROJECT #: 19001

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PLANNING BOARD:

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MATTHEW A. LEIDNER
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COMMONS

84 & 104 COOLIDGE STREET
SHERBORN, MASSACHUSETTS

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GRAPHIC SCALE IN FEET

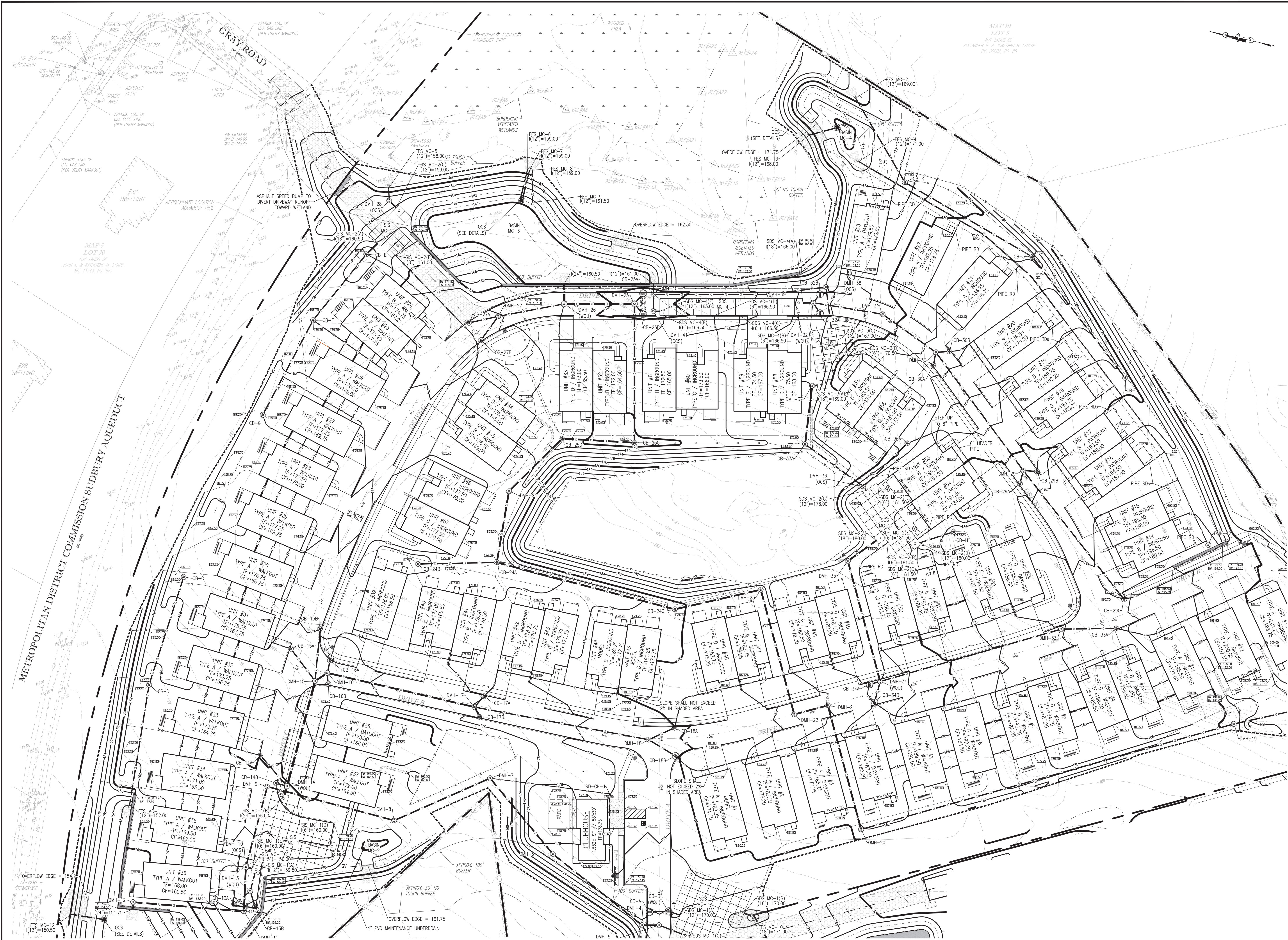
SHEET:

GRADING & DRAINAGE
PLAN A

8

DATE:

07/29/2021



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CDG PROJECT #: 19001

REVIEWS:

REV	DATE	COMMENT
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84 & 104 COOLIDGE STREET
SHERBORN, MASSACHUSETTS

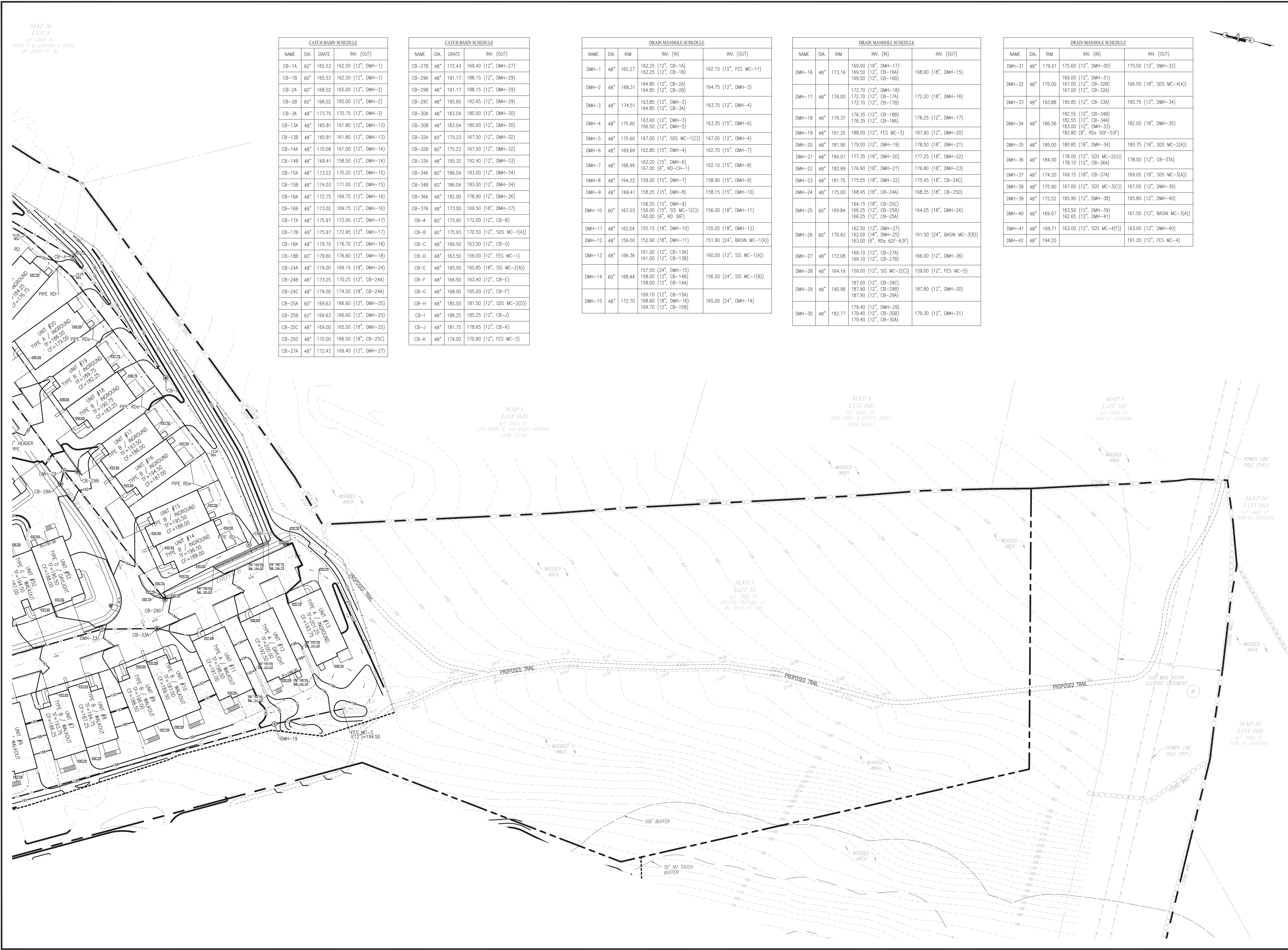
SCALE:

GRAPHIC SCALE IN FEET

SHEET:

GRADING & DRAINAGE
PLAN B

DATE: 07/29/2021



CATCH BASIN SCHEDULE				
NAME	DIA.	GRATE	INV. (OUT)	
CB-1A	60"	165.53	162.50 (12", DMH-1)	
CB-1B	60"	165.53	162.50 (12", DMH-1)	
CB-2A	60"	168.02	165.00 (12", DMH-2)	
CB-2B	60"	168.02	165.00 (12", DMH-2)	
CB-3A	48"	173.75	170.75 (12", DMH-3)	
CB-13A	48"	165.81	161.80 (12", DMH-13)	
CB-13B	48"	165.81	161.80 (12", DMH-13)	
CB-14A	48"	170.08	161.00 (12", DMH-14)	
CB-14B	48"	169.41	158.50 (12", DMH-14)	
CB-15A	48"	173.22	170.20 (12", DMH-15)	
CB-15B	48"	174.03	171.00 (12", DMH-15)	
CB-16A	48"	172.75	169.75 (12", DMH-16)	
CB-16B	48"	173.02	169.75 (12", DMH-16)	
CB-17A	48"	175.97	172.95 (12", DMH-17)	
CB-17B	48"	175.97	172.95 (12", DMH-17)	
CB-18A	48"	179.70	176.70 (12", DMH-18)	
CB-18B	60"	179.60	176.60 (12", DMH-18)	
CB-24A	48"	174.00	169.15 (18", DMH-24)	
CB-24B	48"	173.25	170.25 (12", CB-24A)	
CB-24C	48"	179.00	174.50 (18", CB-24A)	
CB-25A	60"	169.63	166.60 (12", DMH-25)	
CB-25B	60"	169.63	166.60 (12", DMH-25)	
CB-25C	48"	169.00	165.50 (18", DMH-25)	
CB-25D	48"	170.00	166.50 (18", CB-25C)	
CB-27A	48"	172.43	169.40 (12", DMH-27)	

CATCH BASIN SCHEDULE				
NAME	DIA.	GRATE	INV. (OUT)	
CB-27B	48"	172.43	169.40 (12", DMH-27)	
CB-29A	48"	191.17	188.15 (12", DMH-29)	
CB-29B	48"	191.17	188.15 (12", DMH-29)	
CB-29C	48"	195.65	192.65 (12", DMH-29)	
CB-30A	48"	183.04	180.00 (12", DMH-30)	
CB-30B	48"	183.04	180.00 (12", DMH-30)	
CB-32A	60"	175.23	167.50 (12", DMH-32)	
CB-32B	60"	175.23	167.50 (12", DMH-32)	
CB-33A	48"	195.32	192.40 (12", DMH-33)	
CB-34A	60"	186.04	183.00 (12", DMH-34)	
CB-34B	60"	186.04	183.00 (12", DMH-34)	
CB-36A	48"	182.00	178.90 (12", DMH-36)	
CB-37A	48"	173.00	169.50 (18", DMH-37)	
CB-A	60"	175.90	172.00 (12", CB-B)	
CB-B	60"	175.93	170.50 (12", SDS MC-1(A))	
CB-C	48"	166.50	163.50 (12", CB-D)	
CB-D	48"	163.50	159.00 (12", FES MC-1)	
CB-E	48"	165.50	160.85 (18", SIS MC-2(A))	
CB-F	48"	166.50	163.40 (12", CB-E)	
CB-G	48"	168.00	165.00 (12", CB-F)	
CB-H	48"	185.50	181.50 (12", SDS MC-2(D))	
CB-I	48"	188.25	185.25 (12", CB-J)	
CB-J	48"	181.75	178.65 (12", CB-K)	
CB-K	48"	174.00	170.90 (12", FES MC-2)	

DRAIN MANHOLE SCHEDULE					
NAME	DIA.	RIM	INV. (N)	INV. (OUT)	
DMH-1	48"	165.27	162.25 (12", CB-1A) 162.25 (12", CB-1B)	162.15 (12", FES MC-11)	
DMH-2	48"	168.31	164.85 (12", CB-2A) 164.85 (12", CB-2B)	164.75 (12", DMH-3)	
DMH-3	48"	174.51	163.85 (12", DMH-2) 164.85 (12", CB-3A)	163.75 (12", DMH-4)	
DMH-4	48"	175.60	163.60 (12", DMH-3) 166.50 (12", DMH-5)	163.35 (15", DMH-6)	
DMH-5	48"	175.60	167.00 (12", SDS MC-1(C))	167.00 (12", DMH-4)	
DMH-6	48"	169.69	162.80 (15", DMH-4)	162.70 (15", DMH-7)	
DMH-7	48"	168.96	162.20 (15", DMH-6) 167.00 (6", RD-CH-1)	162.10 (15", DMH-8)	
DMH-8	48"	164.22	159.00 (15", DMH-7)	158.90 (15", DMH-9)	
DMH-9	48"	169.41	158.25 (15", DMH-8)	158.15 (15", DMH-10)	
DMH-10	60"	167.03	156.00 (15", SIS MC-1(C)) 160.00 (6", RD 36F)	156.00 (18", DMH-11)	
DMH-11	48"	162.04	155.15 (18", DMH-10)	155.05 (18", DMH-12)	
DMH-12	48"	159.00	152.90 (18", DMH-11)	151.90 (24", BASIN MC-1(A))	
DMH-13	48"	166.36	161.00 (12", CB-13A) 161.00 (12", CB-13B)	160.00 (12", SIS MC-1(A))	
DMH-14	60"	168.44	157.50 (24", DMH-15) 158.00 (12", CB-14B) 158.00 (12", CB-14A)	156.50 (24", SIS MC-1(B))	
DMH-15	48"	172.70	169.10 (12", CB-15A) 168.60 (18", DMH-16) 169.70 (12", CB-15B)	165.00 (24", DMH-14)	

DRAIN MANHOLE SCHEDULE					
NAME	DIA.	RIM	INV. (N)	INV. (OUT)	
DMH-16	48"	173.16	168.00 (18", DMH-17) 169.50 (12", CB-16A) 169.50 (12", CB-16B)	168.90 (18", DMH-15)	
DMH-17	48"	176.00	172.70 (12", DMH-18) 172.70 (12", CB-17A) 172.70 (12", CB-17B)	172.20 (18", DMH-16)	
DMH-18	48"	179.37	176.35 (12", CB-18B) 176.35 (12", CB-18A)	176.25 (12", DMH-17)	
DMH-19	48"	191.25	188.00 (12", FES MC-3)	187.90 (12", DMH-20)	
DMH-20	48"	181.90	179.00 (12", DMH-19)	178.50 (18", DMH-21)	
DMH-21	48"	184.07	177.35 (18", DMH-20)	177.25 (18", DMH-22)	
DMH-22	48"	182.69	176.90 (18", DMH-21)	176.80 (18", DMH-23)	
DMH-23	48"	181.75	175.55 (18", DMH-22)	175.45 (18", CB-24C)	
DMH-24	48"	175.00	168.45 (18", CB-24A)	168.35 (18", CB-25D)	
DMH-25	60"	169.84	164.15 (18", CB-25C) 166.25 (12", CB-25B) 166.25 (12", CB-25A)	164.05 (18", DMH-26)	
DMH-26	60"	170.83	162.50 (12", DMH-27) 162.00 (18", DMH-25) 163.00 (6", Rds 62F-63F)	161.50 (24", BASIN MC-3(B))	
DMH-27	48"	172.08	169.10 (12", CB-27A) 169.10 (12", CB-27B)	166.00 (12", DMH-26)	
DMH-28	48"	164.19	159.00 (12", SIS MC-2(C))	159.00 (12", FES MC-5)	
DMH-29	48"	190.98	187.00 (12", CB-29C) 187.90 (12", CB-29B) 187.90 (12", CB-29A)	187.80 (12", DMH-30)	
DMH-30	48"	182.77	179.40 (12", DMH-29) 179.40 (12", CB-30B) 179.40 (12", CB-30A)	179.30 (12", DMH-31)	

DRAIN MANHOLE SCHEDULE					
NAME	DIA.	RIM	INV. (N)	INV. (OUT)	
DMH-31	48"	179.01	175.60 (12", DMH-30)	175.50 (12", DMH-32)	
DMH-32	48"	175.00	169.00 (12", DMH-31) 167.00 (12", CB-32B) 167.00 (12", CB-32A)	166.50 (18", SDS MC-4(A))	
DMH-33	48"	193.88	190.85 (12", CB-33A)	190.75 (12", DMH-34)	
DMH-34	48"	186.56	182.55 (12", CB-34B) 182.55 (12", CB-34A) 183.00 (12", DMH-33) 182.80 (8", Rds 50F-53F)	182.05 (18", DMH-35)	
DMH-35	48"	185.00	180.85 (18", DMH-34)	180.75 (18", SDS MC-2(A))	
DMH-36	48"	184.00	178.00 (12", SDS MC-2(C)) 178.10 (12", CB-36A)	178.00 (12", CB-37A)	
DMH-37	48"	174.20	169.15 (18", CB-37A)	169.05 (18", SDS MC-3(A))	
DMH-38	48"	175.90	167.00 (12", SDS MC-3(C))	167.00 (12", DMH-39)	
DMH-39	48"	172.52	165.90 (12", DMH-38)	165.80 (12", DMH-40)	
DMH-40	48"	169.67	163.50 (12", DMH-39) 162.65 (12", DMH-41)	161.50 (12", BASIN MC-3(A))	
DMH-41	48"	169.71	163.00 (12", SDS MC-4(F))	163.00 (12", DMH-40)	
DMH-42	48"	194.20		191.20 (12", FES MC-4)	

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CDG PROJECT #: 19001

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REV	DATE	COMMENT
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PLANNING BOARD:

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COMMONWEALTH OF MASSACHUSETTS
MATTHEW A. LEIDNER
No. 45641
REGISTERED PROFESSIONAL ENGINEER

Matthew A. Leidner
MATTHEW A. LEIDNER, P.E.

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p: 978-794-5400 f: 978-965-3971

PREPARED FOR:

115 FLANDERS ROAD
SUITE 200
WESTBOROUGH, MA 01581
www.pulte.com

PROJECT:

MEADOWBROOK COMMONS

84 & 104 COOLIDGE STREET
SHERBORN, MASSACHUSETTS

SCALE:

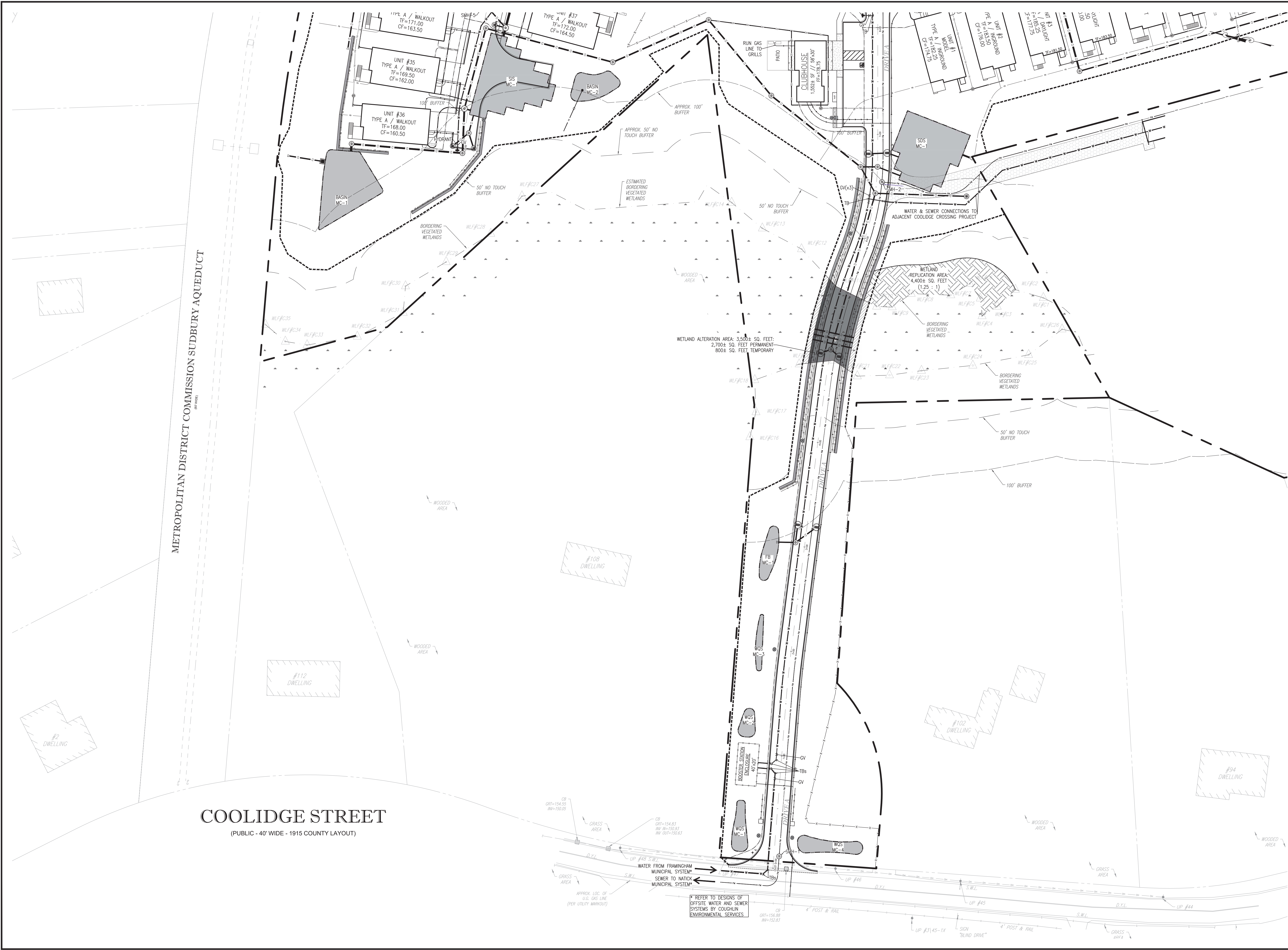
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GRAPHIC SCALE IN FEET

SHEET:

GRADING & DRAINAGE
PLAN C

10

DATE: 07/29/2021



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CDG PROJECT #: 19001

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CIVIL

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REGISTERED PROFESSIONAL ENGINEER

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SCALE:

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GRAPHIC SCALE IN FEET

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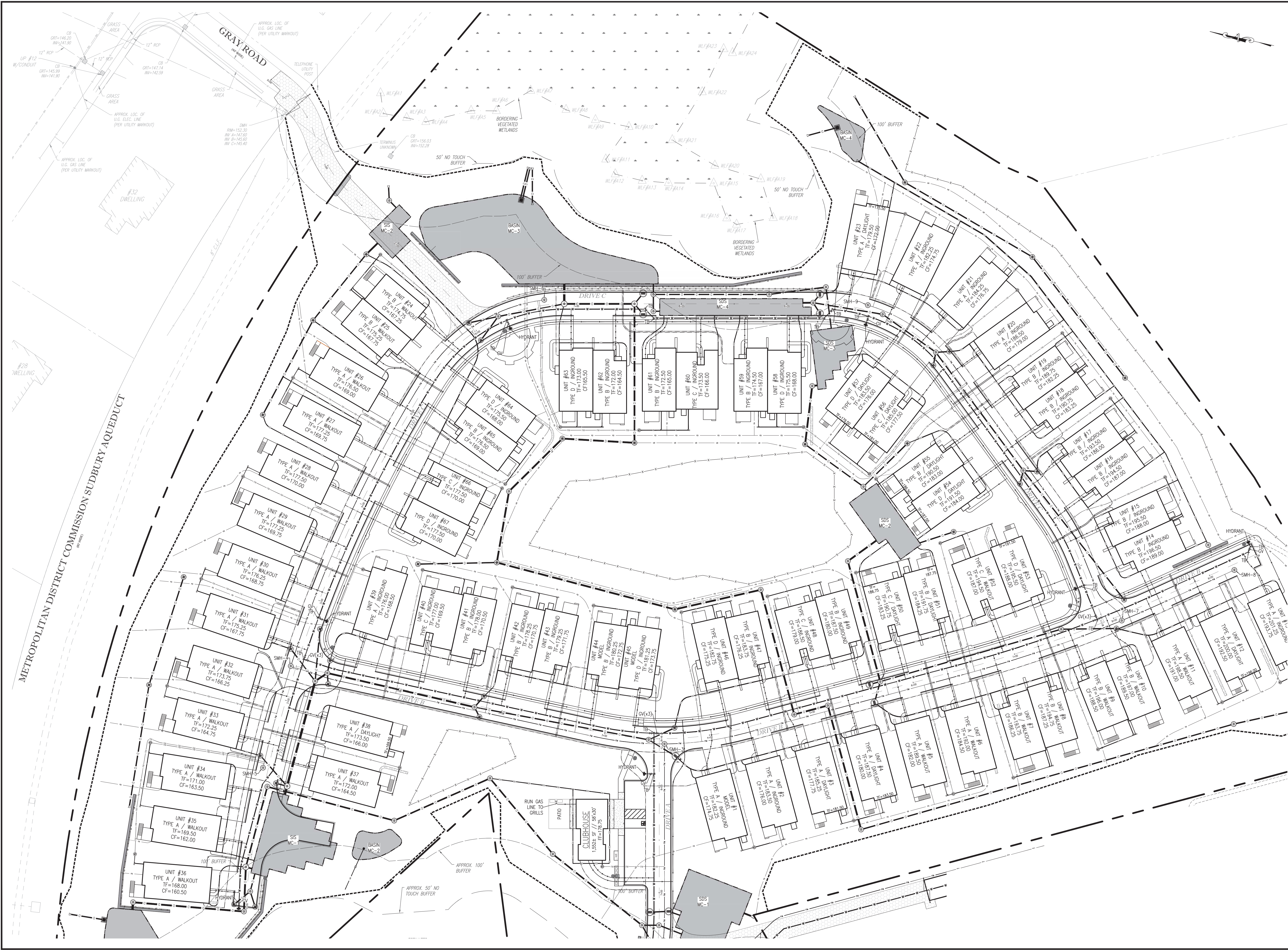
UTILITY PLAN

A

11

DATE:

07/29/2021



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CDG PROJECT #: 19001

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PROJECT:

MEADOWBROOK COMMONS

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SHERBORN, MASSACHUSETTS

SCALE:

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GRAPHIC SCALE IN FEET

SHEET:

UTILITY PLAN
B
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DATE:

07/29/2021



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MEADOWBROOK
COMMONS
84 & 104 COOLIDGE STREET
SHERBORN, MASSACHUSETTS

SCALE:

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GRAPHIC SCALE IN FEET

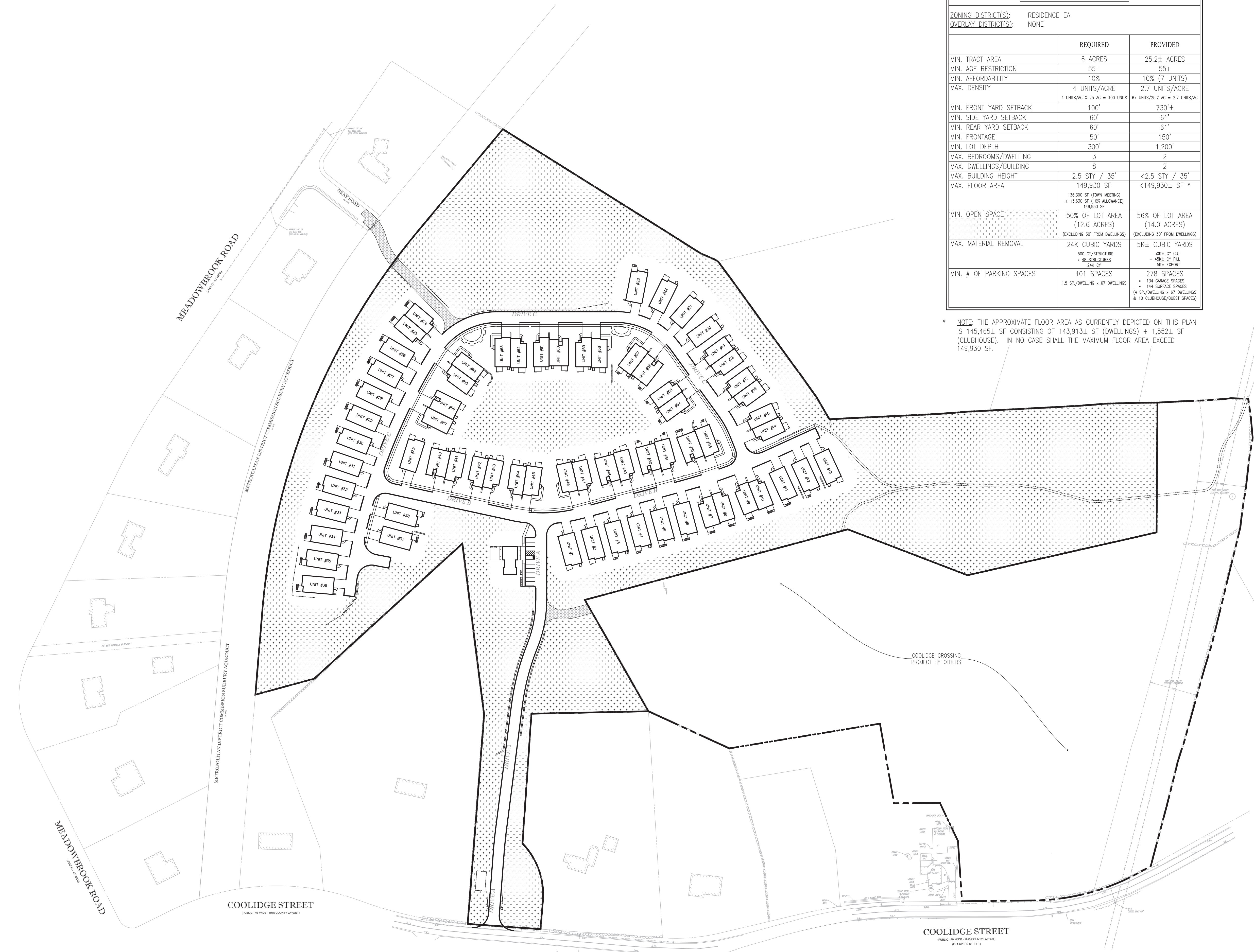
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UTILITY PLAN
C
13

DATE:07/29/2021

ZONING INFORMATION		
ZONING DISTRICT(S):	RESIDENCE EA	
OVERLAY DISTRICT(S):	NONE	
	REQUIRED	PROVIDED
MIN. TRACT AREA	6 ACRES	25.2± ACRES
MIN. AGE RESTRICTION	55+	55+
MIN. AFFORDABILITY	10%	10% (7 UNITS)
MAX. DENSITY	4 UNITS/ACRE	2.7 UNITS/ACRE
	4 UNITS/AC X 25 AC = 100 UNITS	67 UNITS/25.2 AC = 2.7 UNITS/AC
MIN. FRONT YARD SETBACK	100'	73'±
MIN. SIDE YARD SETBACK	60'	61'
MIN. REAR YARD SETBACK	60'	61'
MIN. FRONTAGE	50'	150'
MIN. LOT DEPTH	300'	1,200'
MAX. BEDROOMS/DWELLING	3	2
MAX. DWELLINGS/BUILDING	8	2
MAX. BUILDING HEIGHT	2.5 STY / 35'	<2.5 STY / 35'
MAX. FLOOR AREA	149,930 SF	<149,930± SF *
	136,300 SF (TOWN MEETING) + 13,630 SF (LOCAL ALLOWANCE)	149,930 SF
MIN. OPEN SPACE	50% OF LOT AREA (12.6 ACRES) (EXCLUDING 30' FROM DWELLINGS)	56% OF LOT AREA (14.0 ACRES) (EXCLUDING 30' FROM DWELLINGS)
MAX. MATERIAL REMOVAL	24K CUBIC YARDS 500 CY/STRUCTURE + 48 STRUCTURES 24K CY	5K± CUBIC YARDS 50K± CY CUT - 45K± CY FILL 5K± EXPORT
MIN. # OF PARKING SPACES	101 SPACES 1.5 SP/DWELLING x 67 DWELLINGS	278 SPACES • 134 GARAGE SPACES • 144 SURFACE SPACES (4 SP/DWELLING x 67 DWELLINGS & 10 CLUBHOUSE/GUEST SPACES)

* NOTE: THE APPROXIMATE FLOOR AREA AS CURRENTLY DEPICTED ON THIS PLAN IS 145,465± SF CONSISTING OF 143,913± SF (DWELLINGS) + 1,552± SF (CLUBHOUSE). IN NO CASE SHALL THE MAXIMUM FLOOR AREA EXCEED 149,930 SF.



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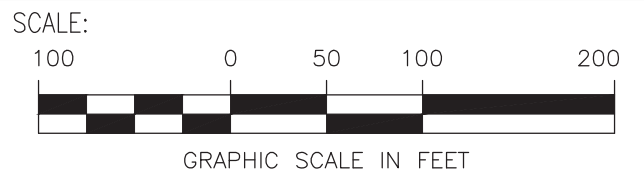


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www.pulte.com

PROJECT:

MEADOWBROOK COMMONS

**84 & 104 COOLIDGE STREET
SHERBORN, MASSACHUSETTS**

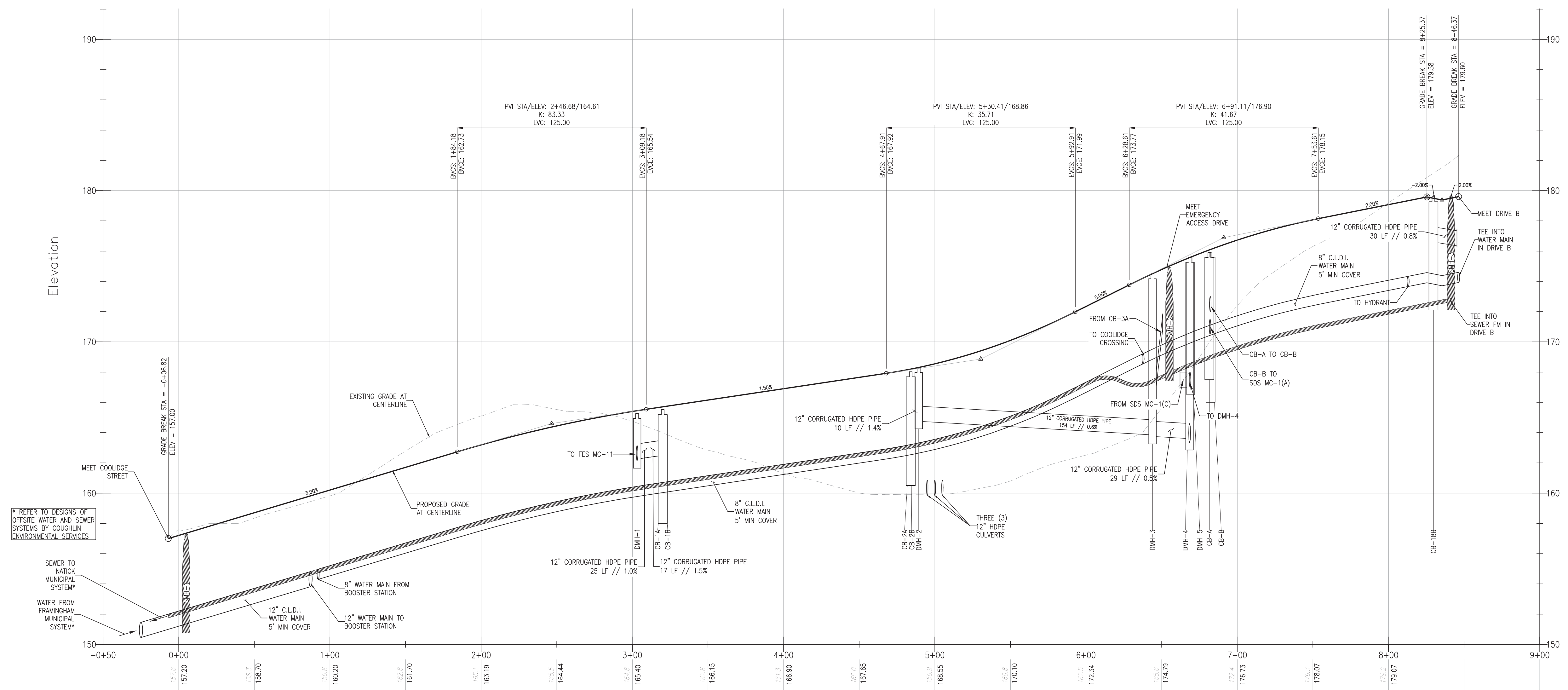
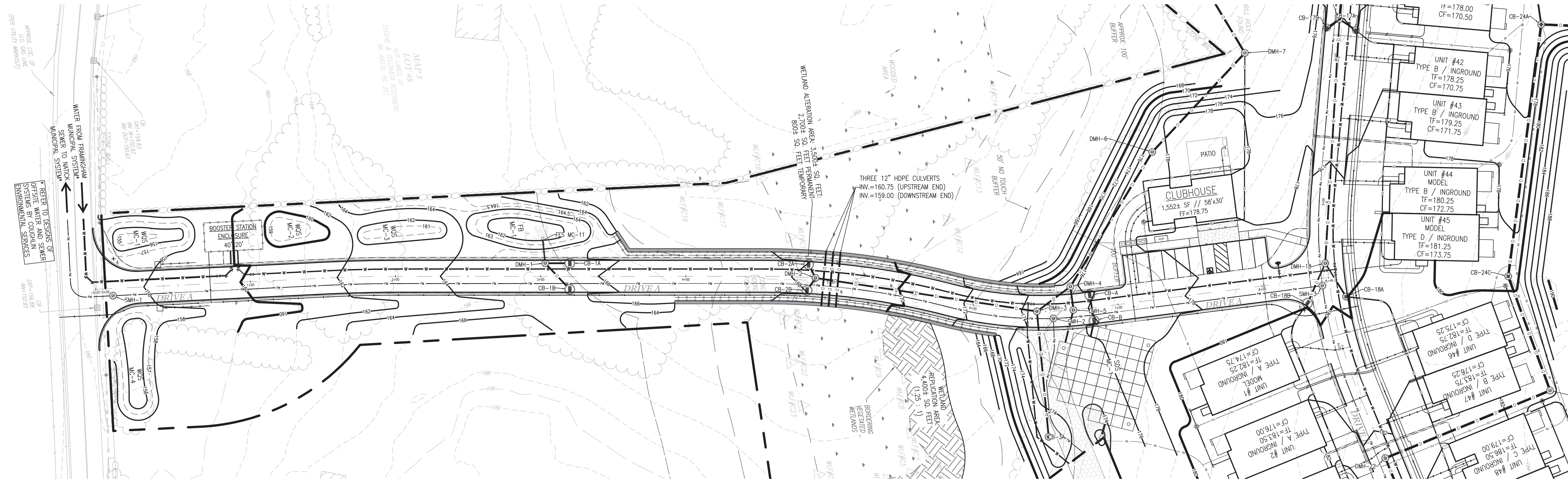


SHEET:

OPEN SPACE PLAN

14

DATE: 07/29/2021



PROFILE: DRIVE A STA -0+07 THROUGH 8+46
HORIZONTAL SCALE: 1" = 40', VERTICAL SCALE: 1" = 40'


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PROJECT:

MEADOWBROOK COMMONS

84 & 104 COOLIDGE STREET
SHERBORN, MASSACHUSETTS

SCALE:

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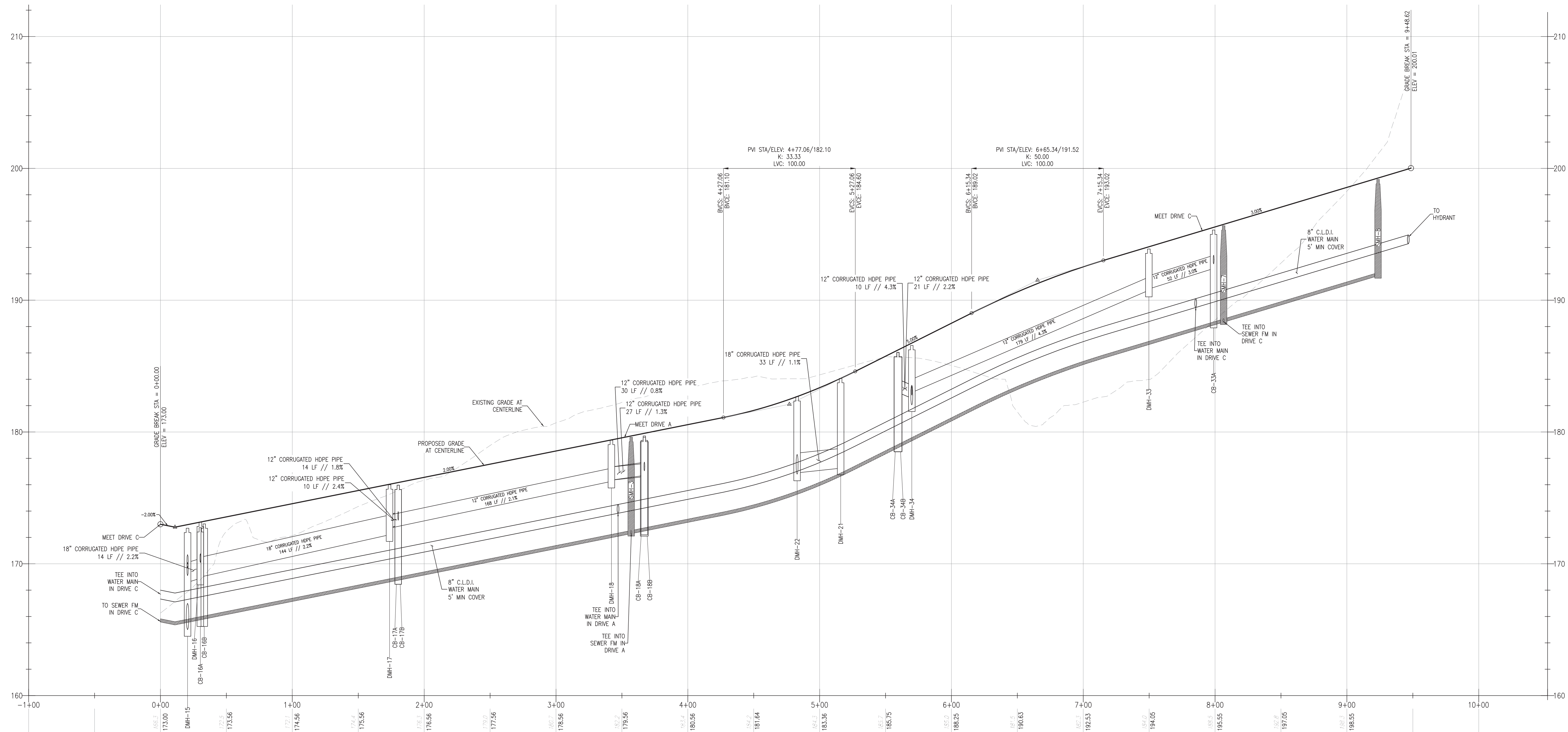
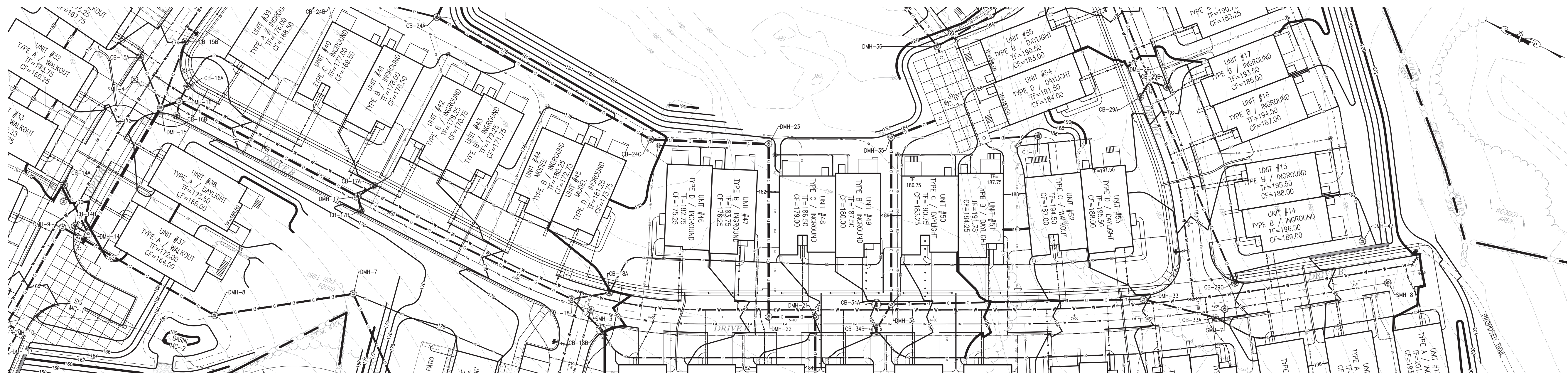
GRAPHIC SCALE IN FEET

SHEET:

PLAN & PROFILE

15

DATE: 07/29/2021



PROFILE: DRIVE B STA 0+00 THROUGH 9+49

HORIZONTAL SCALE: 1" = 40', VERTICAL SCALE: 1" = 40'

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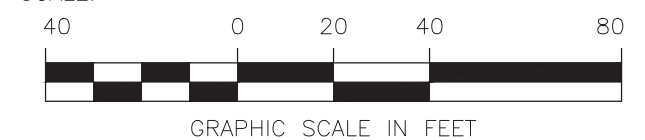
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PROJECT:

**MEADOWBROOK
COMMONS**

**84 & 104 COOLIDGE STREET
SHERBORN, MASSACHUSETTS**

SCALE:

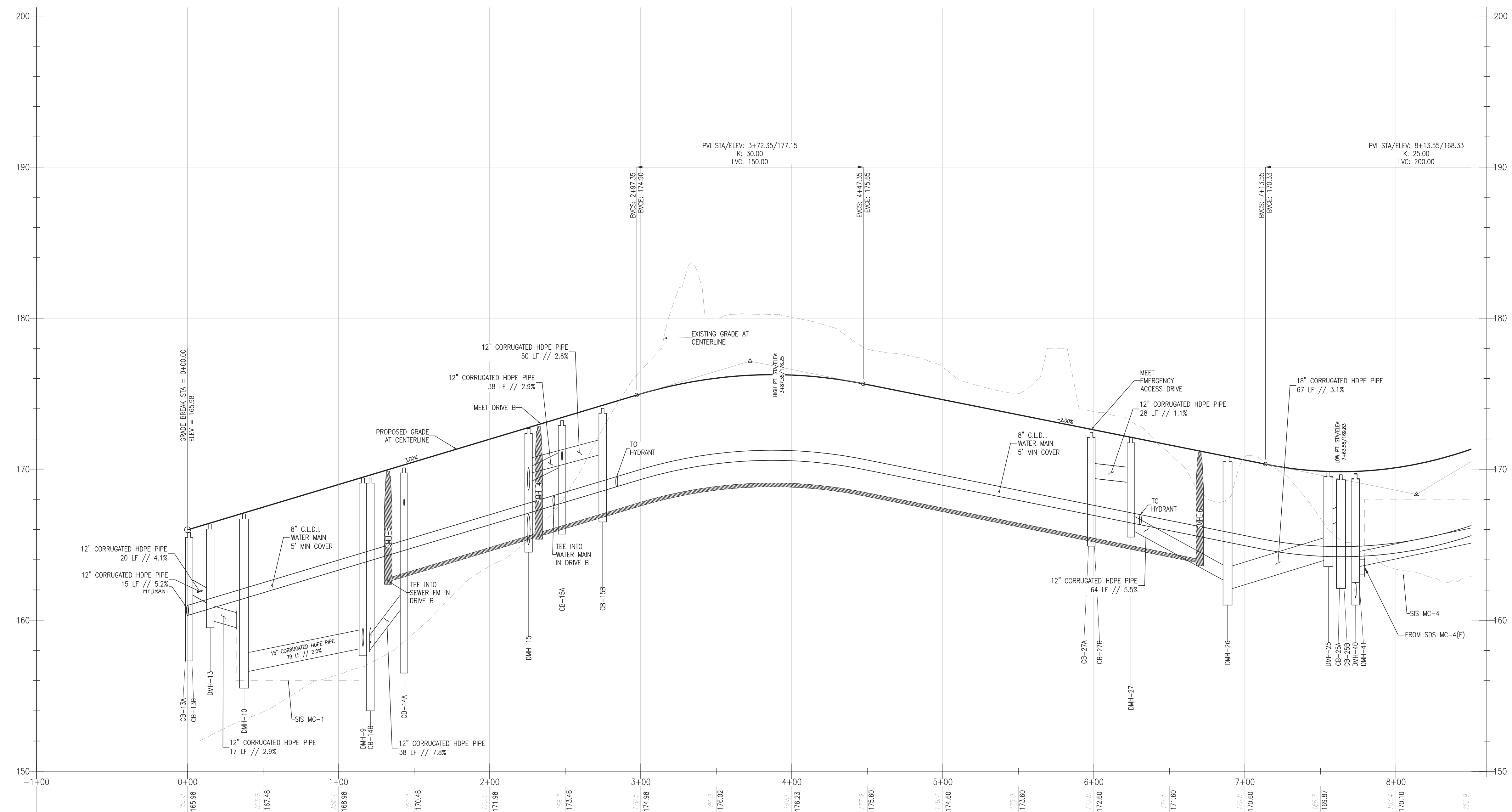
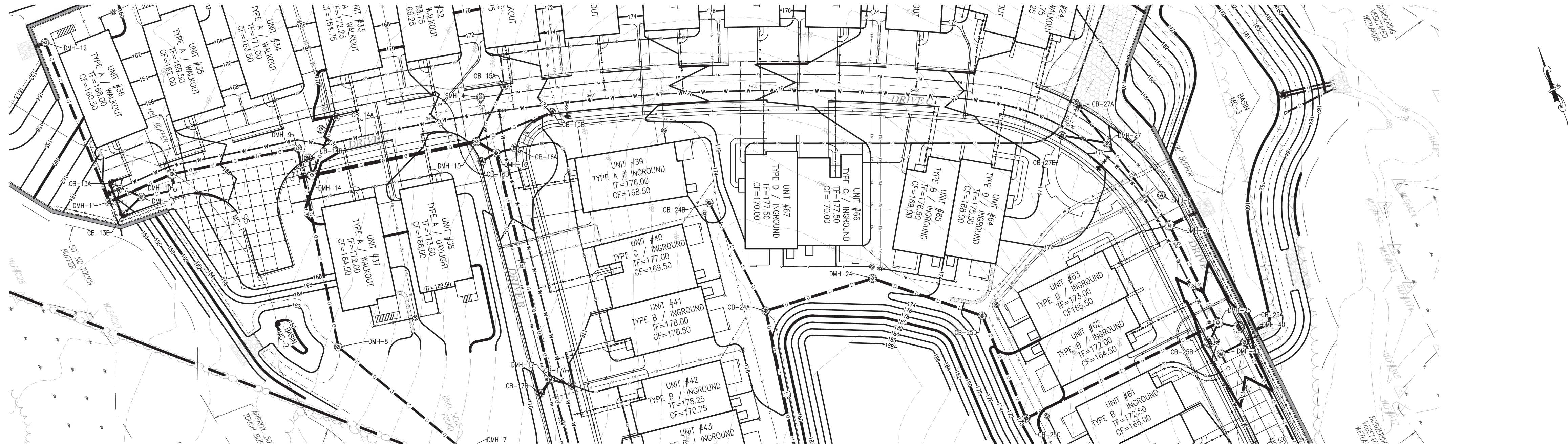


SHEET:

PLAN & PROFILE

16

DATE: 07/29/2021



PROFILE: DRIVE C STA 0+00 THROUGH 8+00
HORIZONTAL SCALE: 1" = 40', VERTICAL SCALE: 1" = 40'


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CDG PROJECT #: 19001

REVISIONS:		
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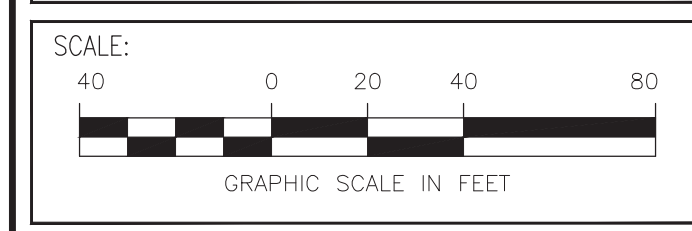
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PROJECT:

MEADOWBROOK COMMONS

**84 & 104 COOLIDGE STREET
SHERBORN, MASSACHUSETTS**

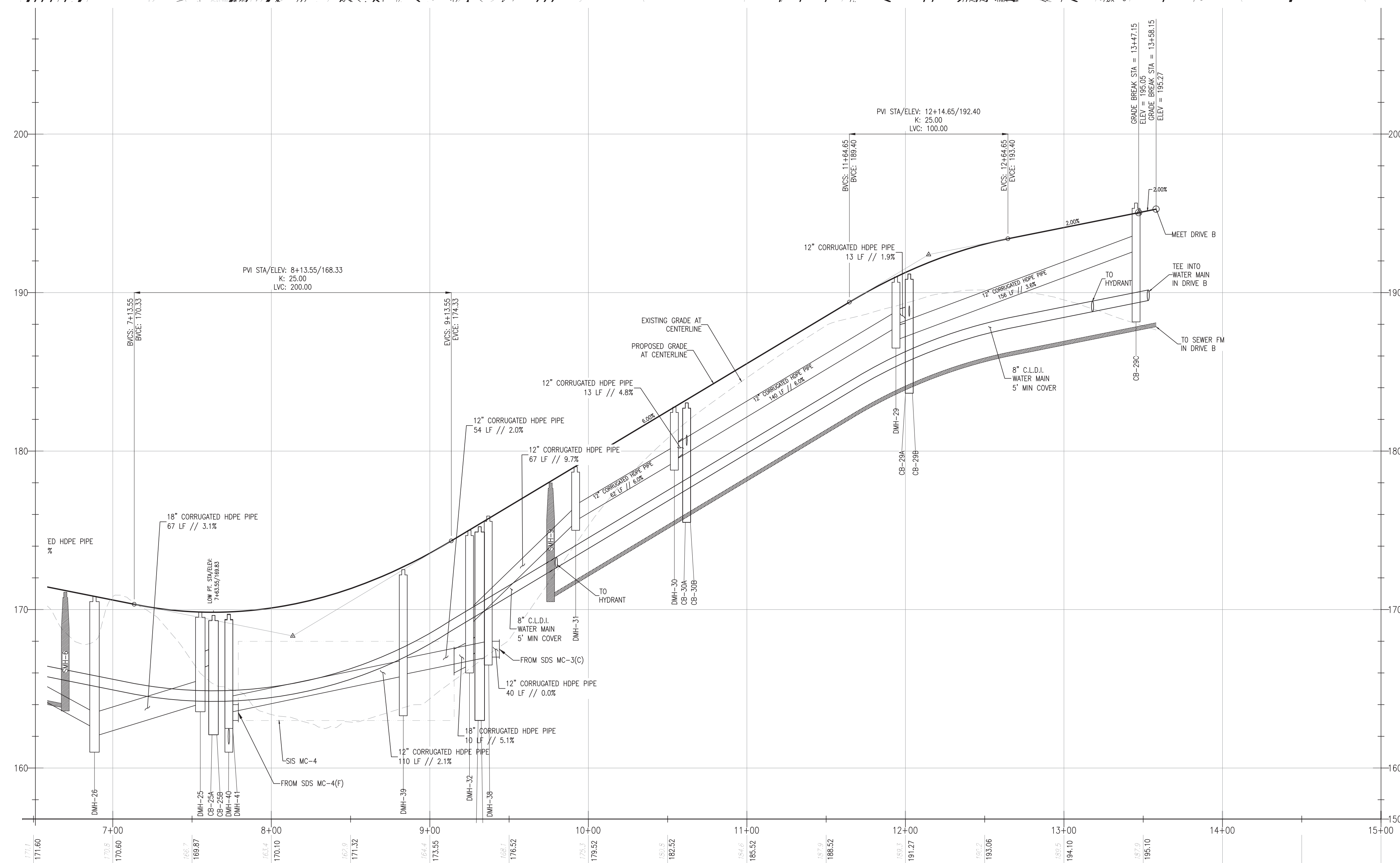
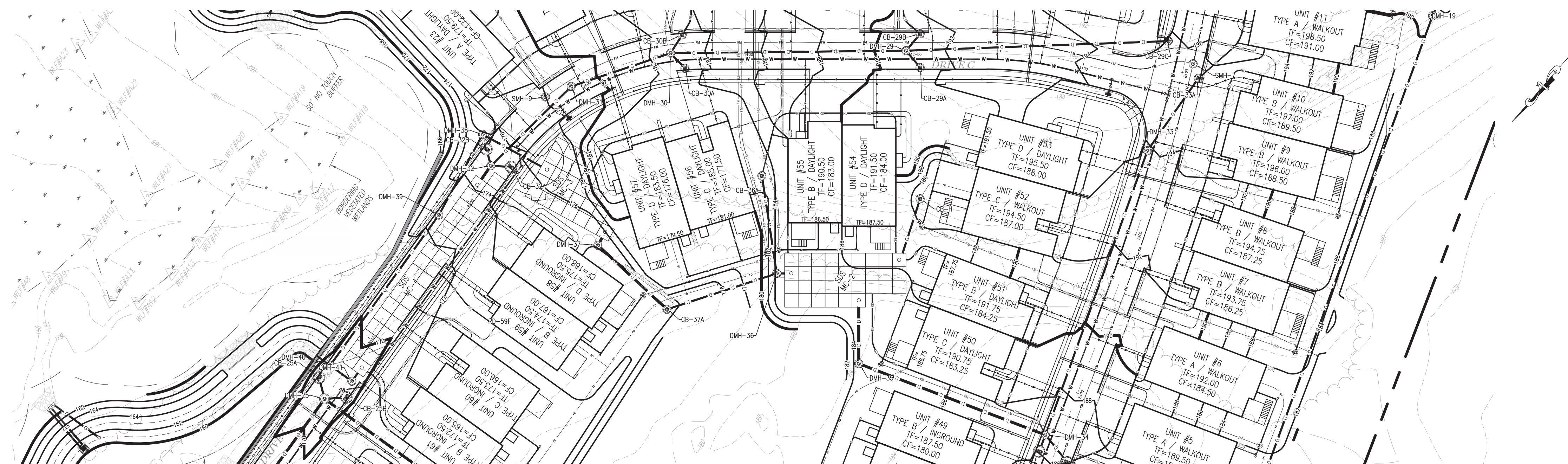


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17

DATE: 07/29/2021



HORIZONTAL SCALE: 1" = 40', VERTICAL SCALE: 1" = 40'

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CDG PROJECT #:	19001
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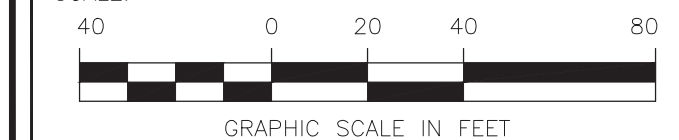
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84 & 104 COOLIDGE STREET
SHERBORN, MASSACHUSETTS

SCALE:

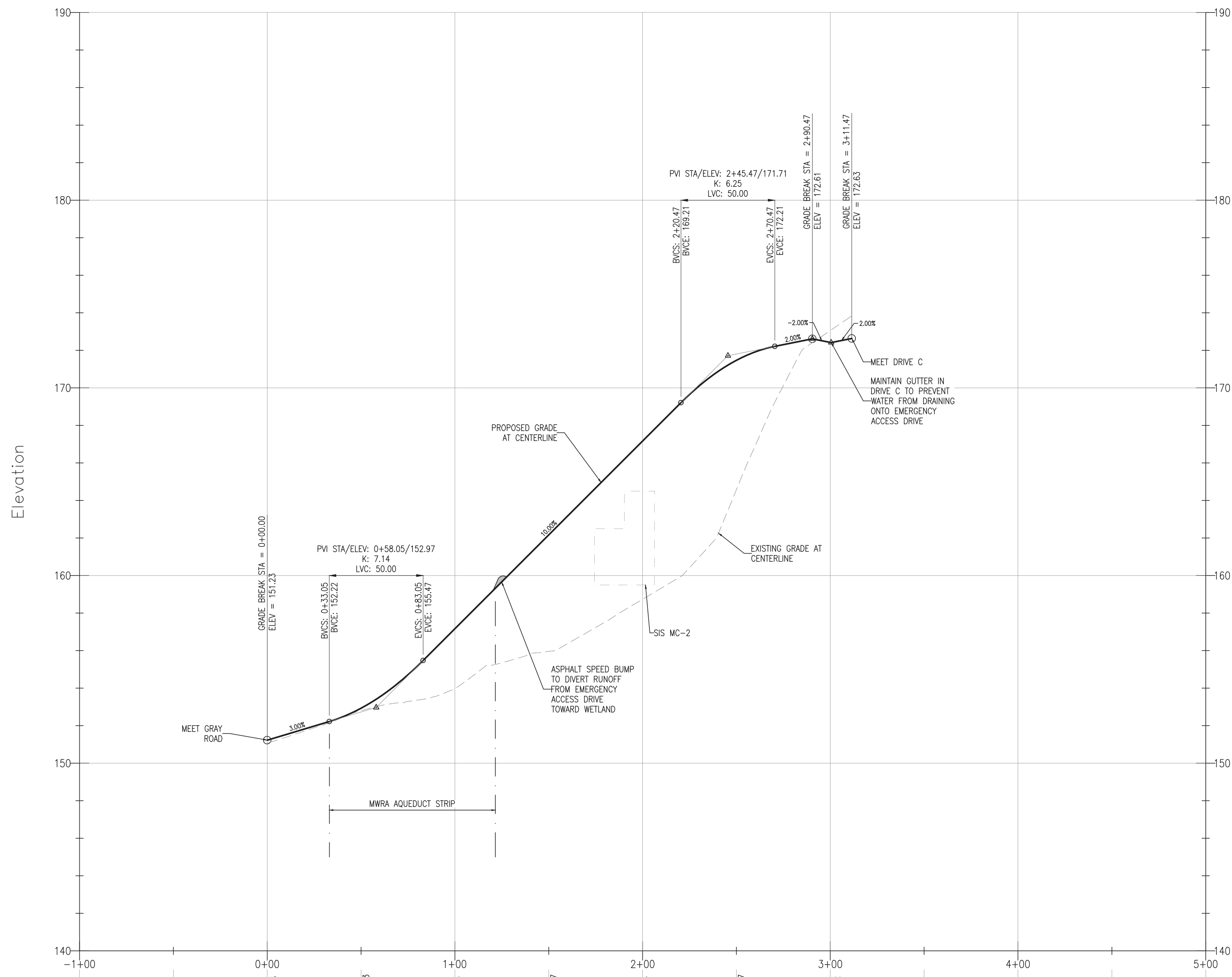
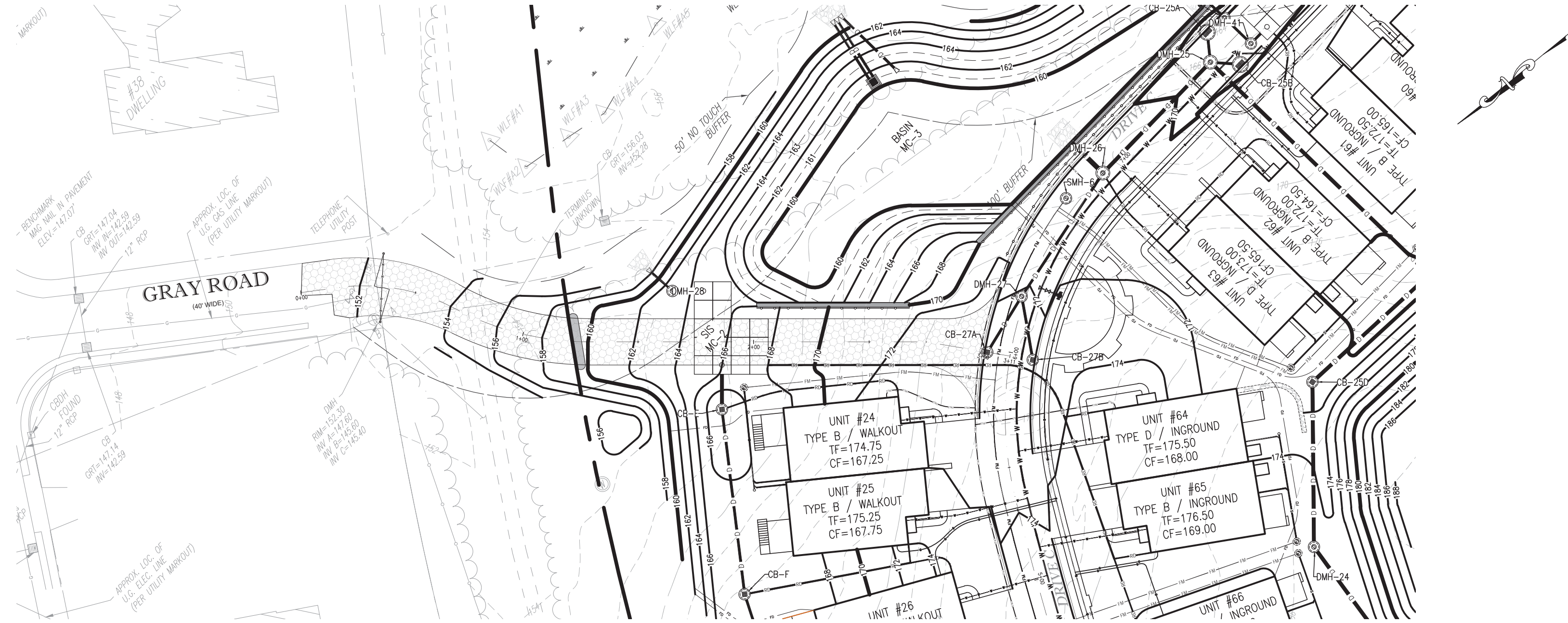


SHEET:

PLAN & PROFILE

18

DATE: 07/29/2021



PROFILE: EMERGENCY ACCESS DRIVE STA 0+00 THROUGH 3+11

HORIZONTAL SCALE: 1" = 40', VERTICAL SCALE: 1" = 40'


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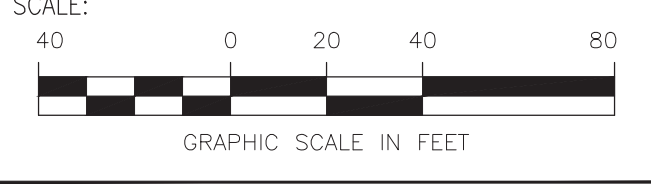
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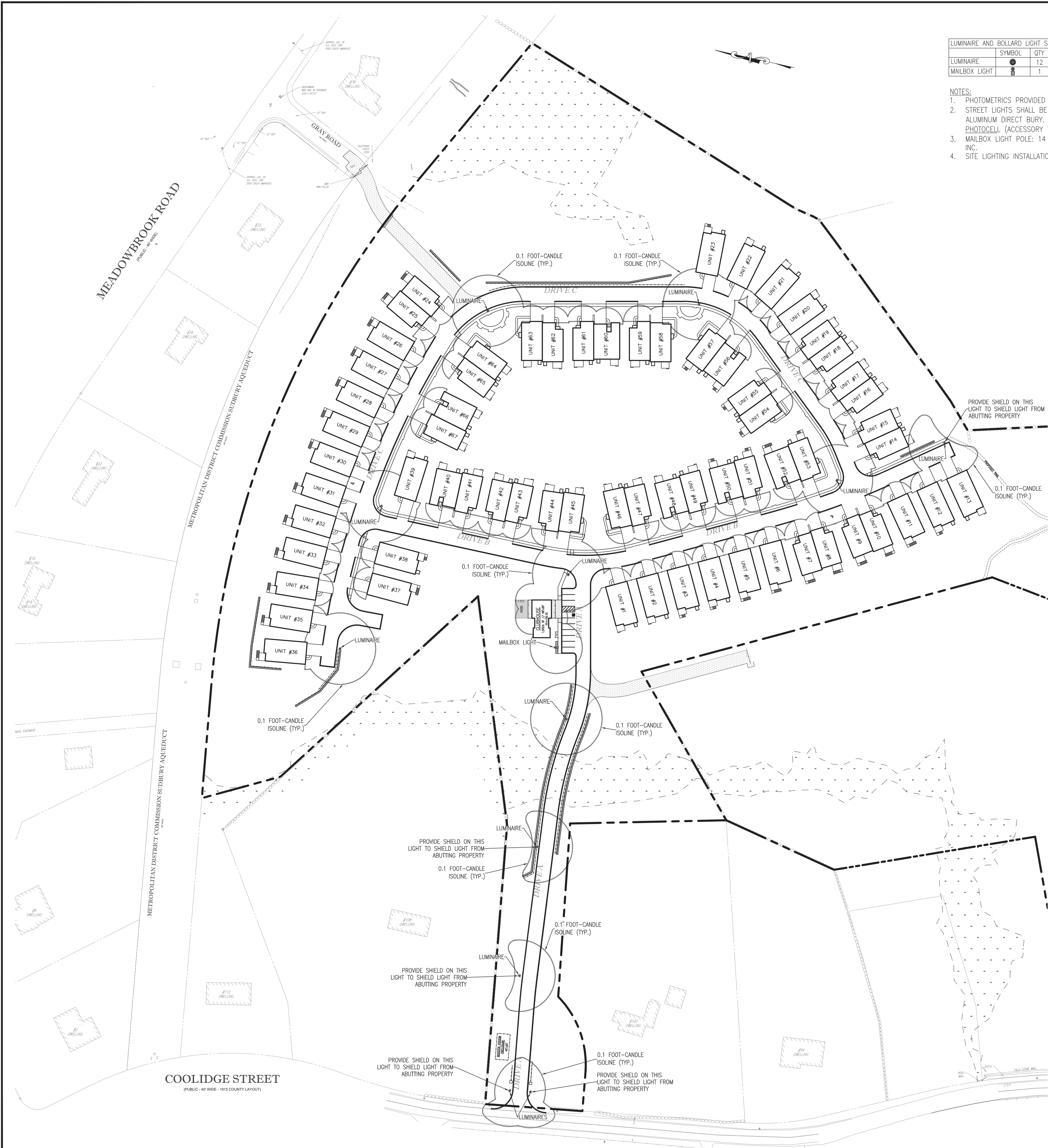
MEADOWBROOK COMMONS

84 & 104 COOLIDGE STREET
SHERBORN, MASSACHUSETTS



SHEET:

PLAN & PROFILE



LUMINAIRE AND BOLLARD LIGHT SCHEDULE						CALCULATION SUMMARY					
LUMINAIRE	SYMBOL	QTY	LABEL	ARRANGEMENT	LUMINAIRE LUMENS	LLF	LABEL	CALCTYPE	UNITS	AVG	MAX
MAILBOX LIGHT		1	D72x/CA/AVI-SY-4L	SINGLE	3473	0.900	CALCPTS	ILLUMINANCE	Fc	1.11	5.8
			SGDW015-PRO-BK							0.0	N.A.

- NOTES:
- PHOTOMETRICS PROVIDED BY AMERLUX.
 - STREET LIGHTS SHALL BE AMERLUX MODEL D721, SMOOTH SATIN BLACK, WITH LED LIGHT SOURCE AND OPTIONAL DECORATIVE CHIMNEY (OPTION "CHM"). POLES SHALL BE 12' ALUMINUM DIRECT BURY. AMERLUX PART STRING D53-12/FDBE/D721/AVI-AS-(SY)-4L/BLK/PCL OR APPROVED EQUAL. STREET LIGHTS AND MAILBOX LIGHTS SHALL BE ON PHOTOCELL (ACCESSORY "PCL").
 - MAILBOX LIGHT POLE: 14 FOOT ROUND ALUMINUM, 3 INCH DIAMETER, ANCHOR BASE, W/OPTIONAL BASE COVER. POWDER COAT BLACK. MODEL NUMBER QS3ALAB BY ENERGY LIGHT, INC.
 - SITE LIGHTING INSTALLATION CONTRACTOR SHALL BE RESPONSIBLE FOR RUNNING THE WIRING INTO THE NEAREST BUILDING OR DESIGNATED METER LOCATION.

LUMINAIRE

D720 SERIES LED LUMINAIRE

12.12.13

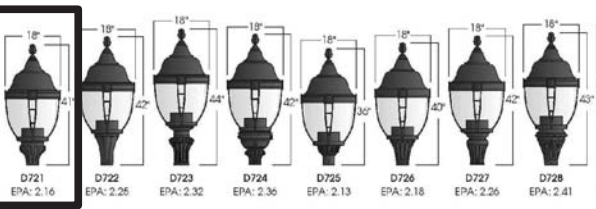
Description
The D720 Series is a luminaire that features a clear acrylic lens surrounded by a decorative cage with a choice of cast aluminum finishes.

LED Luminaire
Multiple LED systems available with connection cooled drive, options for intensity, distribution and color. They operate with over voltage and short circuit protection and automatic voltage sensing for 100 to 277v typical (see spec page for LED wiring).
• Warm White, Neutral White, or Cool White 3000K color
• Dimmable (controlled by others)
• Suitable for wet locations

Installation
The luminaire will mount to a 2" CD post or tension with 5/16" black oxide coated stainless steel set screws to ensure a solid connection. The offset will be held to the flange by (6) 5/16" black oxide coated stainless steel set screws.

Lens
Clear Acrylic

Finish
Premium quality thermoplastic polyester powdercoat for a durable finish in the following:
Neutral
BLK - Satin Black
CLB - Clear Bronze
GRY - Pewter
WHI - Satin White
ATC - Antique Copper
GSS - Gunmetal Grey
WHT - White



Model	LED System	Light Distribution	Order Code	Finish	Option
D720	AVI	AS	3K,4H	ATC	
D720	LM	BY	3K,4H	BLK	
D720	VE	BY	4L,4L	CLB	
D720				GRY	
D720	DSM	22 (Type I)	2K,4H,4H,4H	GRY	PCL-RL
D720		13 (Type II)	3K,4H,4H	WHI	
D720		14 (Type I)	3K,4H,4H	WHI	
D720		16 (Type I)	3K,4H,4H	WHI	

See next page for complete LED lighting system.
800.348.0009 • Fax: 201.907.0460 • www.amerlux.com
America reserves the right to change described and not affect actual functional performance.



D720 LED

PROJECT:
MEADOWBROOK COMMONS
SHERBORN, MA



MAILBOX LIGHT



15W SOLAR POWERED LED STREET LIGHT (PRO SERIES)



- LED Lighting Solutions' 15W Solar Powered LED Street Light is a part of the Pro street lighting series.
- Our 15W Solar LED Street Light emits great lighting and is easy to set up and easy to use
- Built with ABS, PC, aluminum and anti-UV housing, this light is lightweight and stealth in appearance. The 15W LED for this product is equivalent to 1600 lumens and is completely self-sustaining and reduces approximately 50% energy cost.

PRODUCT APPLICATIONS

LED Lighting Solutions' 15W Solar Powered LED Street Light (Pro Series) is a great solution for outdoor lighting needs and boasts a lifespan of upwards to 20 years.

LED LIGHTING SOLUTIONS | 28990 TECHNOLOGY DRIVE, SUITE 115 | MURETA | CALIFORNIA | 92563 | 888-825-1998

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SEAL:



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CIVIL DESIGN GROUP, LLC

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NORTH ANDOVER, MA 01845
www.cdengineering.com
p: 978-794-5400 f: 978-965-3971

PREPARED FOR:



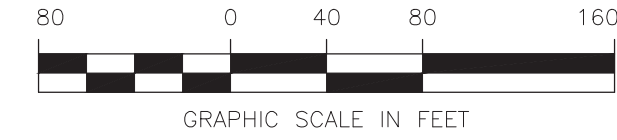
115 FLANDERS ROAD
SUITE 200
WESTBOROUGH, MA 01581
www.pulte.com

PROJECT:

MEADOWBROOK COMMONS

84 & 104 COOLIDGE STREET
SHERBORN, MASSACHUSETTS

SCALE:



SHEET:

PHOTOMETRIC PLAN

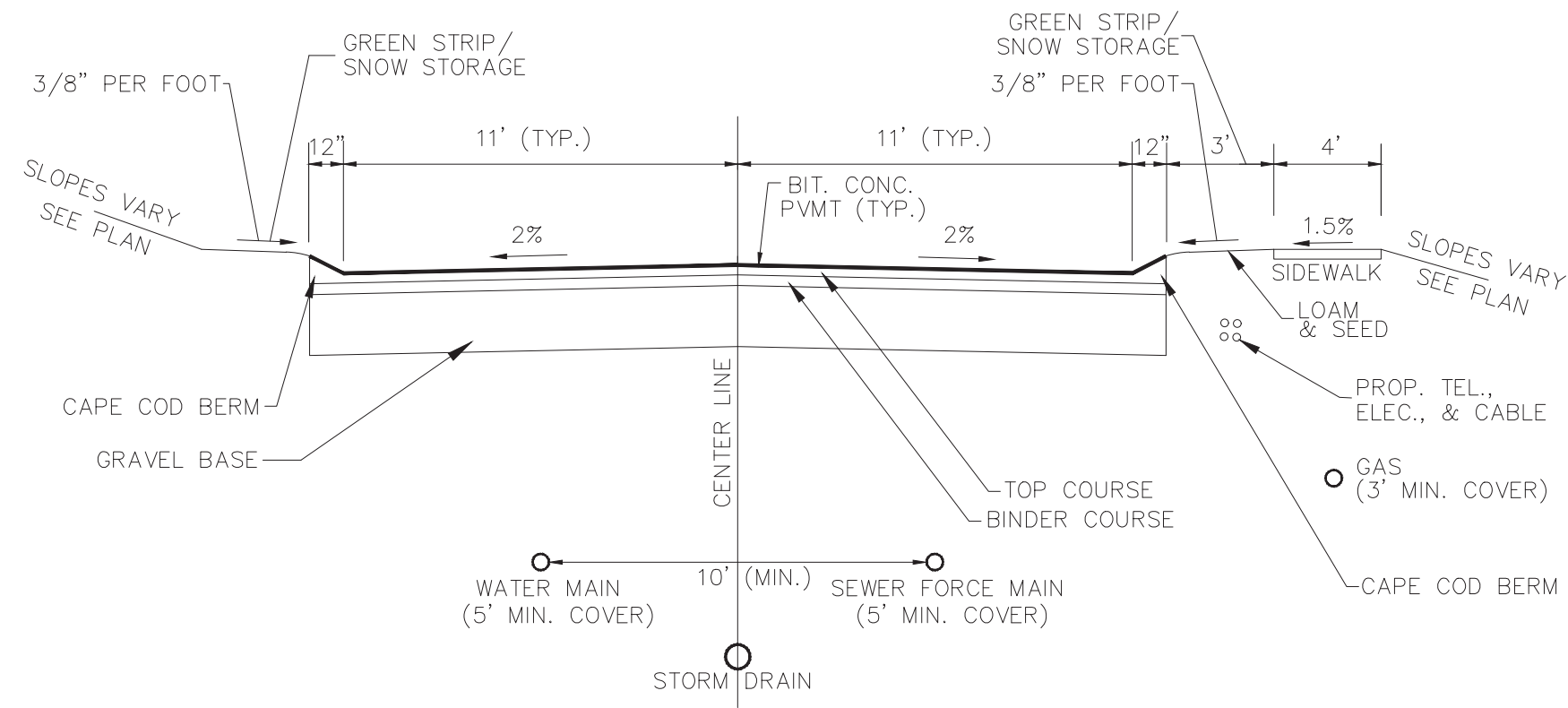
20

DATE:

07/29/2021



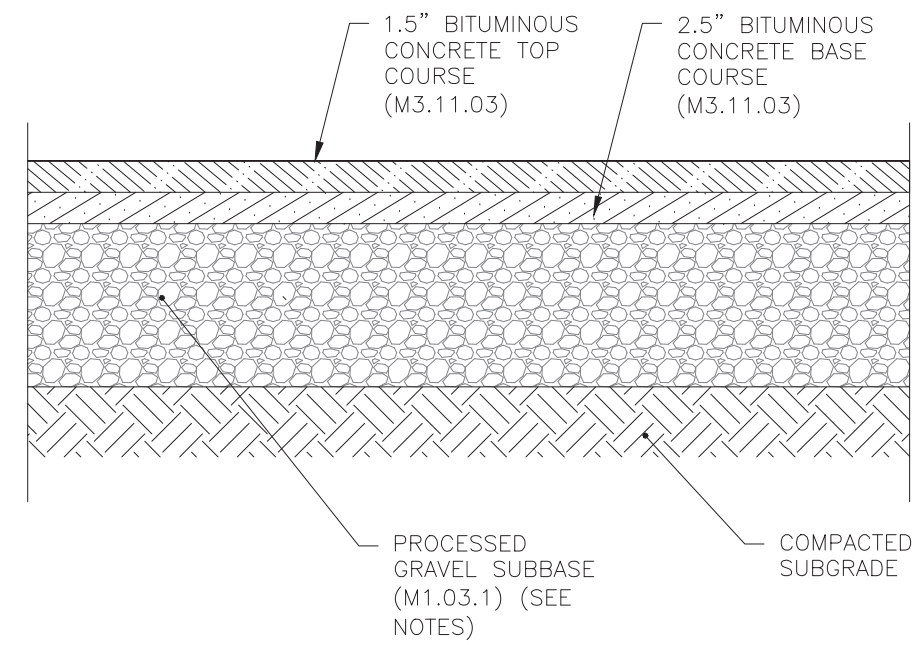
DATE: 07/29/2021



- NOTES:
1. LOCATIONS OF UTILITIES SHOWN IN THIS DETAIL FOR REPRESENTATION PURPOSES ONLY. SEE SITE PLAN FOR PROPOSED LOCATIONS OF UTILITIES.
 2. REFER TO TYPICAL PAVEMENT SECTION DETAIL FOR FURTHER INFORMATION ON PAVEMENT SYSTEM.
 3. PROVIDE 5' WIDE PASSING ZONES ALONG SIDEWALK AT INTERVALS OF NO MORE THAN 200'.
 4. PROVIDE VERTICAL GRANITE CURB TIP DOWNS AT ALL RAMPS AND CROSSWALKS.

TYPICAL SITE DRIVE CROSS-SECTION DETAIL

SCALE: 1\"/>

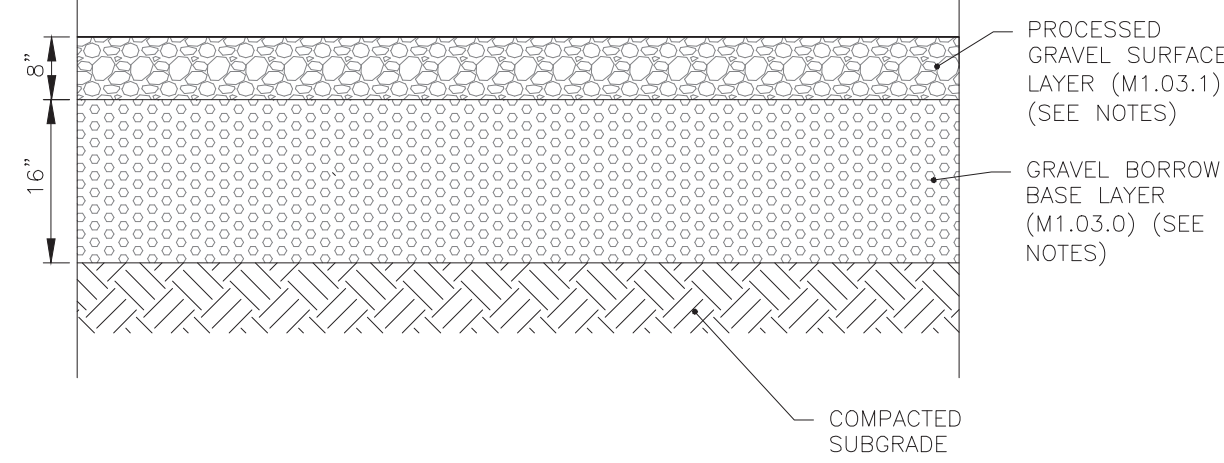


NOTES:

1. THIS DETAIL PROVIDES A MINIMUM STANDARD FOR PAVEMENT CONSTRUCTION BASED ON THE AASHTO GUIDE FOR DESIGN OF PAVEMENT STRUCTURES. THE FINAL PAVEMENT SECTION SHALL BE DESIGNED BY A GEOTECHNICAL ENGINEER AND SHALL BE UTILIZED IF MORE STRINGENT THAN THIS DETAIL.
2. MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MassDOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
3. THE SOIL MUST HAVE A MOISTURE CONTENT DRY OF OPTIMUM AS DETERMINED BY THE MOISTURE-DENSITY RELATIONSHIP TEST METHOD ASTM D1557.
4. THE SOIL CAN BE COMPACTED TO 98% OF THE MAXIMUM STANDARD PROCTOR DENSITY AS DETERMINED BY THE MOISTURE-DENSITY RELATIONSHIP TEST METHOD ASTM D698.
5. THE SOIL SHALL NOT BE USED IF THE MATERIAL CONTAINS ORGANIC MATTER, RUBBLE, DEBRIS OR ANY OTHER DELETERIOUS MATERIAL.

TYPICAL BITUMINOUS PAVEMENT SECTION

NOT TO SCALE

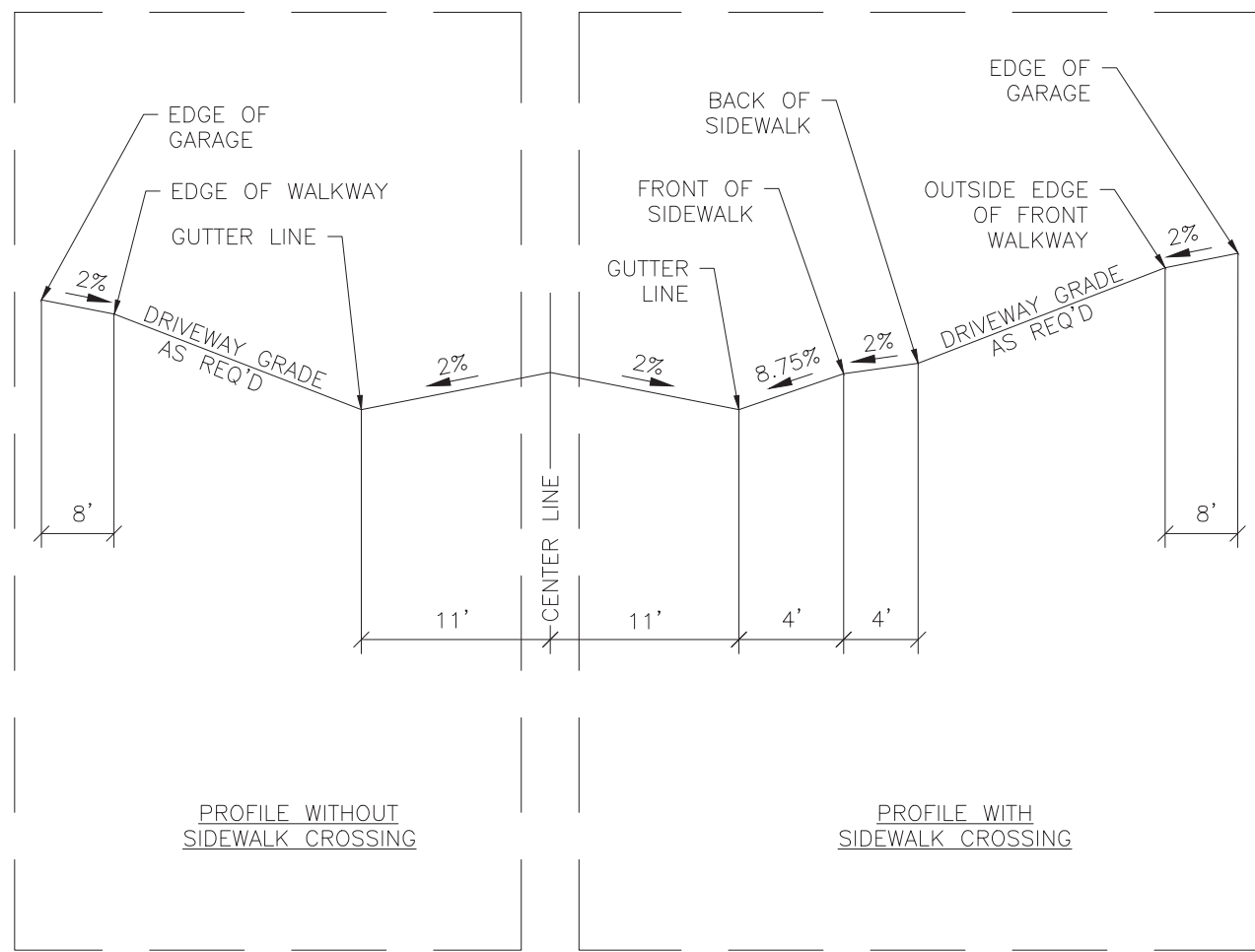


NOTES:

1. MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MassDOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.
2. THE SOIL MUST HAVE A MOISTURE CONTENT DRY OF OPTIMUM AS DETERMINED BY THE MOISTURE-DENSITY RELATIONSHIP TEST METHOD ASTM D1557.
3. THE SOIL CAN BE COMPACTED TO 98% OF THE MAXIMUM STANDARD PROCTOR DENSITY AS DETERMINED BY THE MOISTURE-DENSITY RELATIONSHIP TEST METHOD ASTM D698.
4. THE SOIL SHALL NOT BE USED IF THE MATERIAL CONTAINS ORGANIC MATTER, RUBBLE, DEBRIS OR ANY OTHER DELETERIOUS MATERIAL.

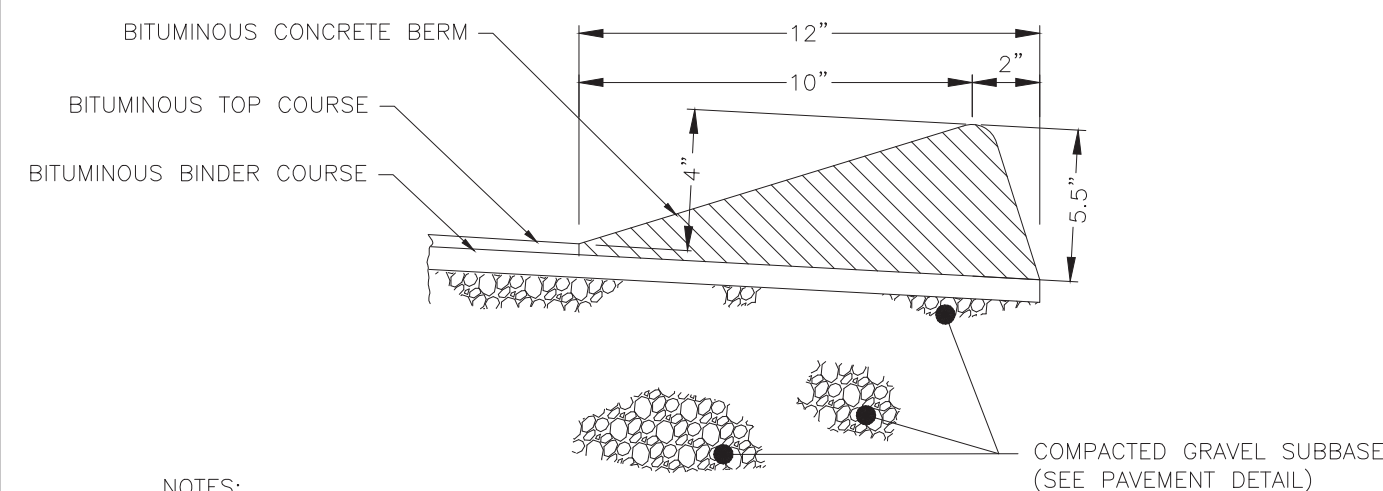
EMERGENCY ACCESS DRIVE SECTION

NOT TO SCALE



TYPICAL DRIVEWAY DETAIL

NOT TO SCALE

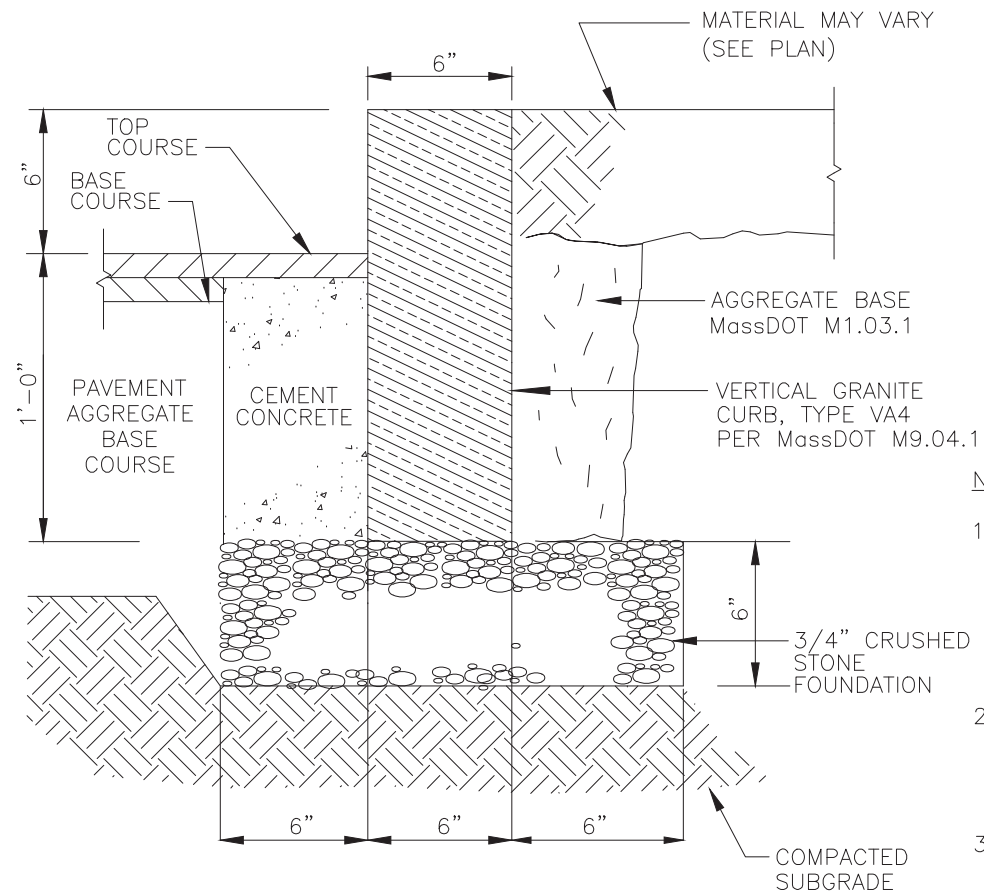


NOTES:

1. SEE NOTES SHEET AND LAYOUT PLAN FOR WHERE EACH CURB TYPE IS TO BE UTILIZED.
2. WHERE SIDEWALK DIRECTLY ABUTS THE BACK OF CURB, PROVIDE AN EXPANSION JOINT BETWEEN THE SIDEWALK AND CURB.

TYPICAL MONOLITHIC CAPE COD BERM DETAIL

NOT TO SCALE

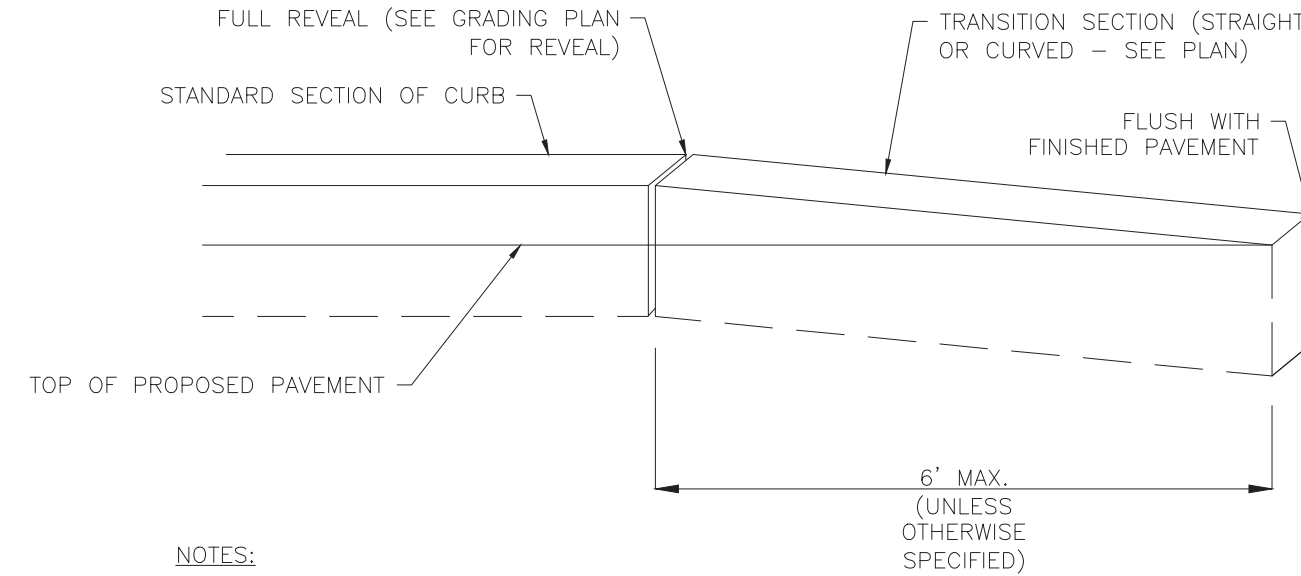


NOTES:

1. JOINTS BETWEEN CURB STONES (BOTH BACK AND FRONT) SHALL BE CAREFULLY FILLED WITH CEMENT MORTAR AND NEATLY POINTED ON THE TOP AND FRONT EXPOSED PORTIONS.
2. AFTER POINTING, CURBSTONES SHALL BE SATISFACTORILY CLEANED OF ALL EXCESS MORTAR THAT MAY HAVE BEEN FORCED OUT OF THE JOINTS.
3. SEE NOTES SHEET AND LAYOUT PLAN FOR WHERE EACH CURB TYPE IS TO BE UTILIZED.
4. ALL WORK SHALL CONFORM TO DPW STANDARD SPECIFICATIONS.

TYPICAL VERTICAL GRANITE CURB DETAIL (FOR TRANSITION CURBS)

NOT TO SCALE

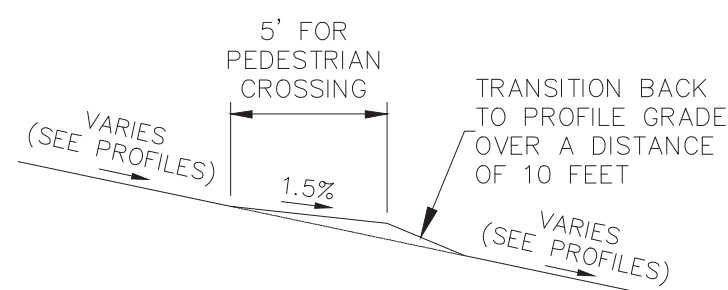


NOTES:

1. SEE CURBING DETAILS FOR ADDITIONAL INFORMATION.
2. APPLIES TO AREAS WHERE CURBING GOES FROM FLUSH TO REVEAL INCLUDING AT ALL RAMPS.

TRANSITION CURB DETAIL

NOT TO SCALE

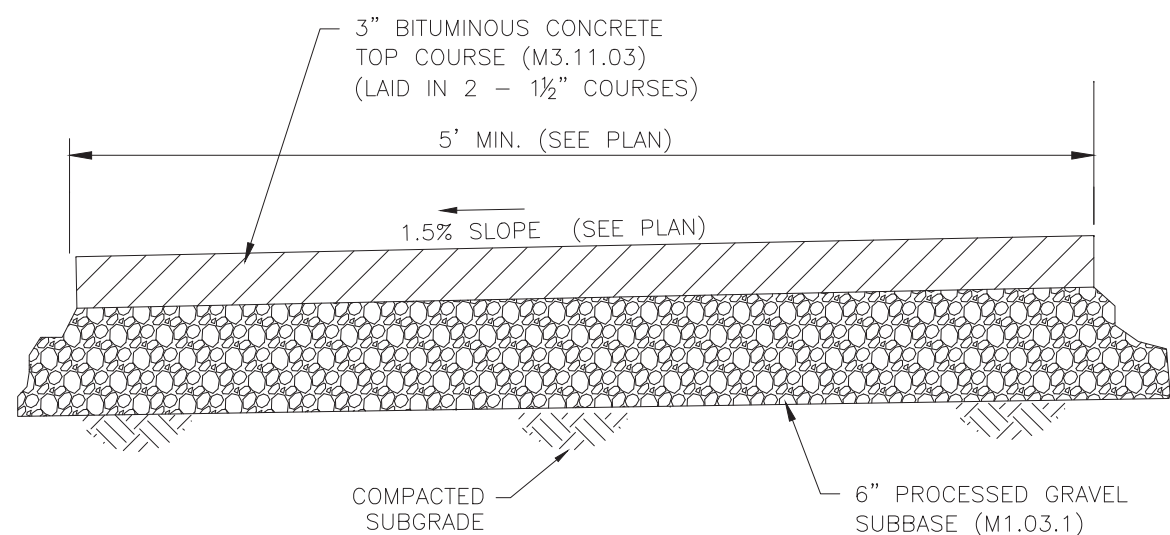


NOTES:

1. THIS DETAIL APPLIES WHERE PEDESTRIAN ROUTES ALONG SIDEWALKS OR CROSSWALKS CROSS SITE ROADWAYS, REGARDLESS OF WHETHER OR NOT A PAINTED CROSSWALK IS PROPOSED.
2. WHERE SITE DRIVE PROFILE GRADE IS LESS THAN 1.5% THE CROSS SLOPE OF THE CROSSWALK SHALL MATCH THE ROAD GRADE (I.E. NO ADJUSTMENT NECESSARY).

ROADWAY ADJUSTMENT AT PEDESTRIAN CROSSING DETAIL

NOT TO SCALE

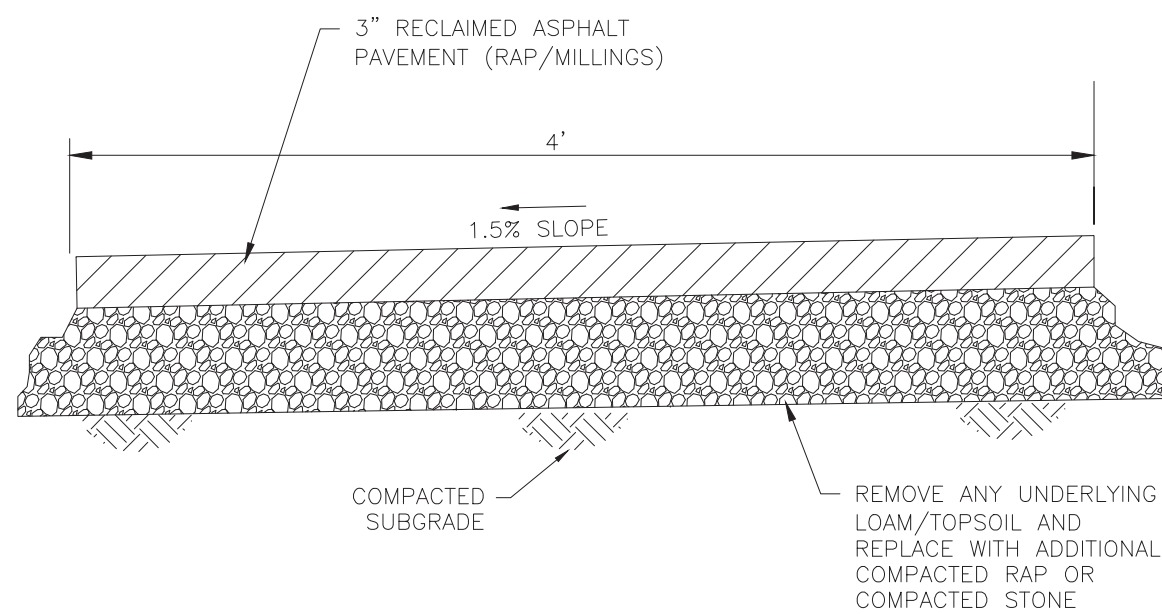


NOTES:

1. THIS DETAIL PROVIDES A MINIMUM STANDARD FOR SIDEWALK CONSTRUCTION. THE FINAL SIDEWALK SECTION SHALL BE DESIGNED BY A GEOTECHNICAL ENGINEER AND SHALL BE UTILIZED IF MORE STRINGENT THAN THIS DETAIL.
2. WHERE SIDEWALK DIRECTLY ABUTS THE BACK OF CURB, PROVIDE AN EXPANSION JOINT BETWEEN THE SIDEWALK AND CURB.
3. FLAT WORK WITHIN THE MUNICIPAL RIGHT OF WAY SHALL BE CONSTRUCTED IN CONFORMANCE WITH MUNICIPAL STANDARD SPECIFICATIONS.

TYPICAL ASPHALT SIDEWALK DETAIL

NOT TO SCALE

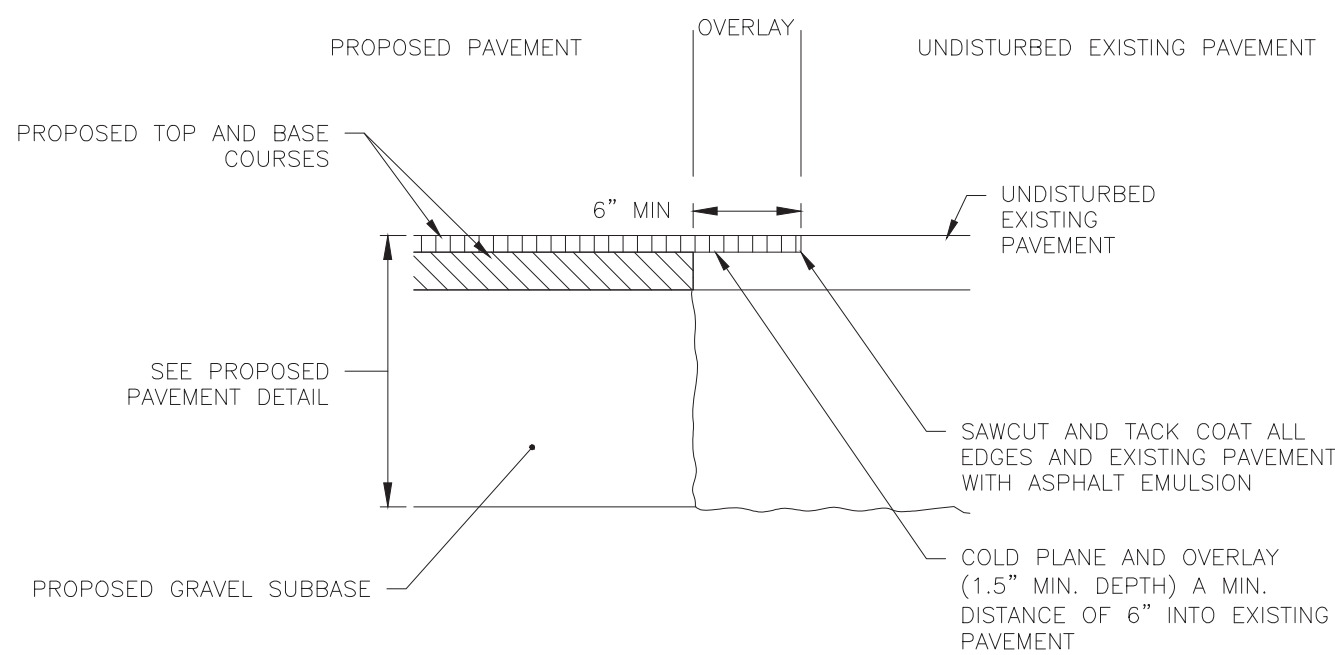


NOTES:

1. THIS DETAIL APPLIES ONLY TO NEW SECTIONS OF TRAIL TO BE CONSTRUCTED. IN CASES WHERE THE PROPOSED TRAIL FOLLOWS AN EXISTING TRAIL, PATH, OR DRIVE, THE SITE OWNER SHALL INSPECT THE CONDITION OF THE EXISTING SURFACE AND DETERMINE IF ANY REPAIRS OR IMPROVEMENTS ARE REQUIRED AND SHALL DIRECT THE CONTRACTOR ACCORDINGLY.

TRAIL DETAIL

NOT TO SCALE



PAVEMENT TIE-IN DETAIL

NOT TO SCALE

NOT FOR CONSTRUCTION

CDG PROJECT #: 19001

REVISIONS:		
REV	DATE	COMMENT
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PLANNING BOARD:

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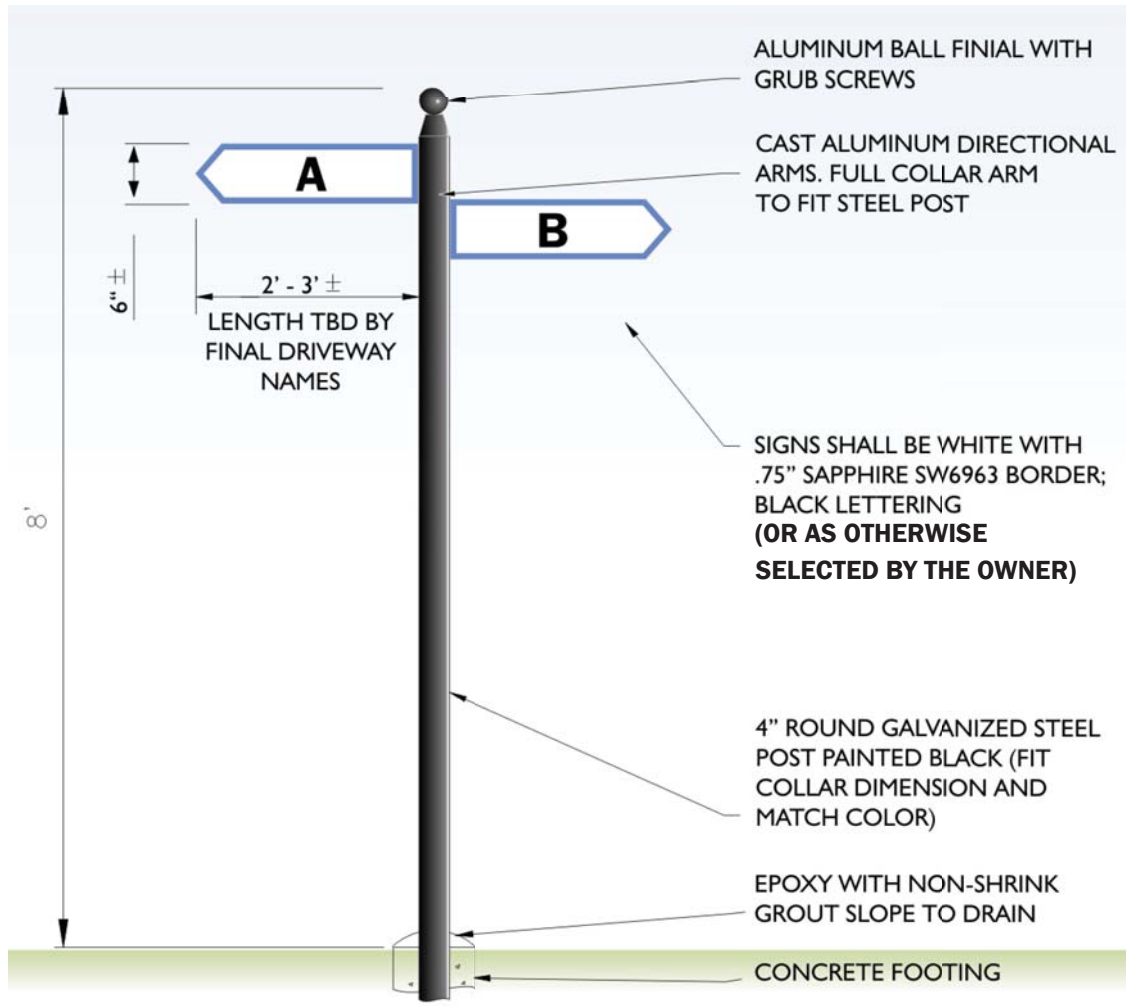
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SHEET:

CONSTRUCTION DETAILS

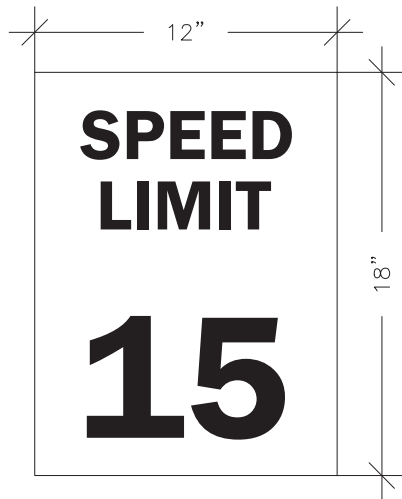
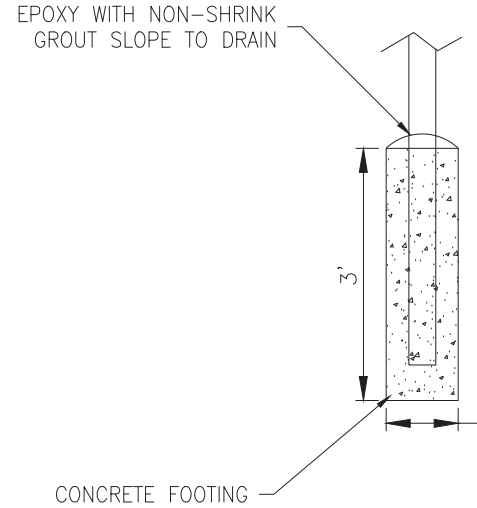
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DATE: 07/29/2021



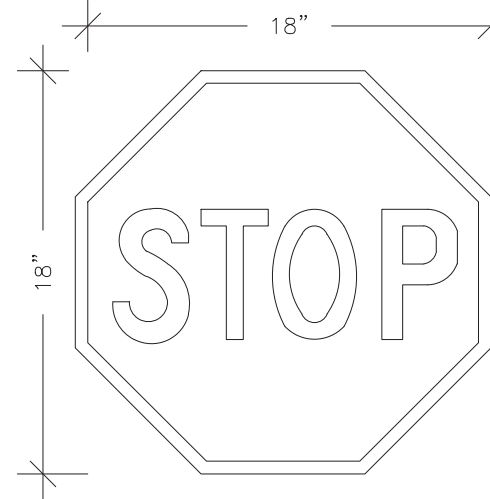
STREET SIGN DETAIL

NOT TO SCALE



SPEED LIMIT SIGN NOTES:

1. SIGNS LOCATIONS ARE SHOWN ON THE LAYOUT PLAN.
2. SIGNS SHALL BE MOUNTED ON A 4"x4" PRESSURE-TREATED POST WITH BLACK PVC WRAP AND MANSARD CAP, AND SHALL BE 48" FROM GROUND TO BOTTOM OF SIGN.
3. FONT - "ITC FRANKLIN", MEDIUM; DEMI OR AS OTHERWISE SELECTED BY THE OWNER.
4. COLORS - SIGN BACKGROUND SHALL BE SHERWIN WILLIAMS "NAVAL"; PM5540 OR AS OTHERWISE SELECTED BY THE OWNER. LETTERING SHALL BE WHITE - VINYL CUT OR AS OTHERWISE SELECTED BY THE OWNER.
5. MATERIAL - 1/2" PVC.



STOP SIGN DETAIL

NOT TO SCALE

STOP SIGN NOTES:

1. SIGNS LOCATIONS ARE SHOWN ON THE LAYOUT PLAN.
2. SIGNS SHALL BE MOUNTED ON A 4"x4" PRESSURE-TREATED POST WITH BLACK PVC WRAP AND MANSARD CAP, AND SHALL BE 48" FROM GROUND TO BOTTOM OF SIGN.
3. STOP SIGNS SHALL BE WHITE ON RED REFLECTIVE BACKGROUND.



EMERGENCY ACCESS ONLY SIGN

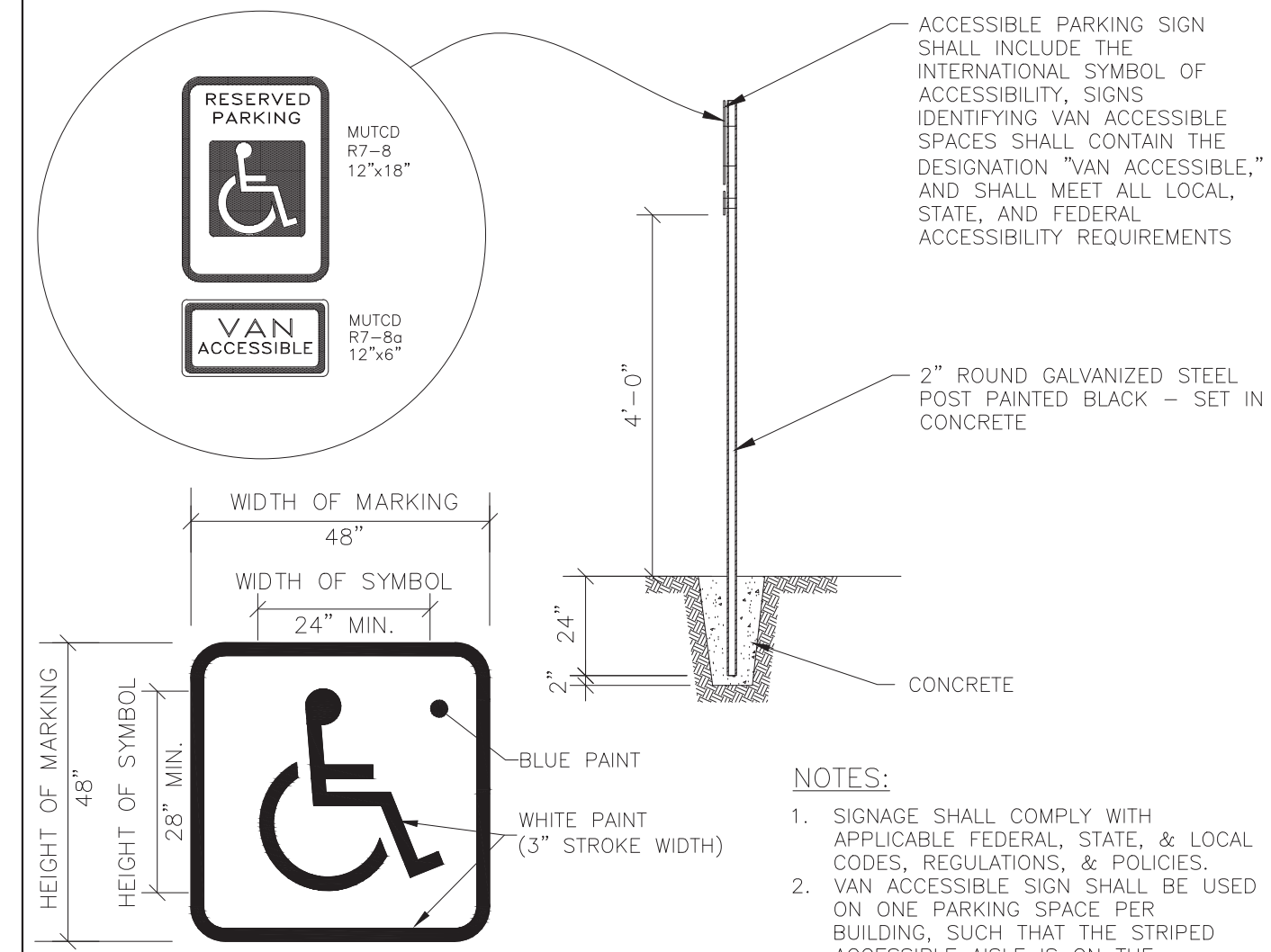
NOT TO SCALE

EMERGENCY ACCESS SIGN NOTES:

1. PROVIDE ONE SIGN ON EACH SIDE OF EMERGENCY ACCESS GATE MOUNTED DIRECTLY TO THE GATE(S).
2. FONT - "ITC FRANKLIN", MEDIUM; DEMI OR AS OTHERWISE SELECTED BY THE OWNER.
3. COLORS - SIGN BACKGROUND SHALL BE SHERWIN WILLIAMS "NAVAL"; PM5540 OR AS OTHERWISE SELECTED BY THE OWNER. LETTERING SHALL BE WHITE - VINYL CUT OR AS OTHERWISE SELECTED BY THE OWNER.
4. MATERIAL - 1/2" PVC.

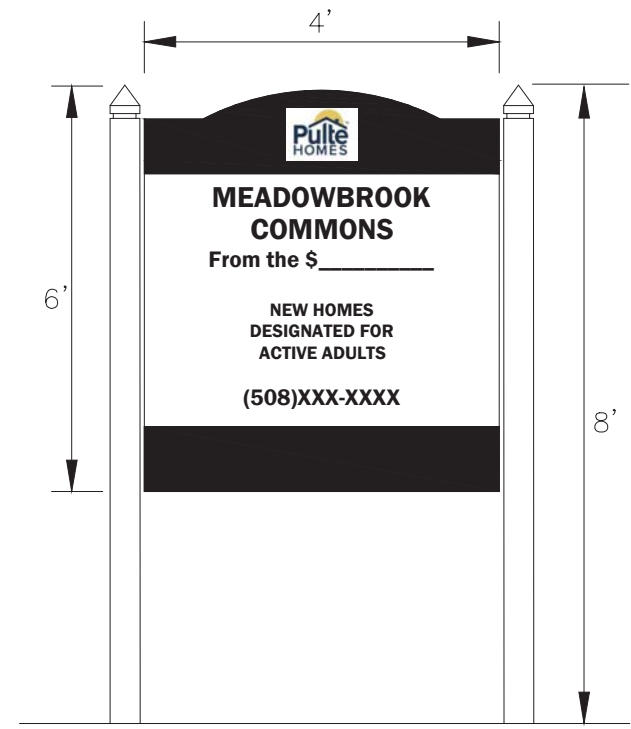
MISC. SIGN DETAILS

NOT TO SCALE



ACCESSIBLE PARKING SIGNAGE & PAVEMENT MARKING DETAIL

NOT TO SCALE



NOTES:

1. TO BE MOUNTED NEAR MAIN ENTRANCE AS SHOWN ON TEMPORARY CONSTRUCTION & SALES SCHEMATIC.
2. ELECTRIC SERVICE LINES TO BE RUN FROM MAIN IN ORDER TO UTILIZE ILLUMINATED SIGNS.

4'x6' ILLUMINATED TEMPORARY COMMUNITY SALES SIGN



NOTE:

TO BE MOUNTED ON CONSTRUCTION TRAILER.

2'-6"x3'-6" CONSTRUCTION TRAILER SIGN



NOTE:

TO BE MOUNTED ON SALES TRAILER AND IN FRONT OF SALES OFFICE IN MODEL HOME.

2'x2' SALES TRAILER SIGN



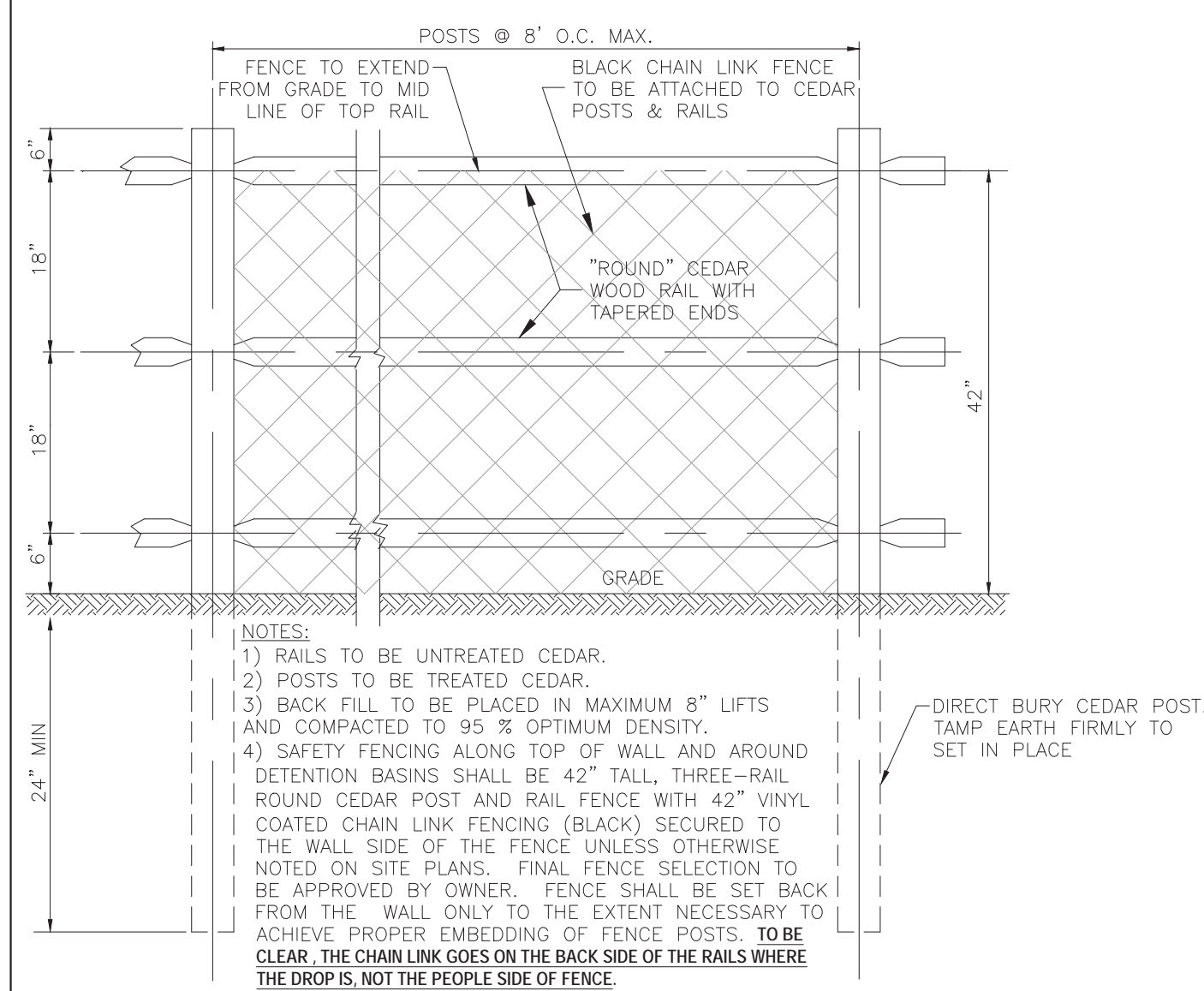
NOTE:

TO BE MOUNTED AT LOCATION SPECIFIED BY CONSTRUCTION.

4'x4' HARD HAT SIGN

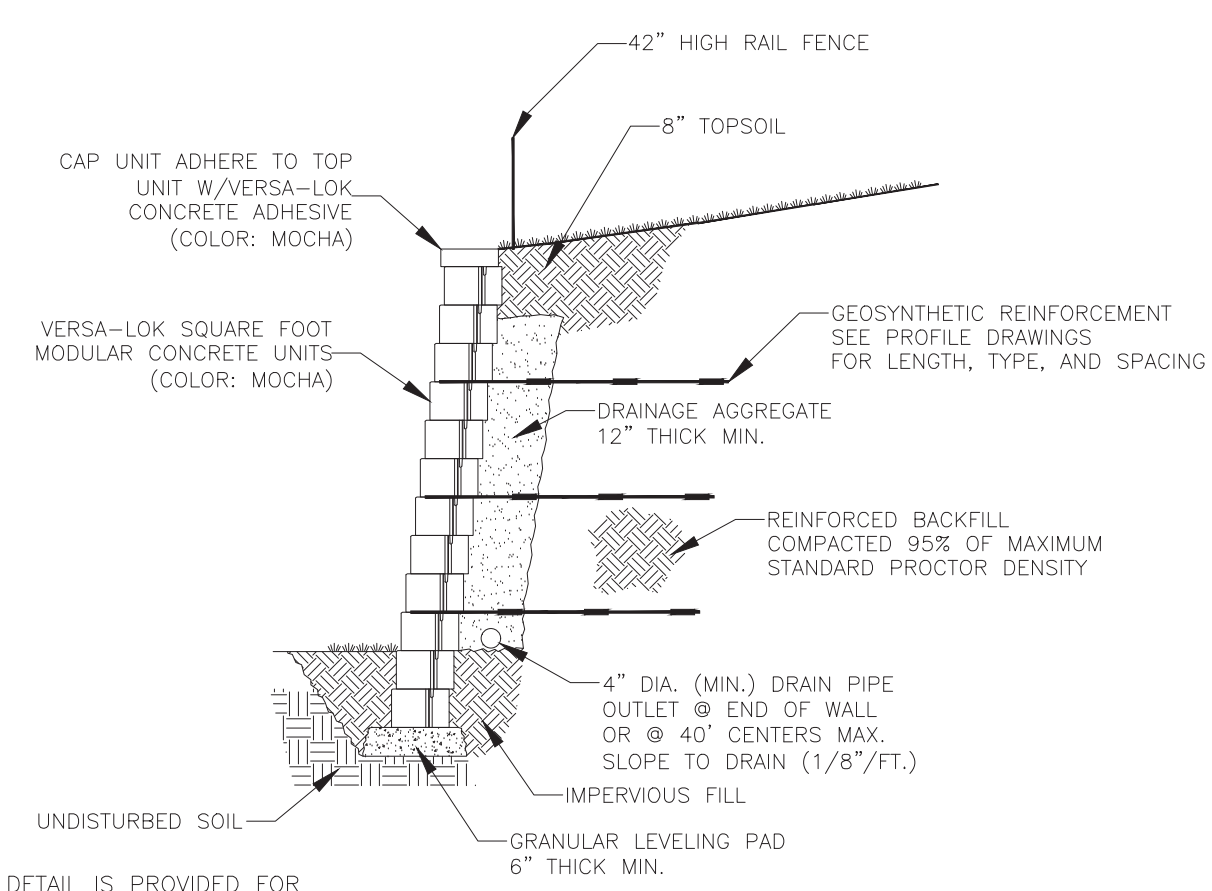
TEMPORARY SIGN DETAILS

NOT TO SCALE



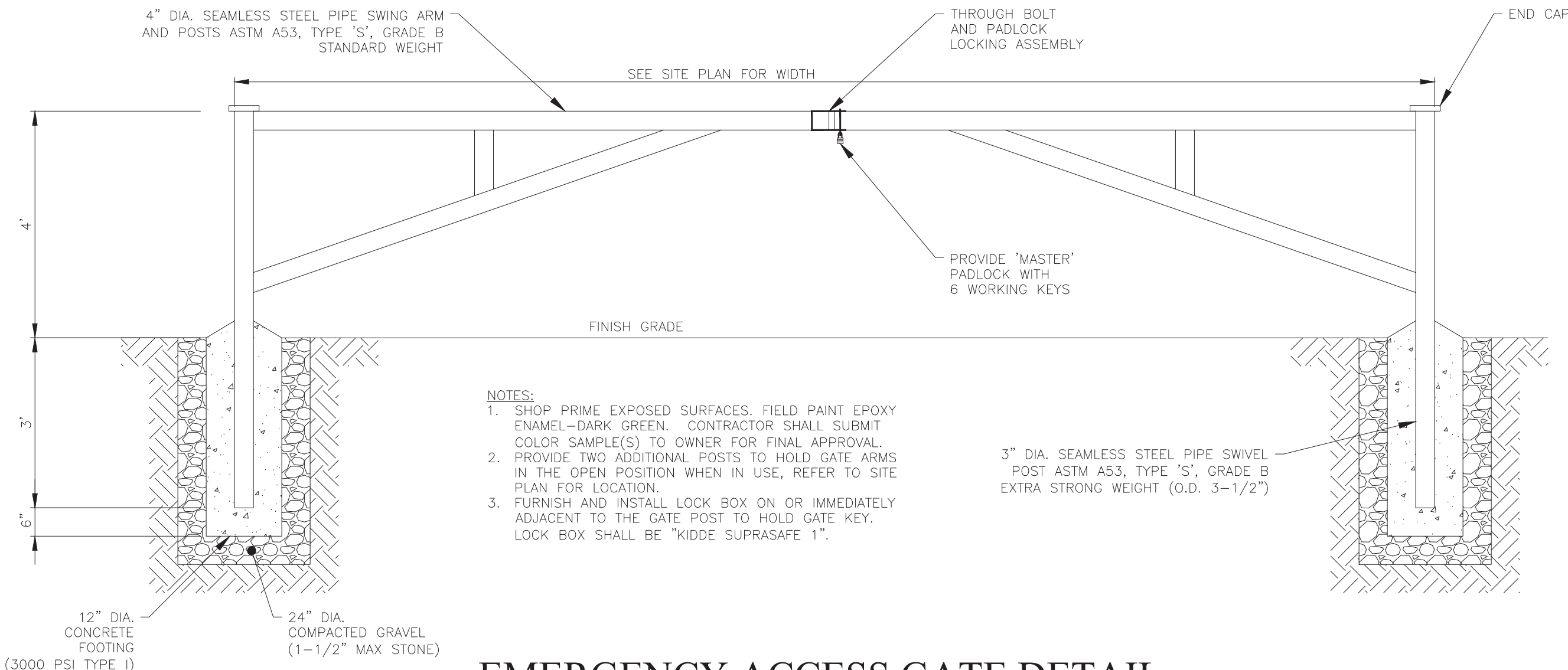
42" HIGH RAIL FENCE DETAIL

NOT TO SCALE



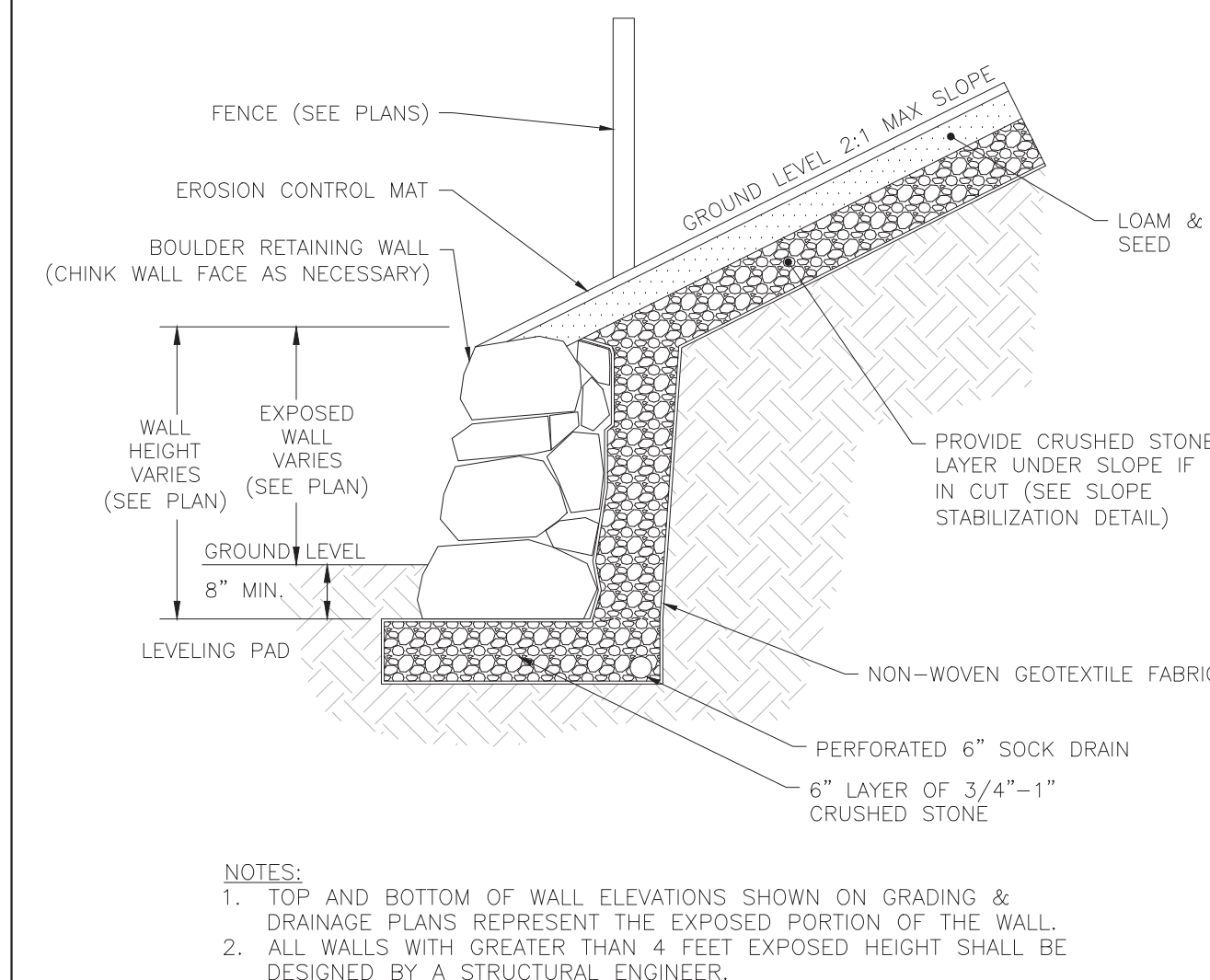
TYPICAL STRUCTURAL RETAINING WALL DETAIL

NOT TO SCALE



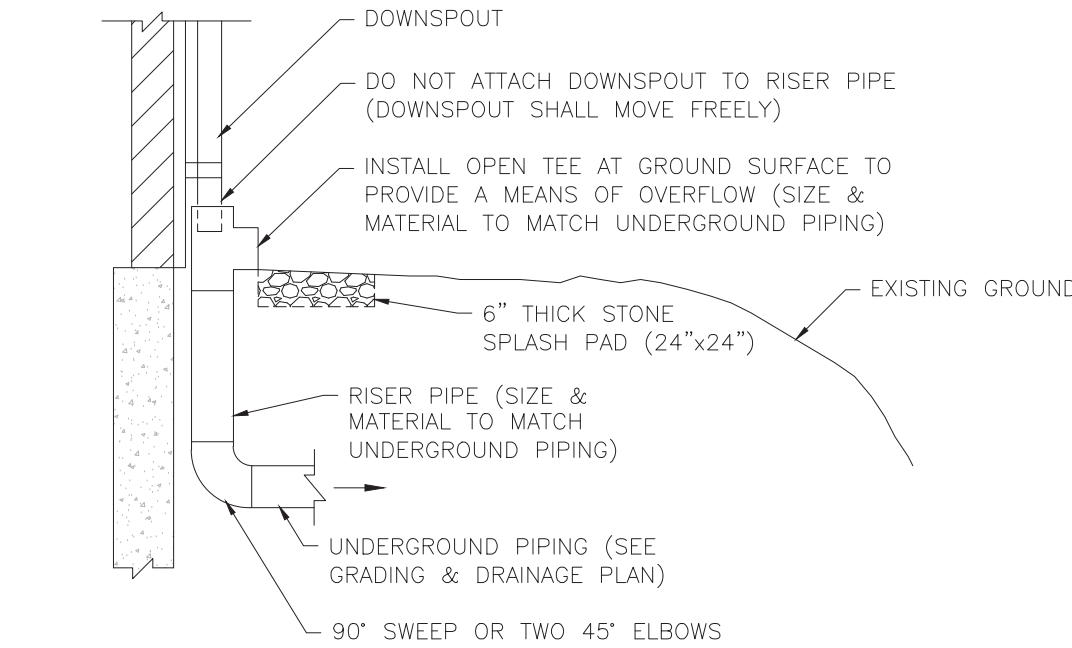
EMERGENCY ACCESS GATE DETAIL

NOT TO SCALE



TYPICAL LANDSCAPE WALL DETAIL

NOT TO SCALE



GUTTER DOWNSPOUT DETAIL

NOT TO SCALE

NOT FOR CONSTRUCTION

CDG PROJECT #: 19001

REVISIONS:

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PLANNING BOARD:

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**84 & 104 COOLIDGE STREET
SHERBORN, MASSACHUSETTS**

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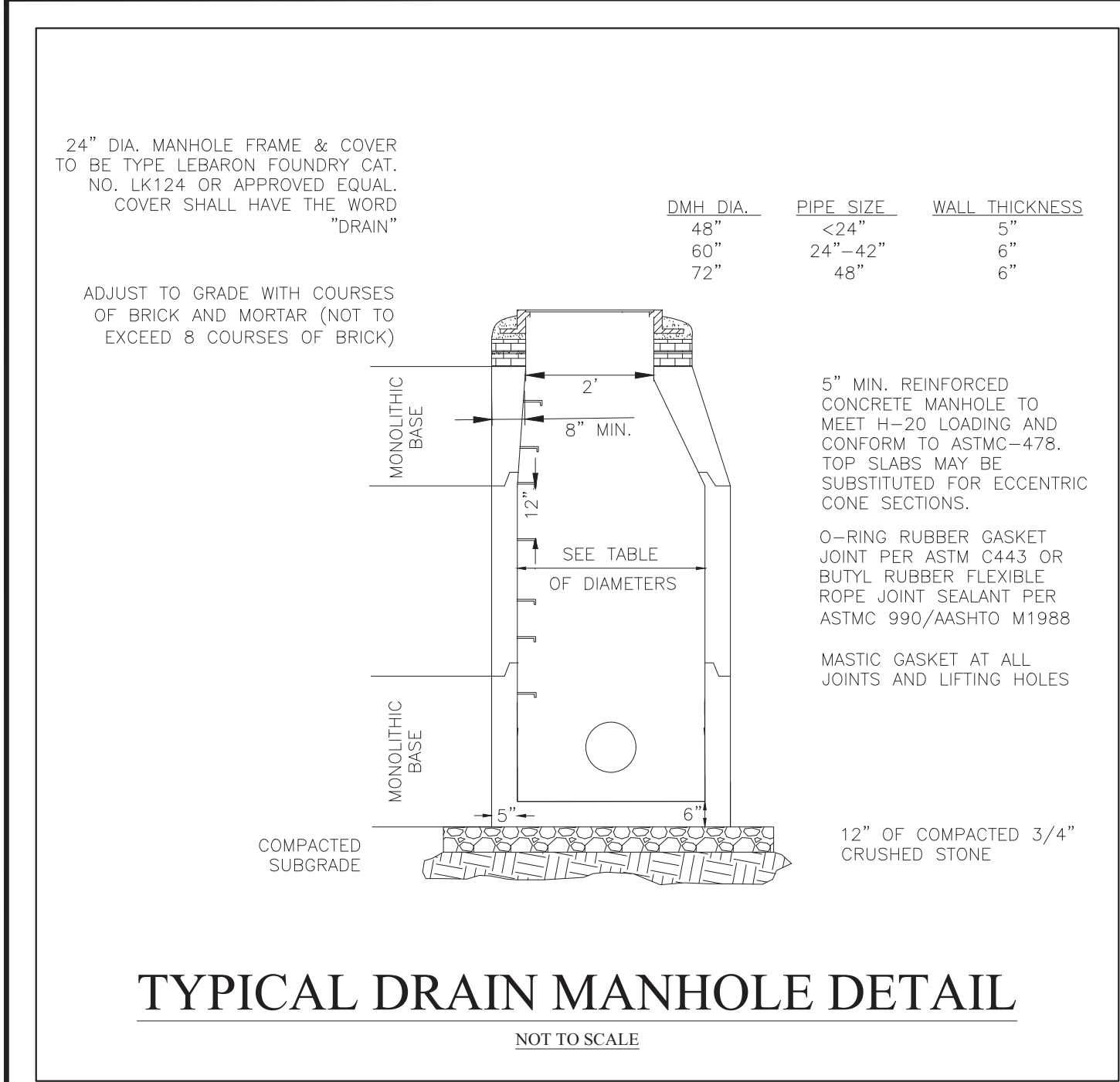
AS-NOTED

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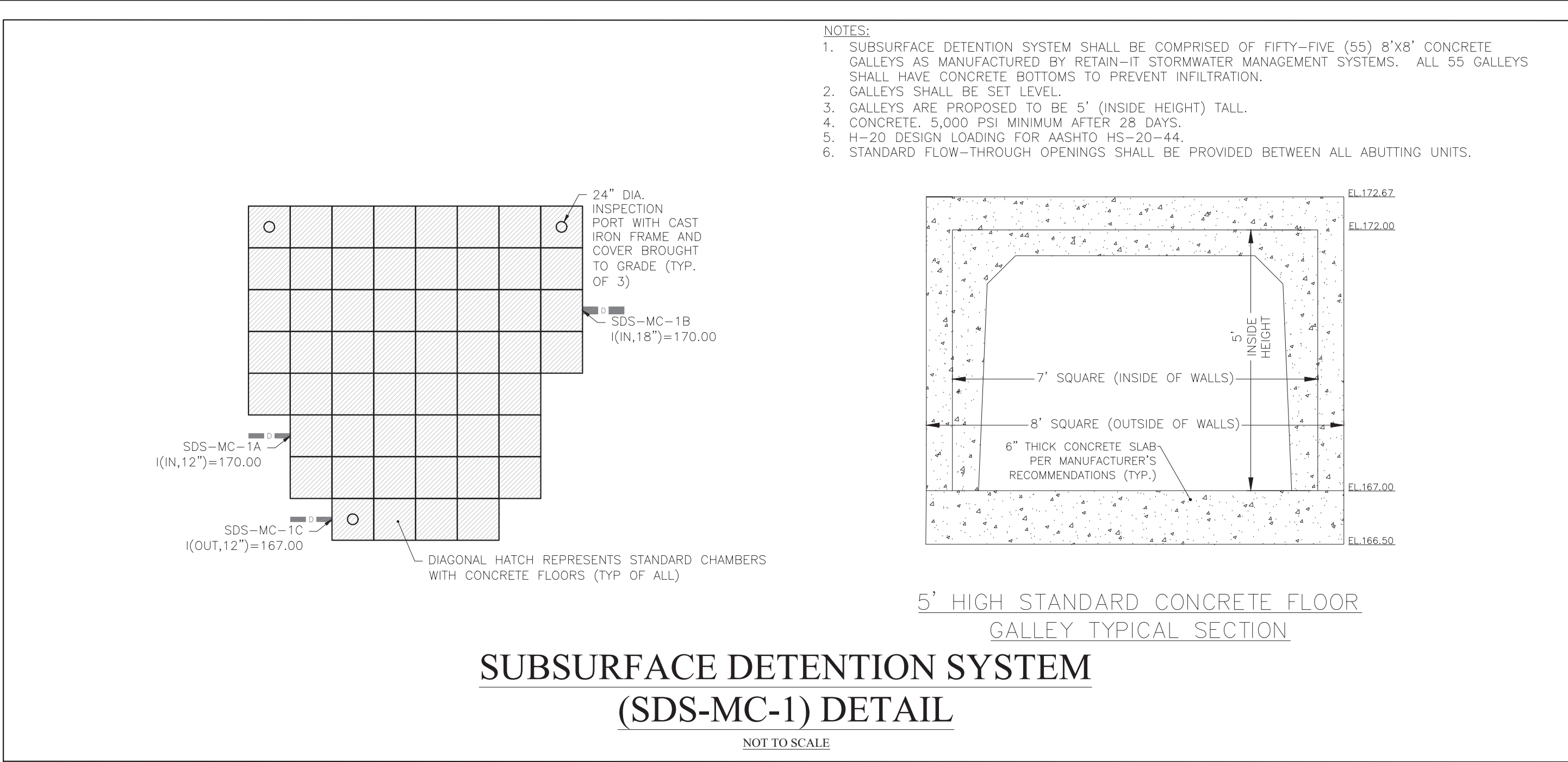
CONSTRUCTION DETAILS

23

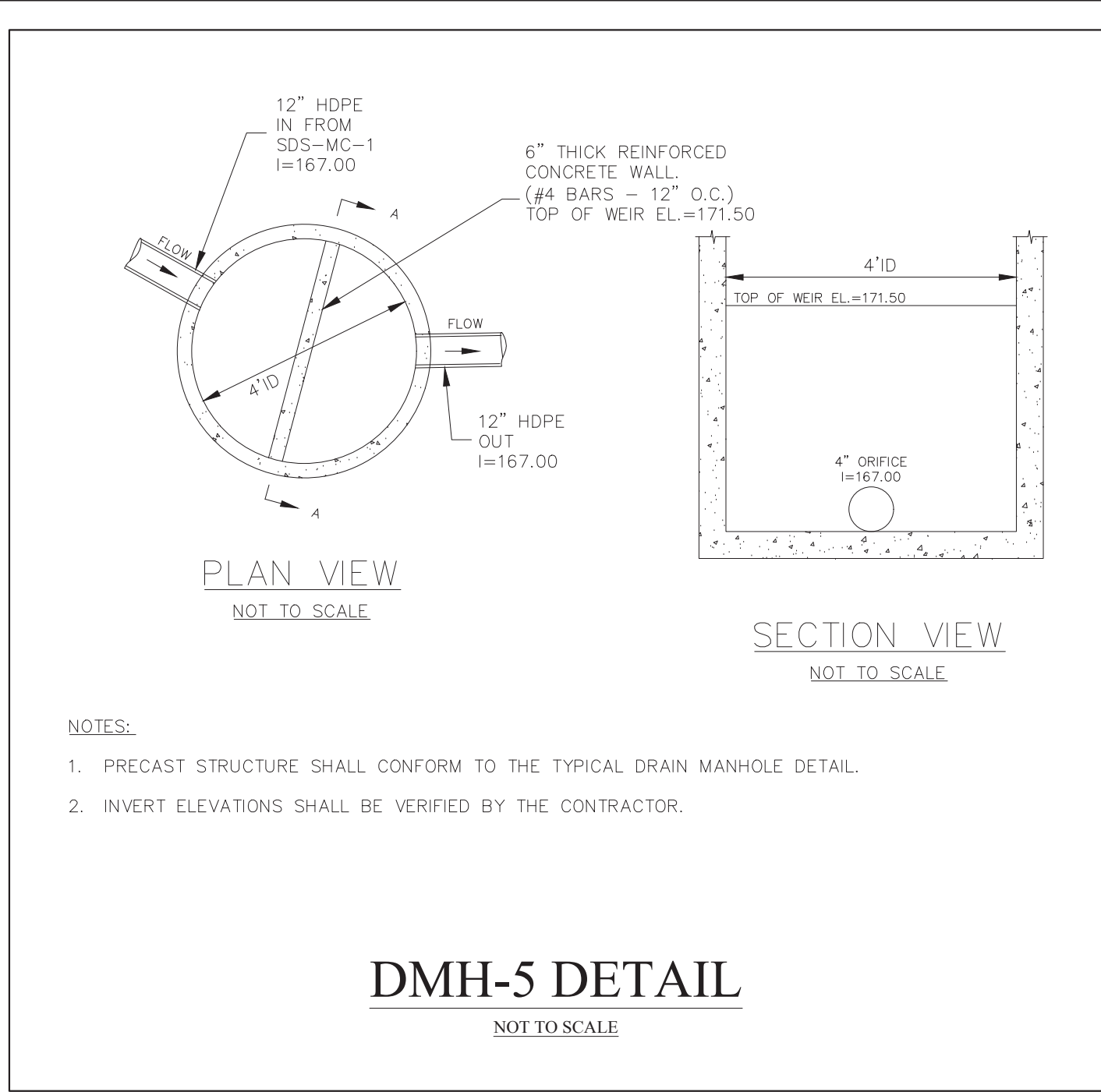
DATE: 07/29/2021



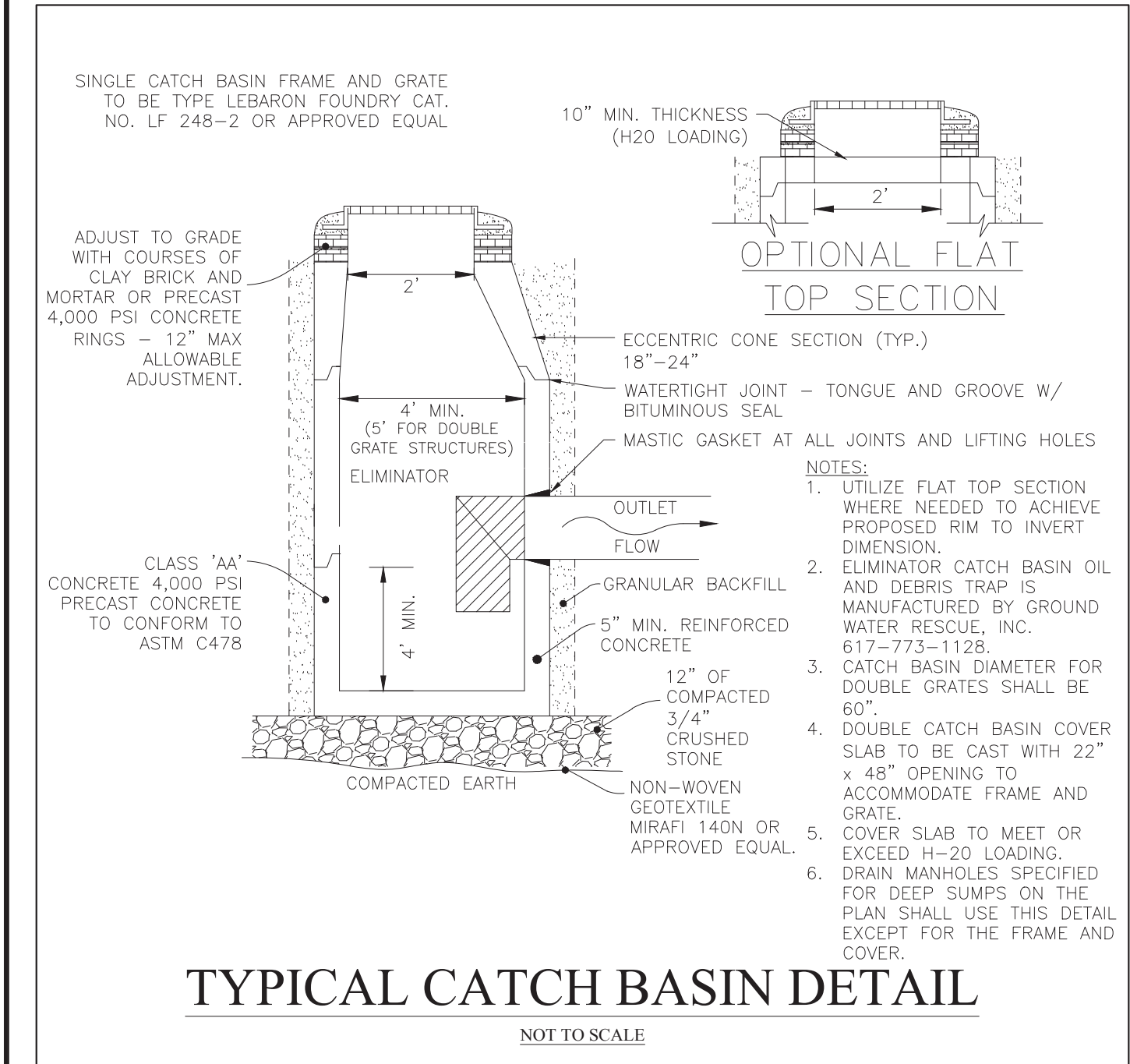
TYPICAL DRAIN MANHOLE DETAIL



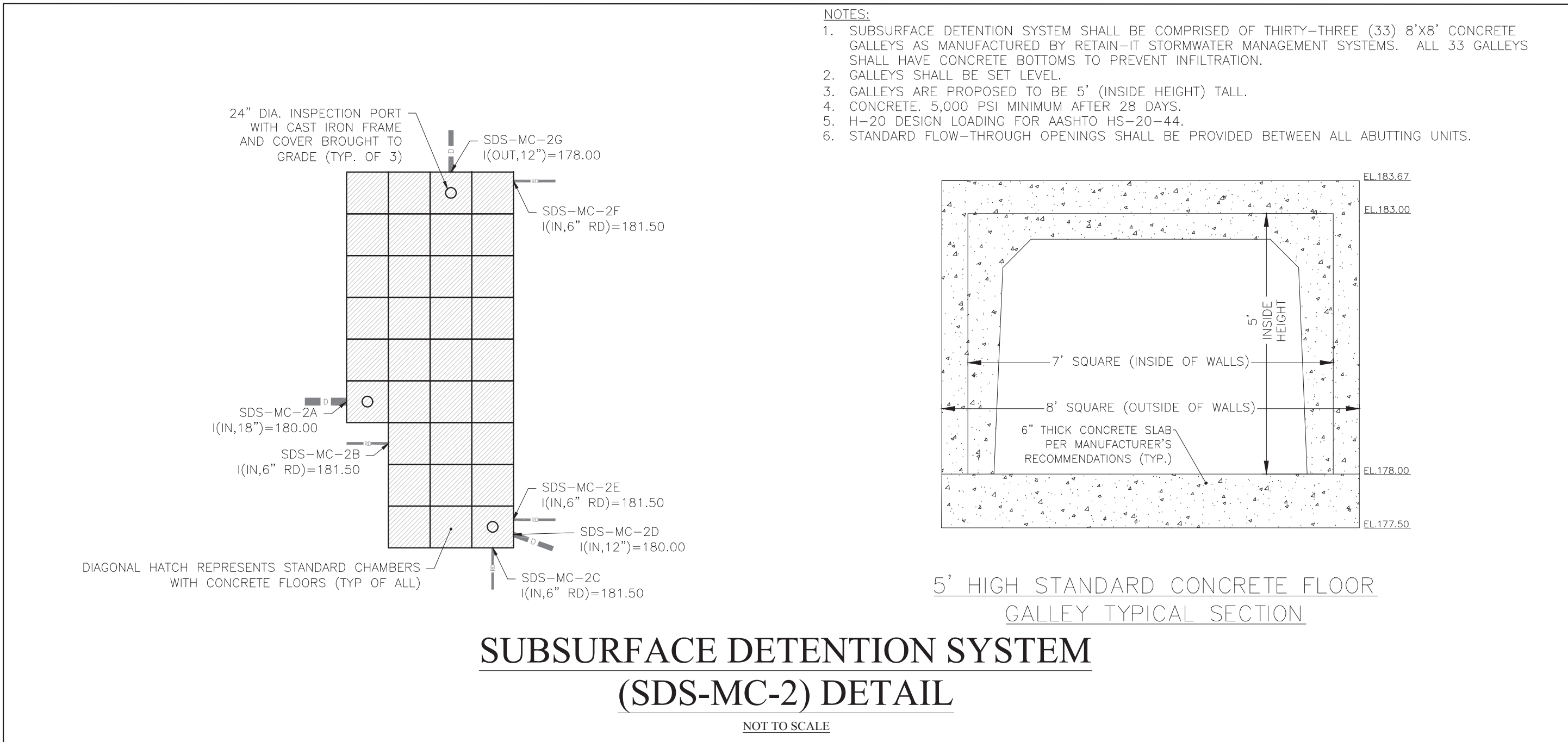
SUBSURFACE DETENTION SYSTEM (SDS-MC-1) DETAIL



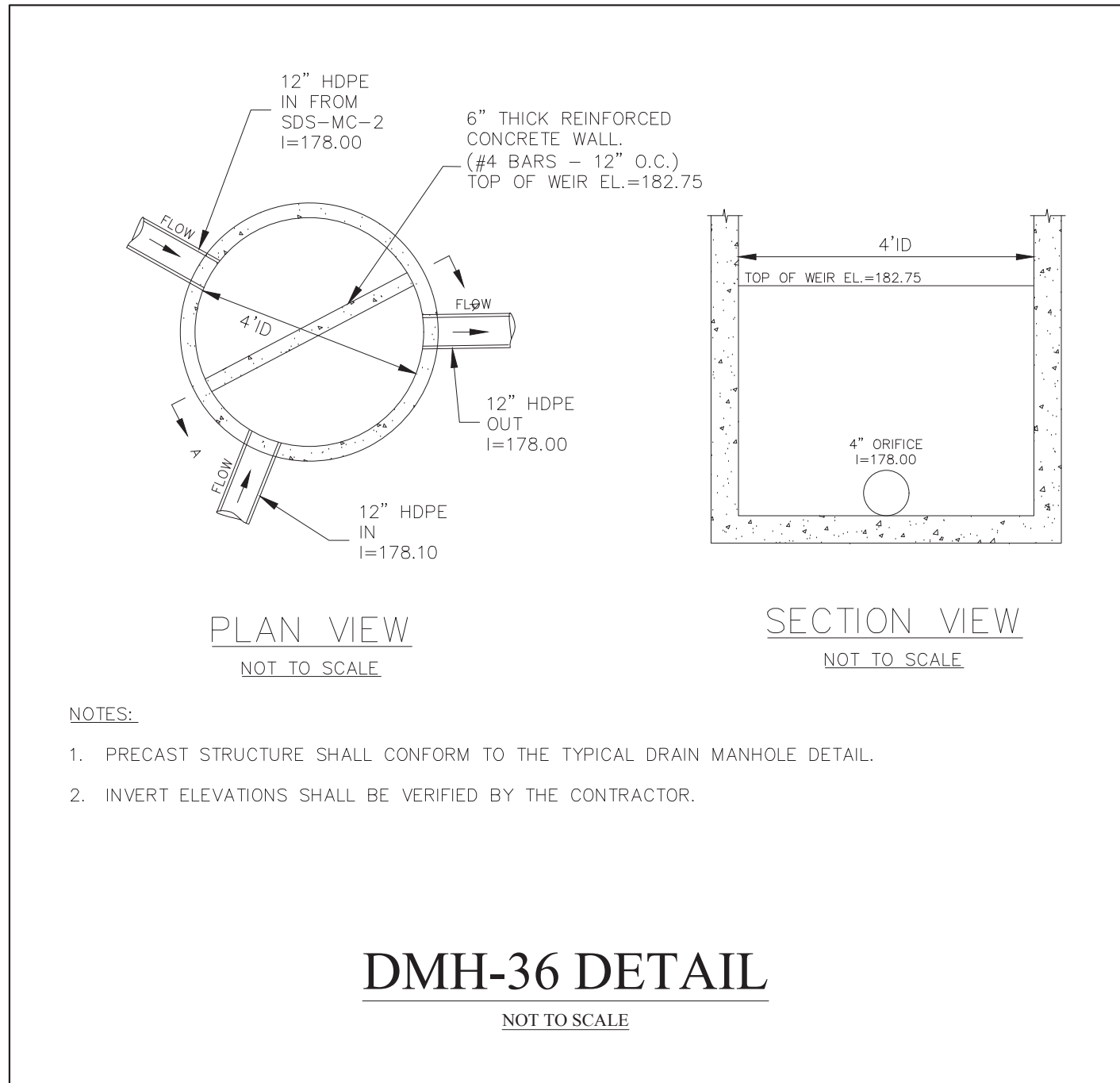
DMH-5 DETAIL



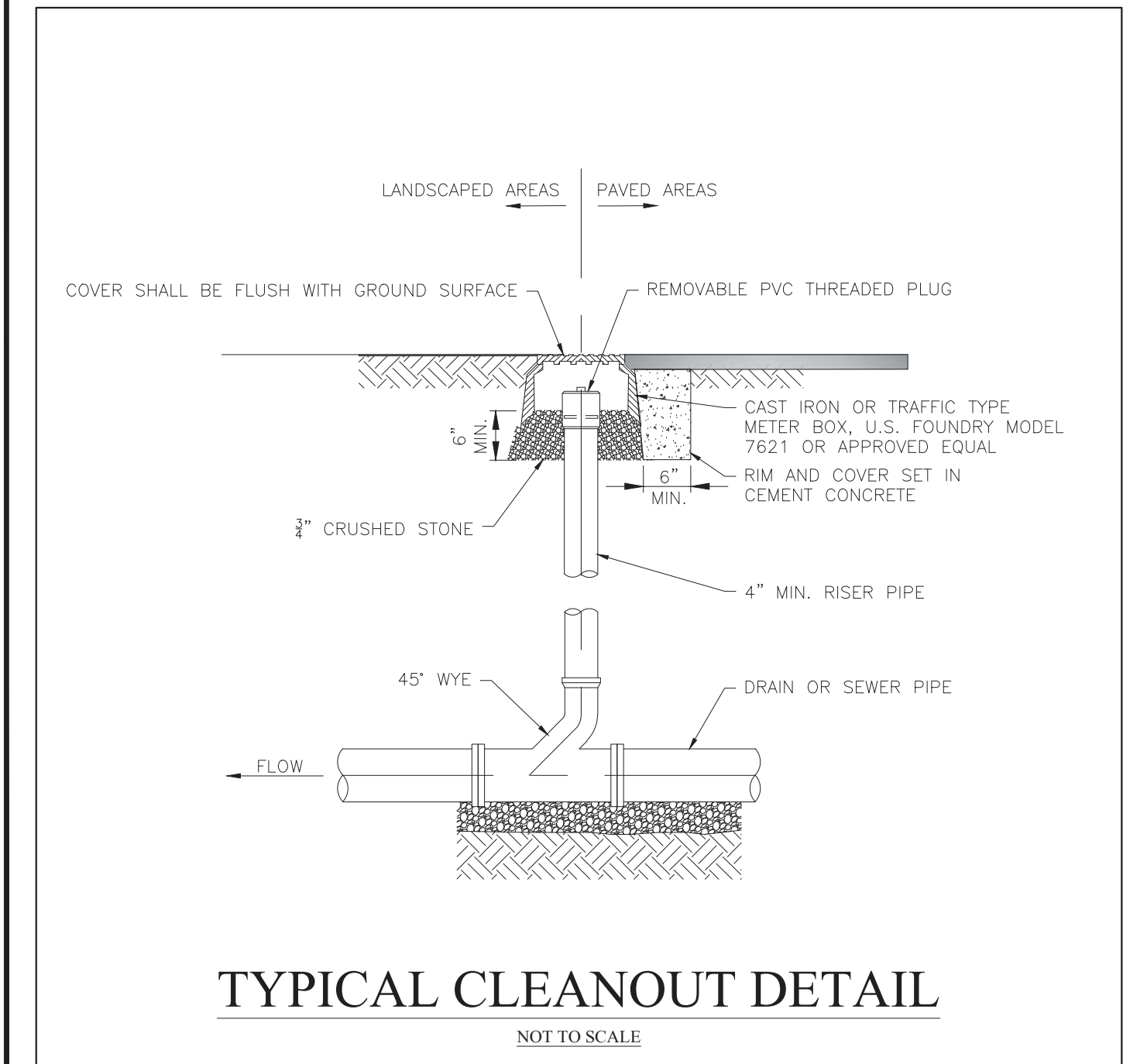
TYPICAL CATCH BASIN DETAIL



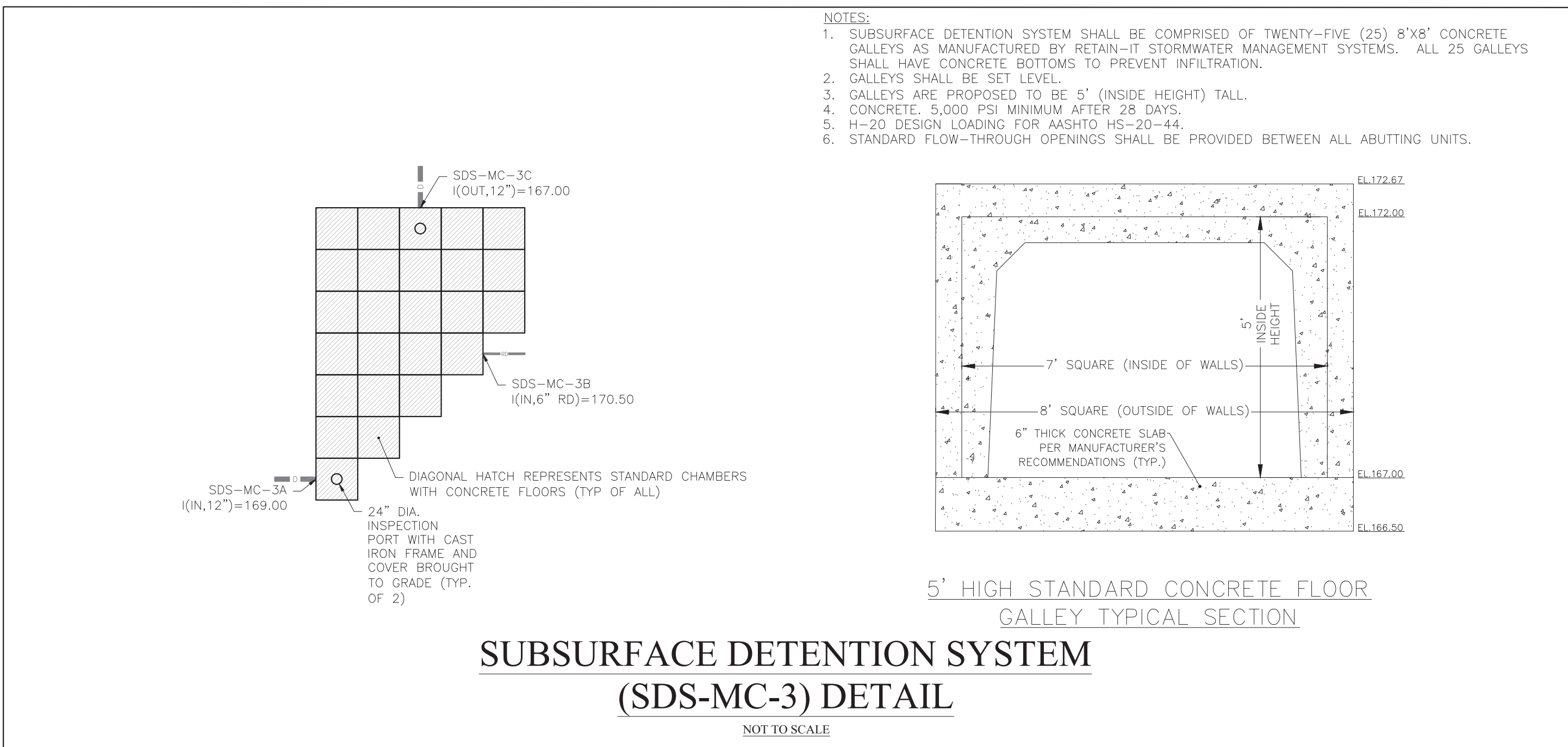
SUBSURFACE DETENTION SYSTEM (SDS-MC-2) DETAIL



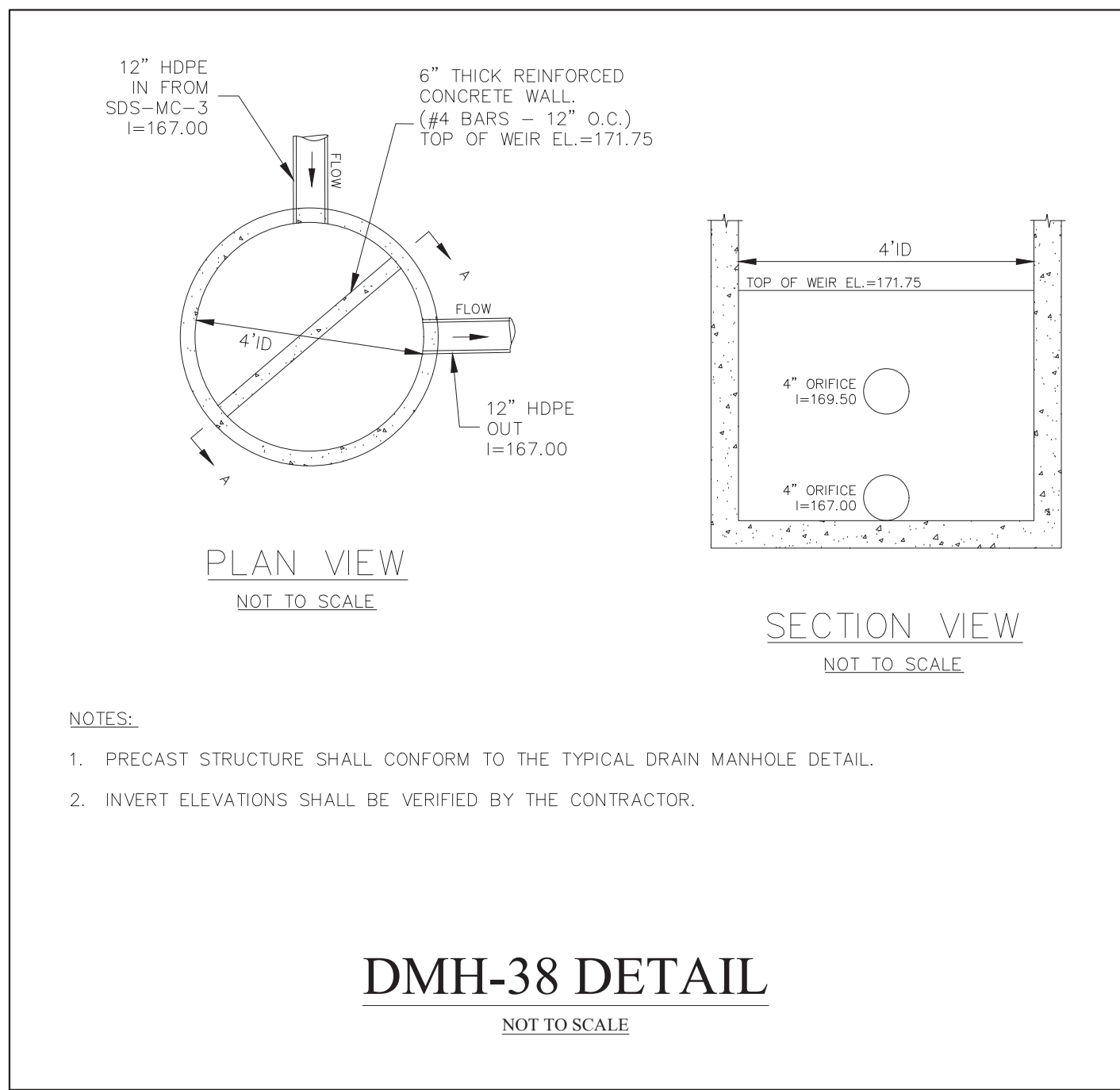
DMH-36 DETAIL



TYPICAL CLEANOUT DETAIL



SUBSURFACE DETENTION SYSTEM (SDS-MC-3) DETAIL



DMH-38 DETAIL

NOT FOR CONSTRUCTION

CDG PROJECT #: 19001

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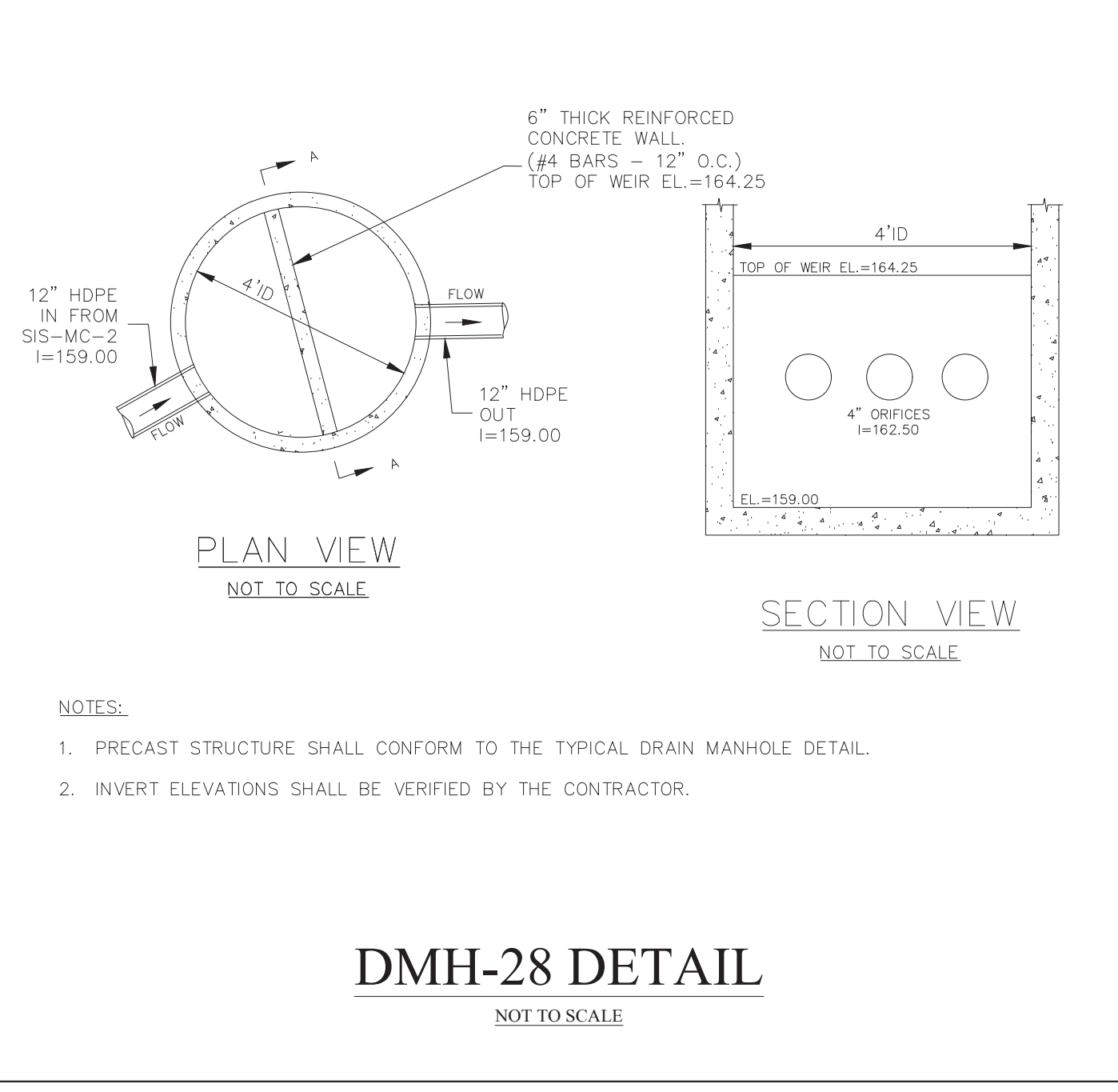
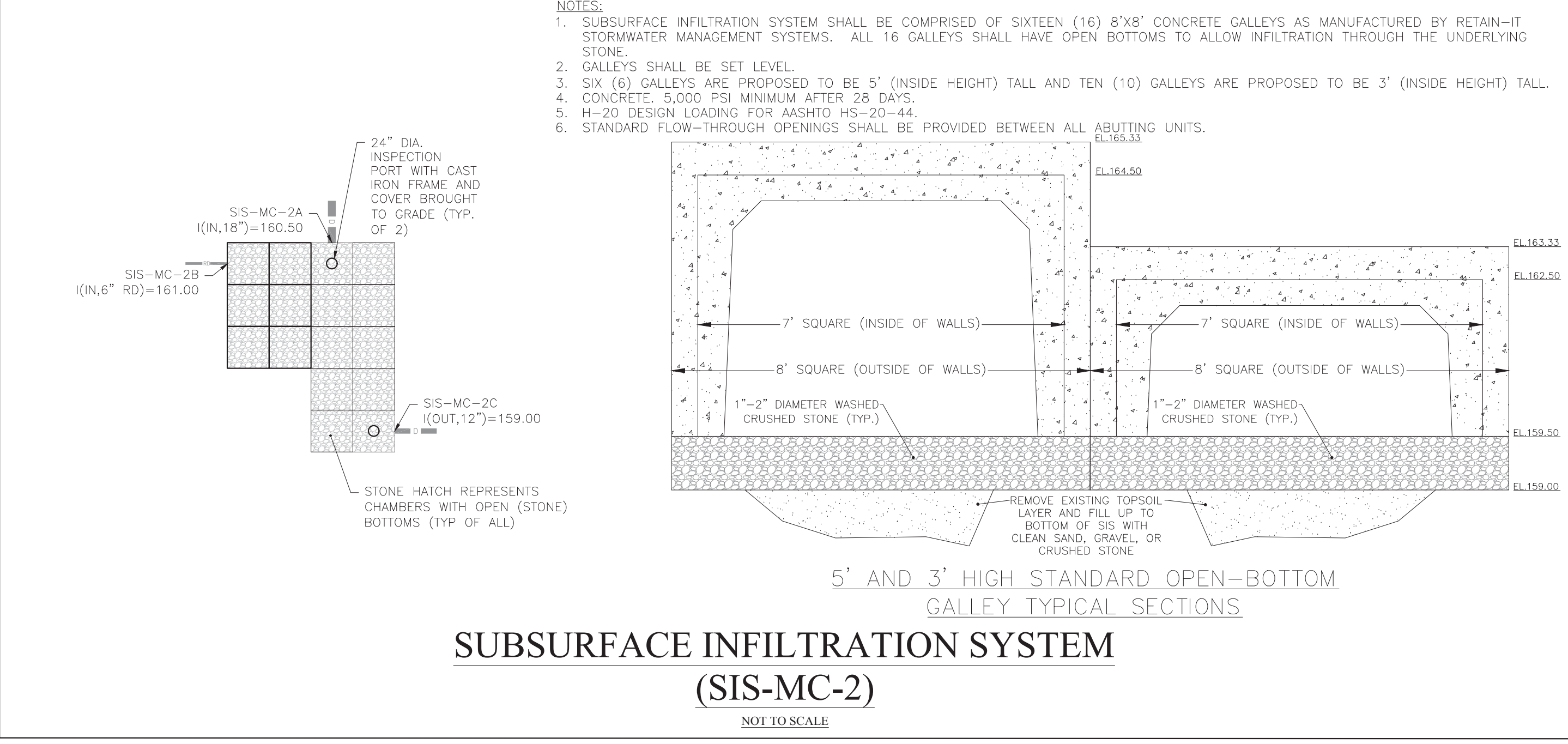
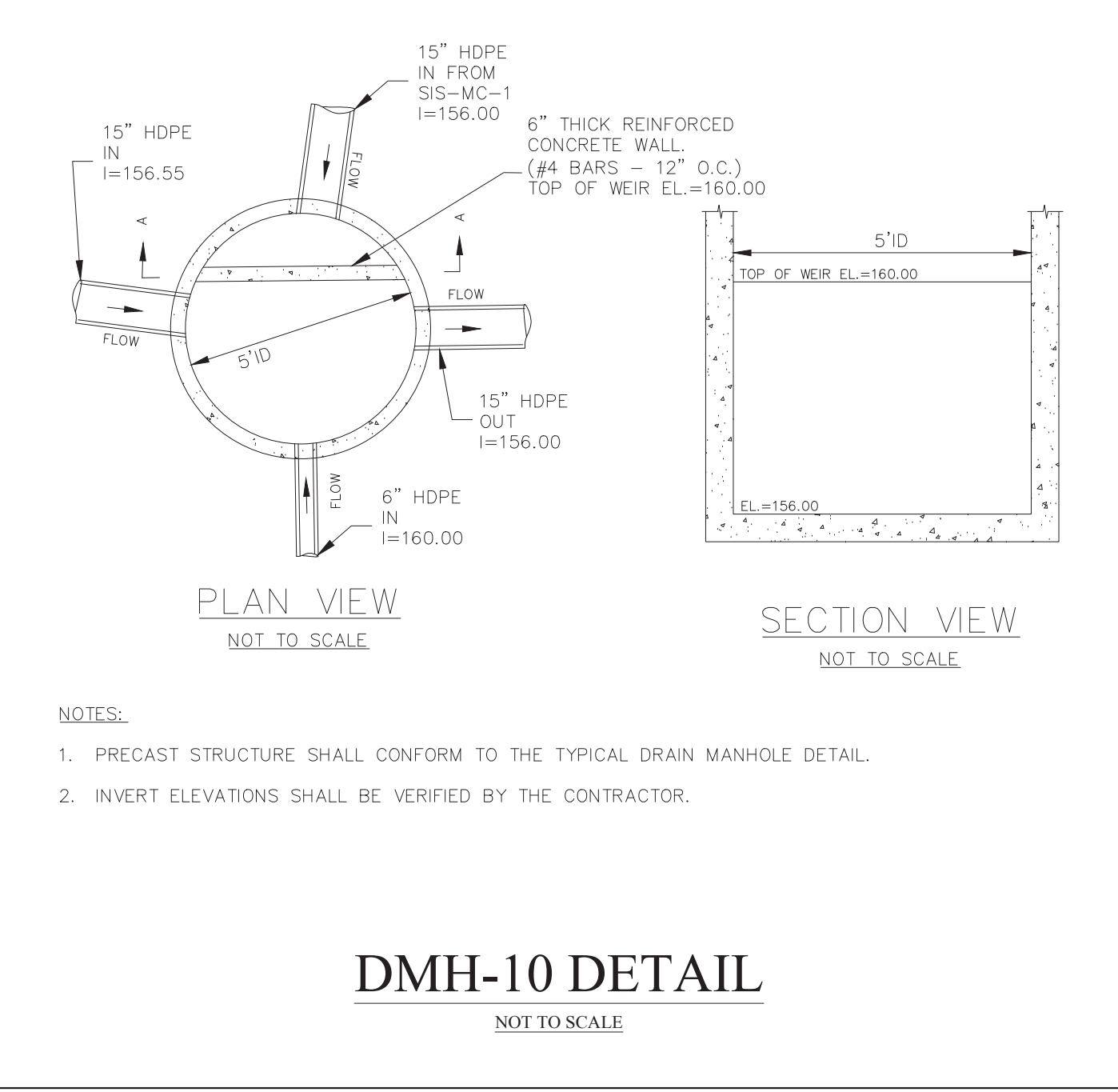
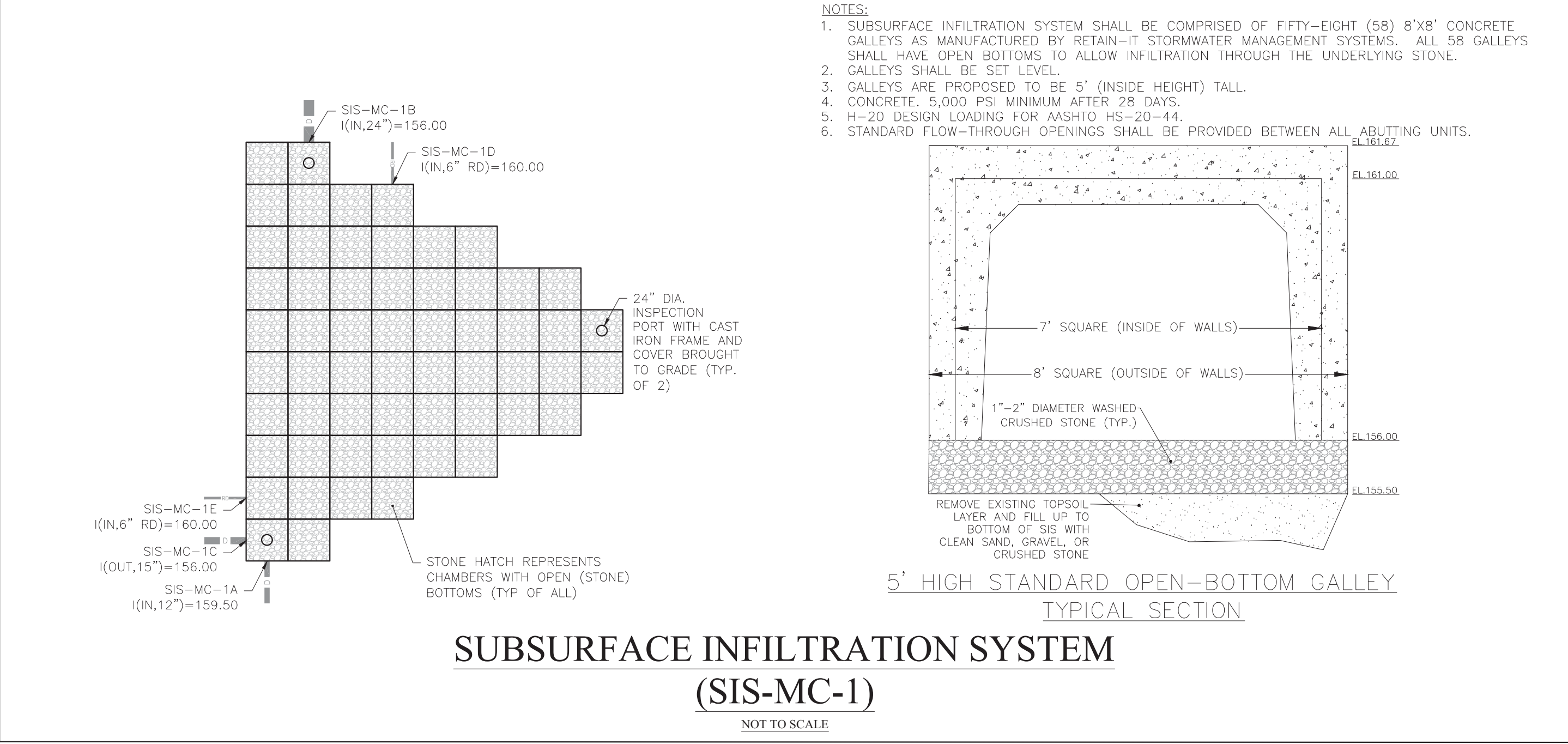
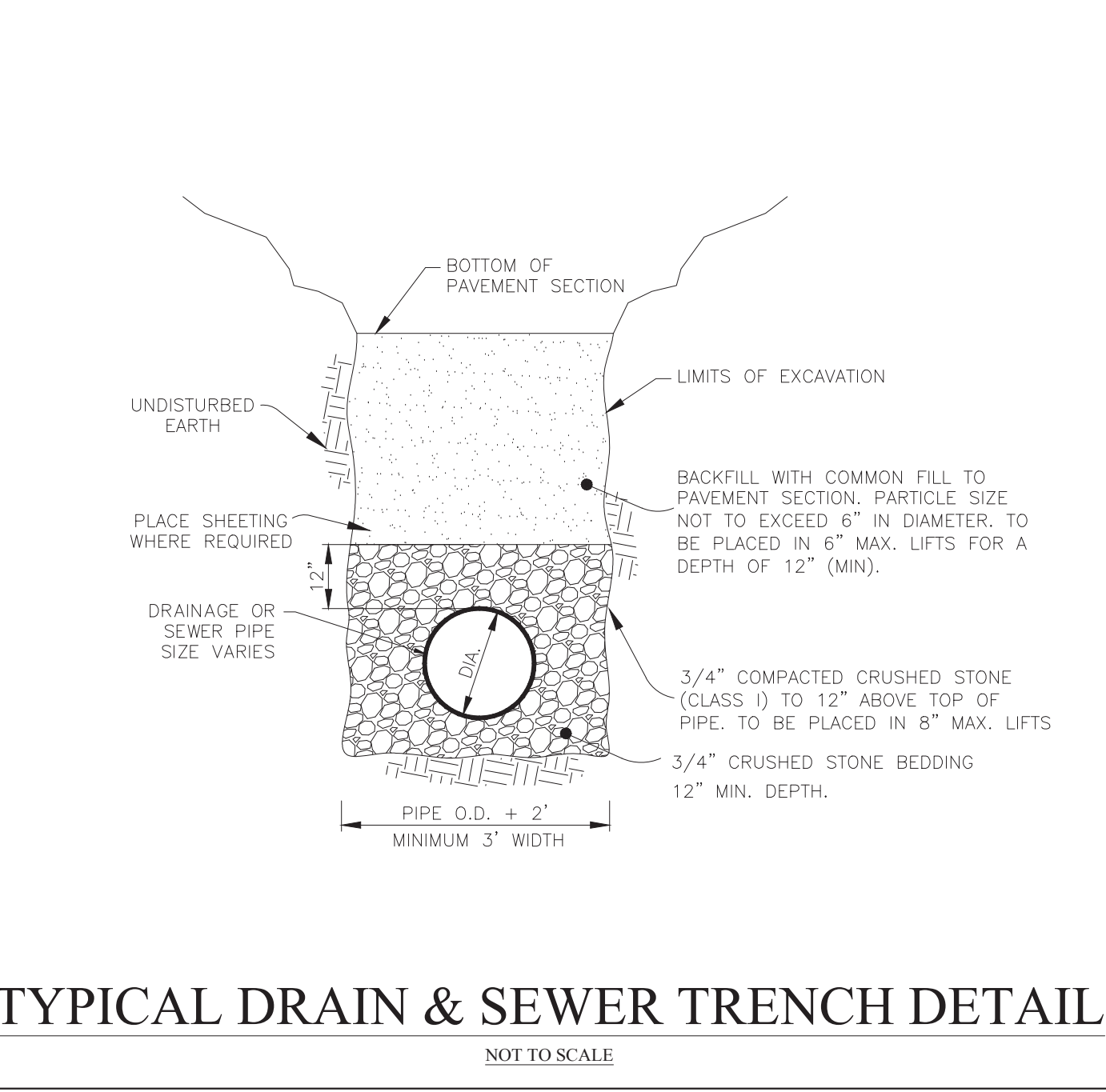
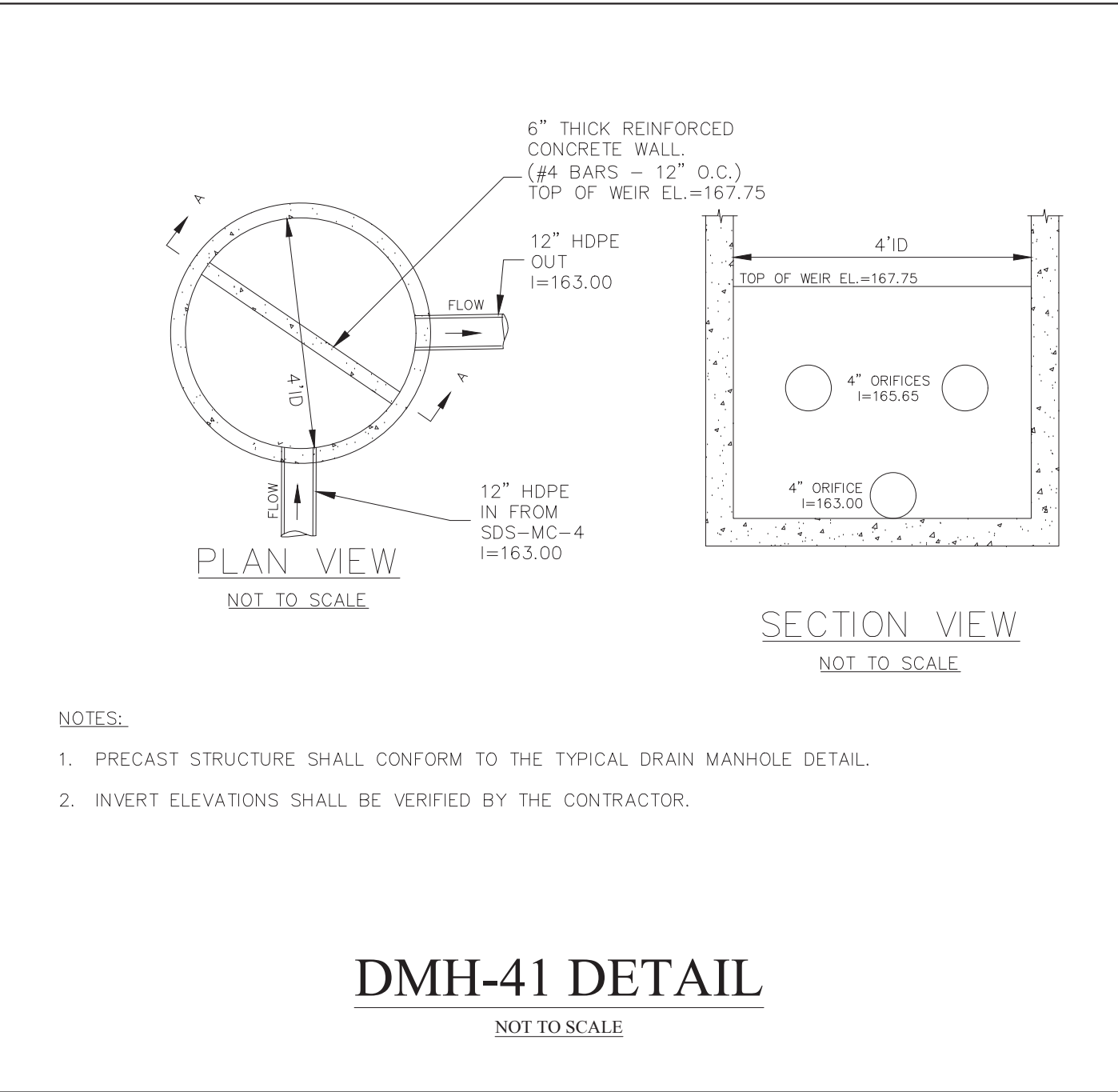
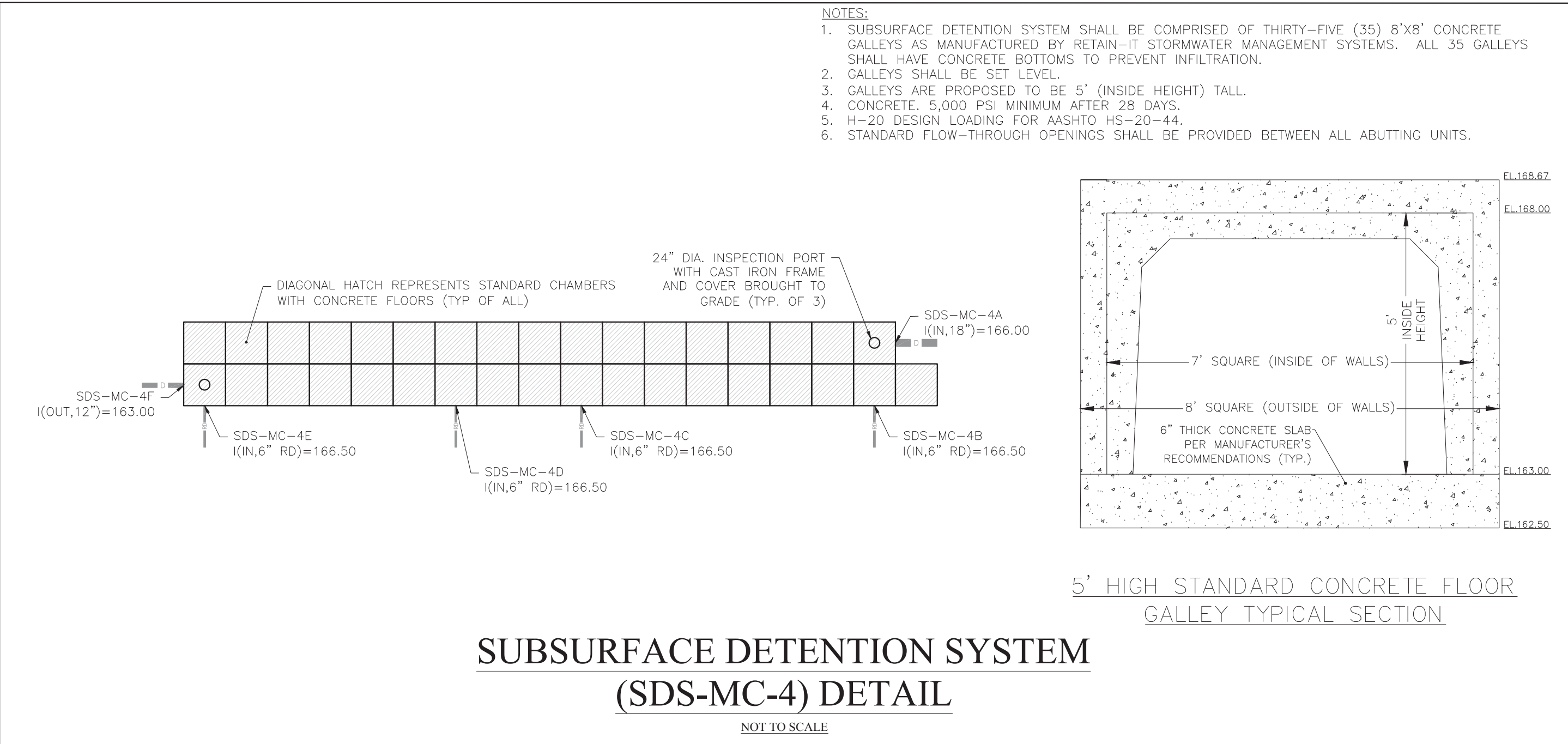
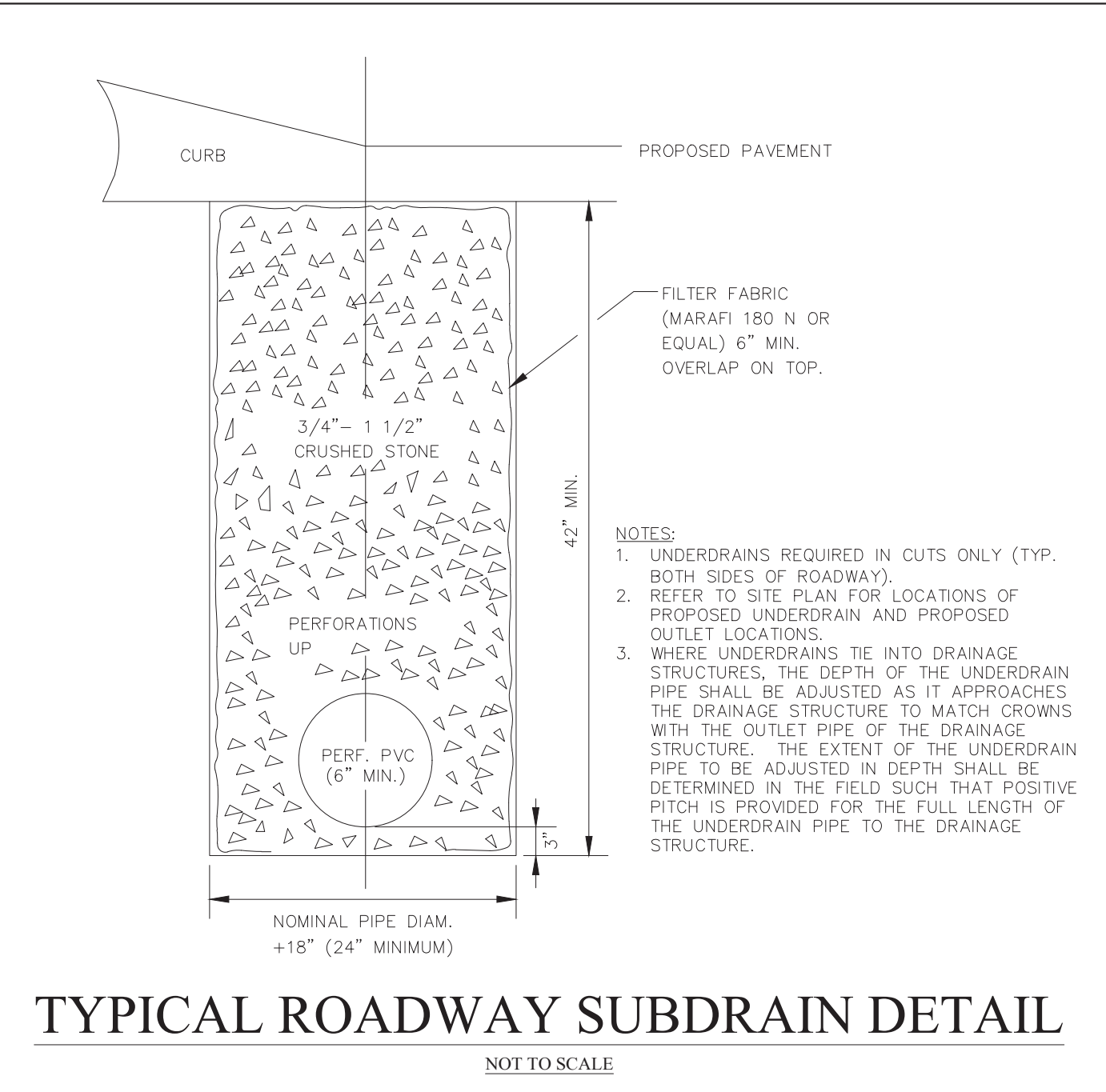
AS-NOTED

SHEET:

CONSTRUCTION DETAILS


24

DATE: 07/29/2021



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CDG PROJECT #:		19001
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SHERBORN, MASSACHUSETTS**

SCALE:

AS-NOTED

SHEET:

CONSTRUCTION DETAILS

25

DATE: 07/29/2021



NOTES:

1. WITHIN THE FOOTPRINT OF THE INFILTRATION BASIN, EXISTING TOPSOIL AND SUBSOIL SHALL BE REMOVED TO EXPOSE THE EXISTING SUBGRADE. THE FOOTPRINT AREA SHALL THEN BE BUILT UP TO PROPOSED SUBGRADE WITH MATERIAL MEETING THE SPECIFICATION IN THE TABLE CONTAINED HEREIN.
2. IMMEDIATELY AFTER CONSTRUCTING THE BASIN, STABILIZE ITS BOTTOM WITH STONE AND SIDE SLOPES WITH A DENSE TURF OF WATER-TOLERANT VEGETATION.



NOTES:

1. WITHIN THE FOOTPRINT OF THE INFILTRATION BASIN, EXISTING TOPSOIL AND SUBSOIL SHALL BE REMOVED TO EXPOSE THE EXISTING SUBGRADE. THE FOOTPRINT AREA SHALL THEN BE BUILT UP TO PROPOSED SUBGRADE WITH MATERIAL MEETING THE SPECIFICATION IN THE TABLE CONTAINED HEREIN.
2. IMMEDIATELY AFTER CONSTRUCTING THE BASIN, STABILIZE ITS BOTTOM WITH STONE AND SIDE SLOPES WITH A DENSE TURF OF WATER-TOLERANT VEGETATION.



NOTES:

1. WITHIN THE FOOTPRINT OF THE INFILTRATION BASIN, EXISTING TOPSOIL AND SUBSOIL SHALL BE REMOVED TO EXPOSE THE EXISTING SUBGRADE. THE FOOTPRINT AREA SHALL THEN BE BUILT UP TO PROPOSED SUBGRADE WITH MATERIAL MEETING THE SPECIFICATION IN THE TABLE CONTAINED HEREIN.
2. IMMEDIATELY AFTER CONSTRUCTING THE BASIN, STABILIZE ITS BOTTOM WITH STONE AND SIDE SLOPES WITH A DENSE TURF OF WATER-LOVING VEGETATION.

DATE: 07/29/2021

WATER QUALITY UNIT (WQU) SCHEDULE

NOT TO SCALE

INFILTRATION BASIN (MC-4) DETAIL

NOT TO SCALE

SIEVE	% PASSING
#4	100
#50	10-100
#100	0-20
#200	0-5

NOTES:

1. WITHIN THE FOOTPRINT OF THE INFILTRATION BASIN, EXISTING TOPSOIL AND SUBSOIL SHALL BE REMOVED TO EXPOSE THE EXISTING SUBGRADE THE FOOTPRINT AREA SHALL THEN BE BUILT UP TO PROPOSED SUBGRADE WITH MATERIAL MEETING THE SPECIFICATION IN THE TABLE CONTAINED HEREIN.
2. IMMEDIATELY AFTER CONSTRUCTING THE BASIN, STABILIZE ITS BOTTOM WITH STONE AND SIDE SLOPES WITH A DENSE TURF OF WATER-TOLERANT VEGETATION.

NOT FOR CONSTRUCTION

CDG PROJECT #:
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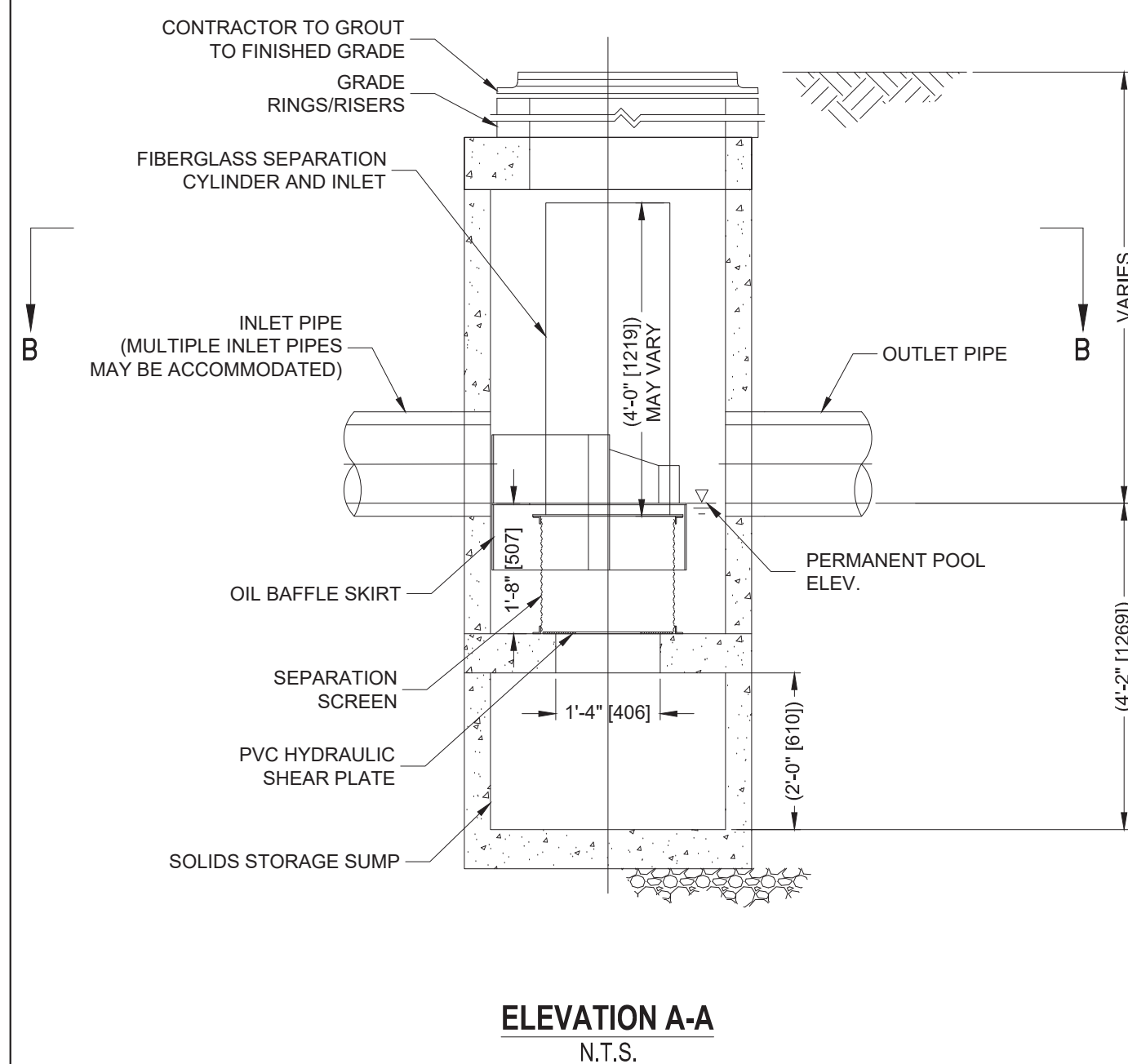
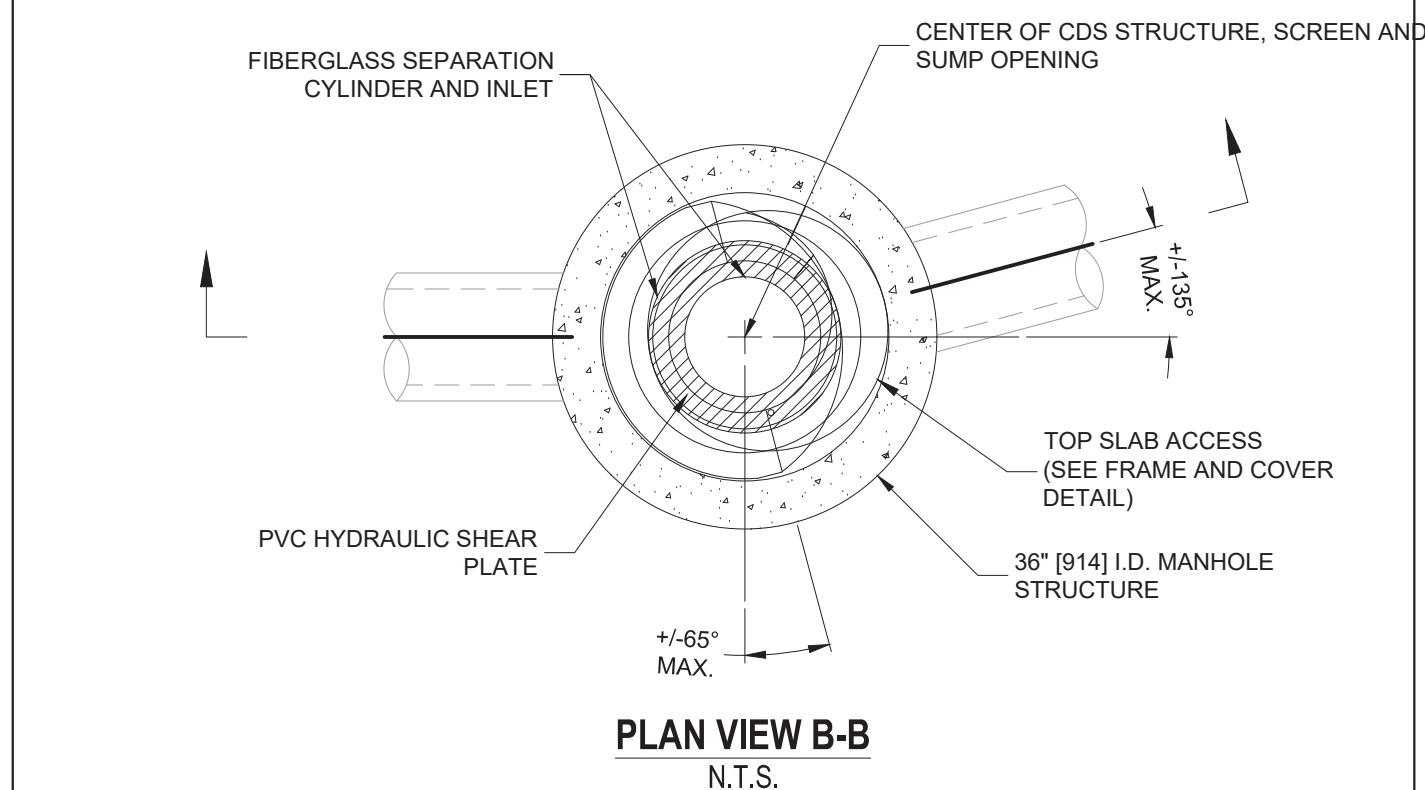
AS-NOTED

SHEET:

CONSTRUCTION DETAILS

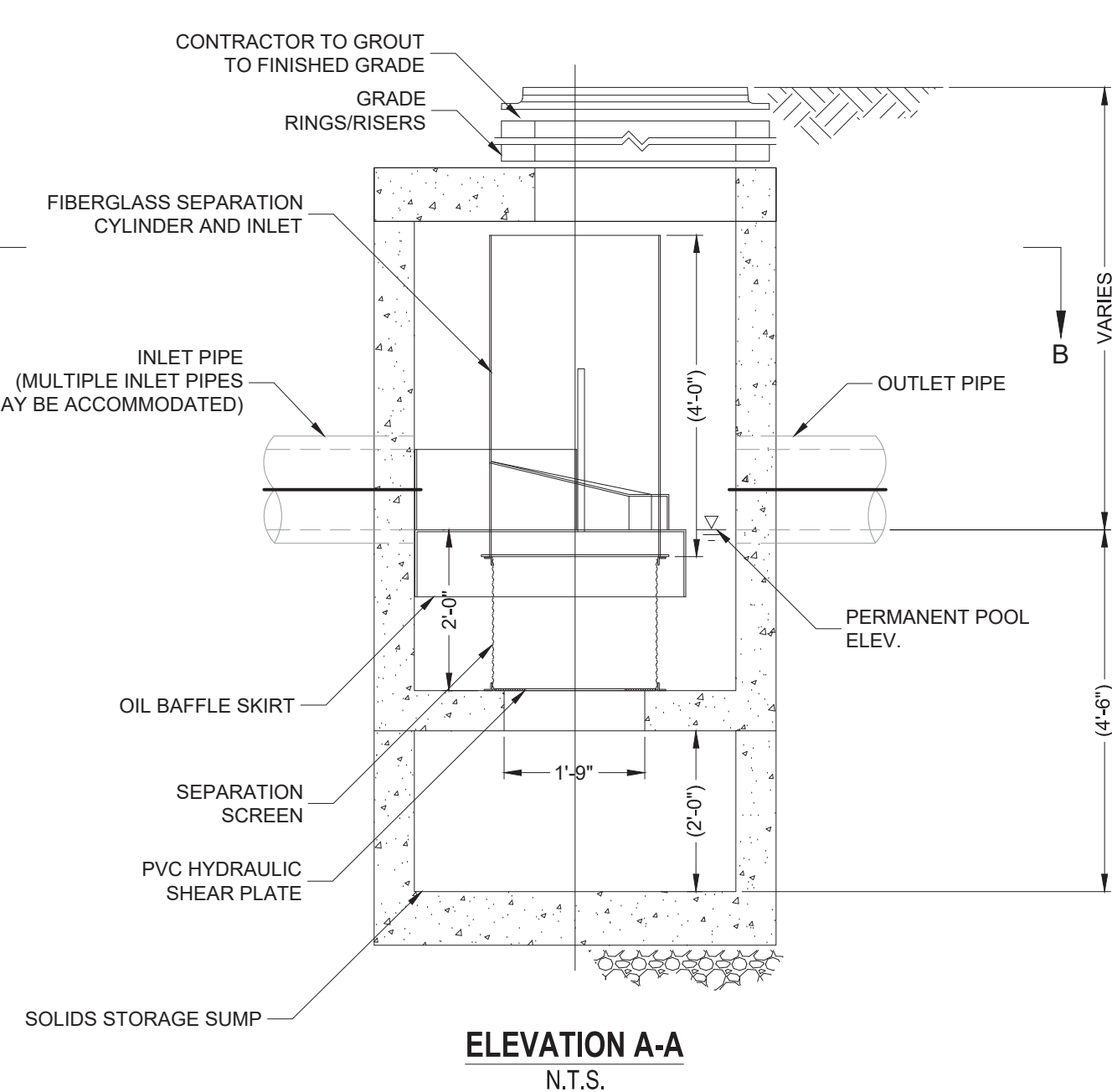
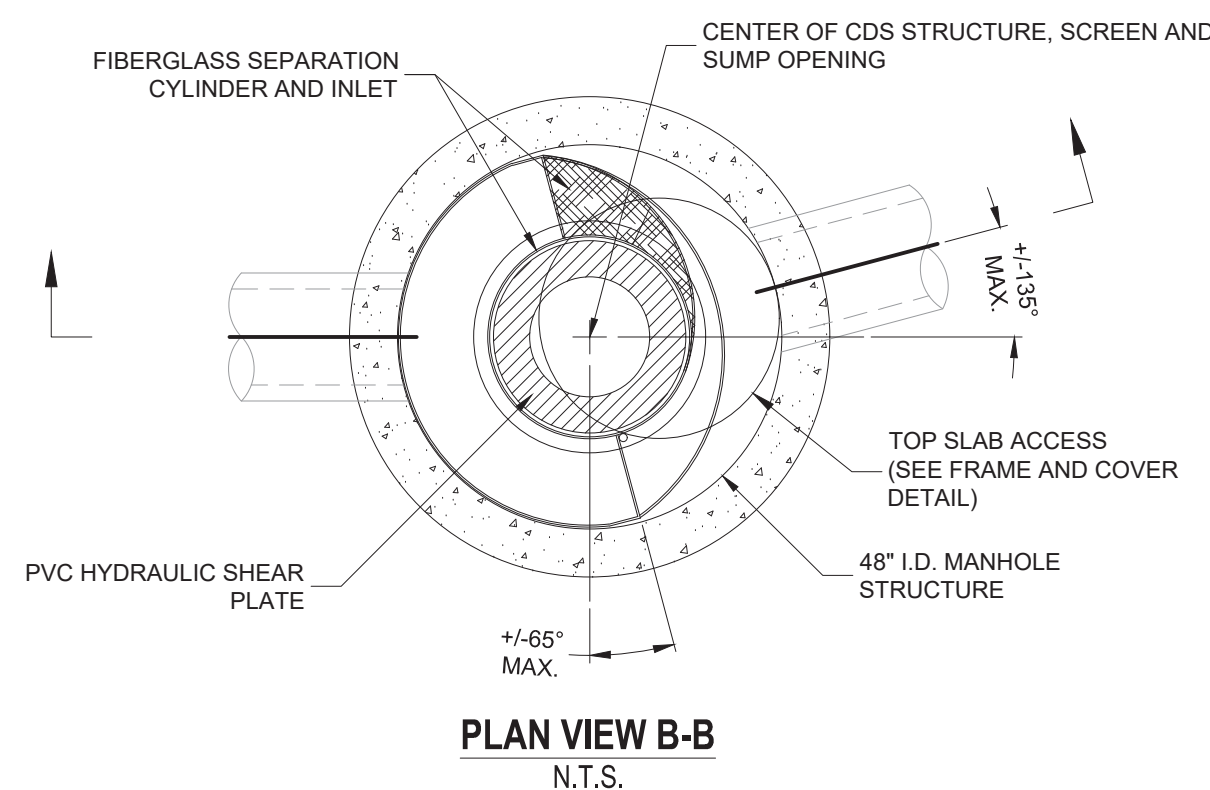
27

DATE: 07/29/2021



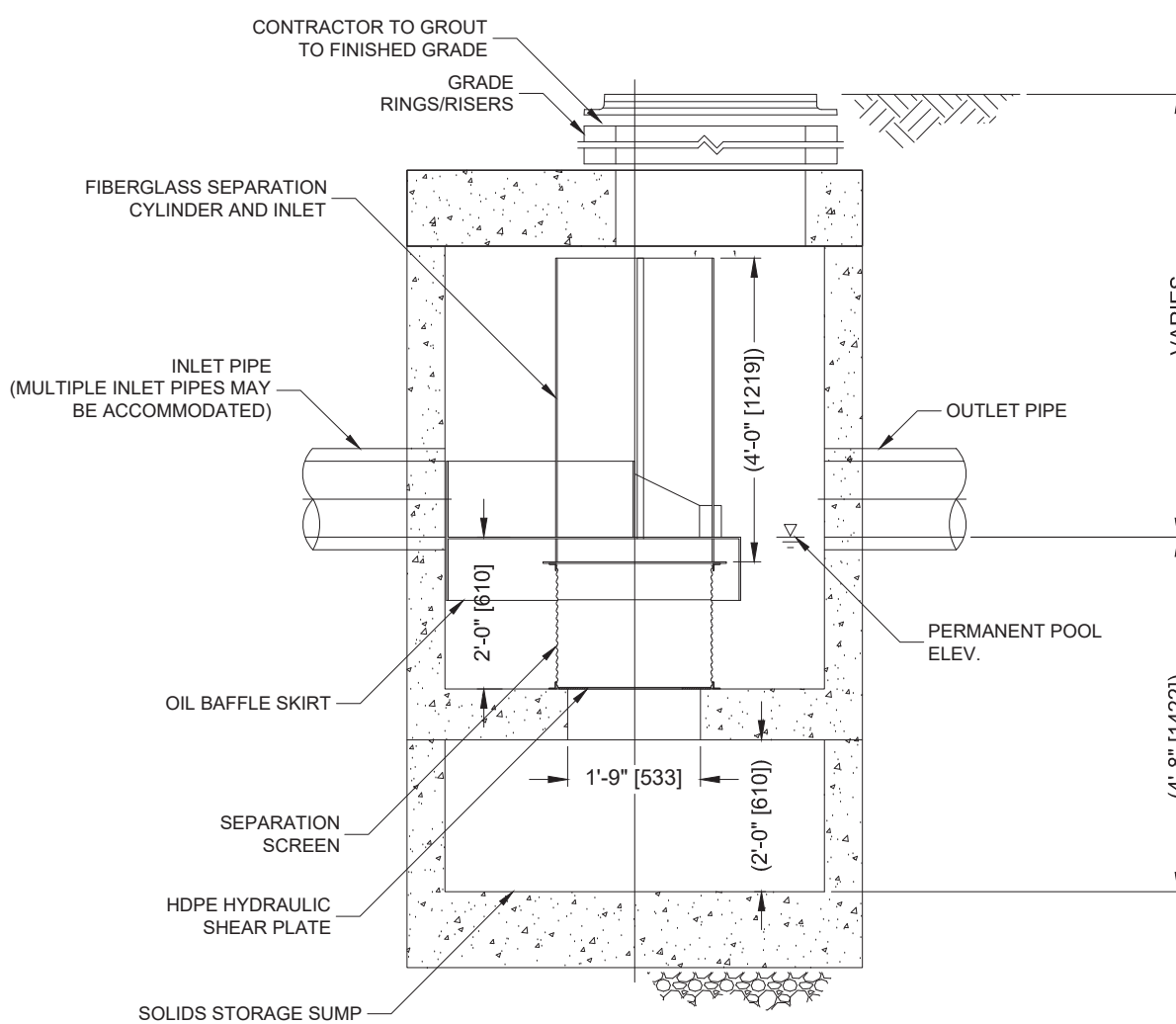
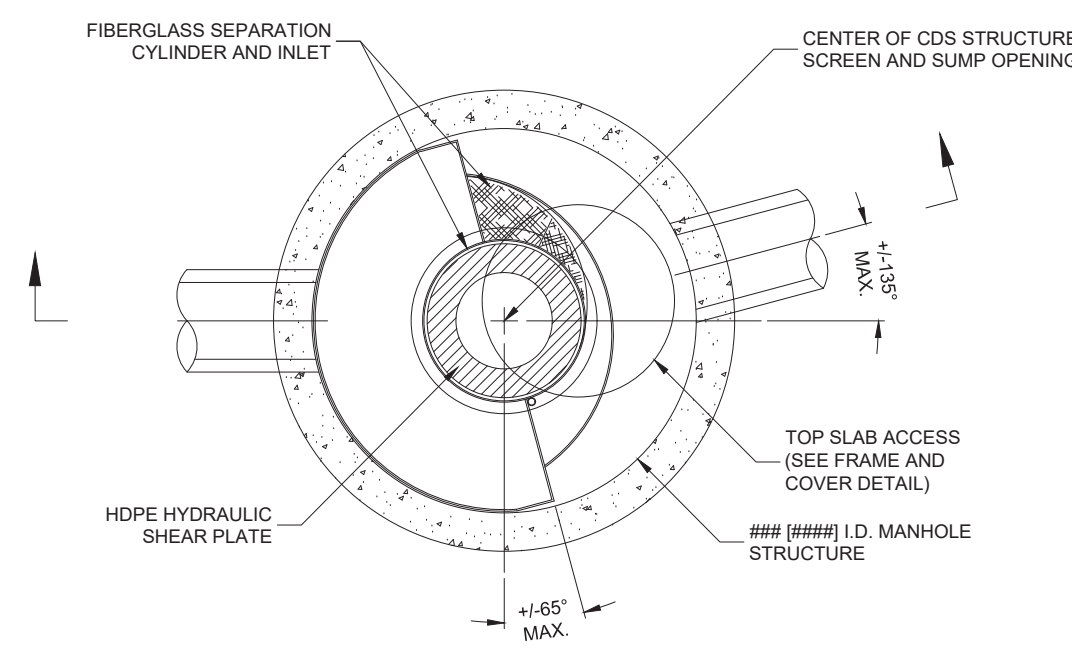
CONTECH CDS1515-3 DETAIL

NOT TO SCALE



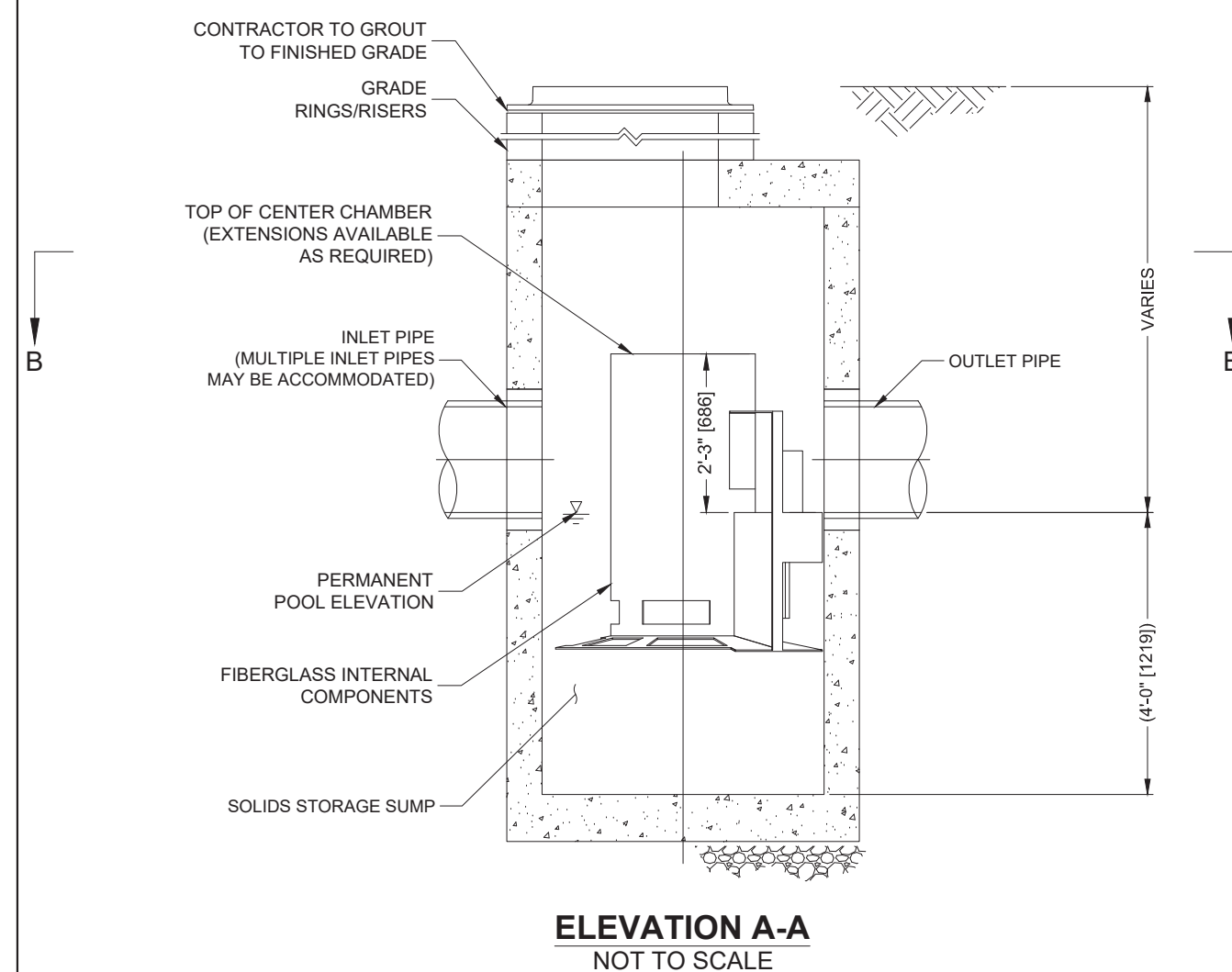
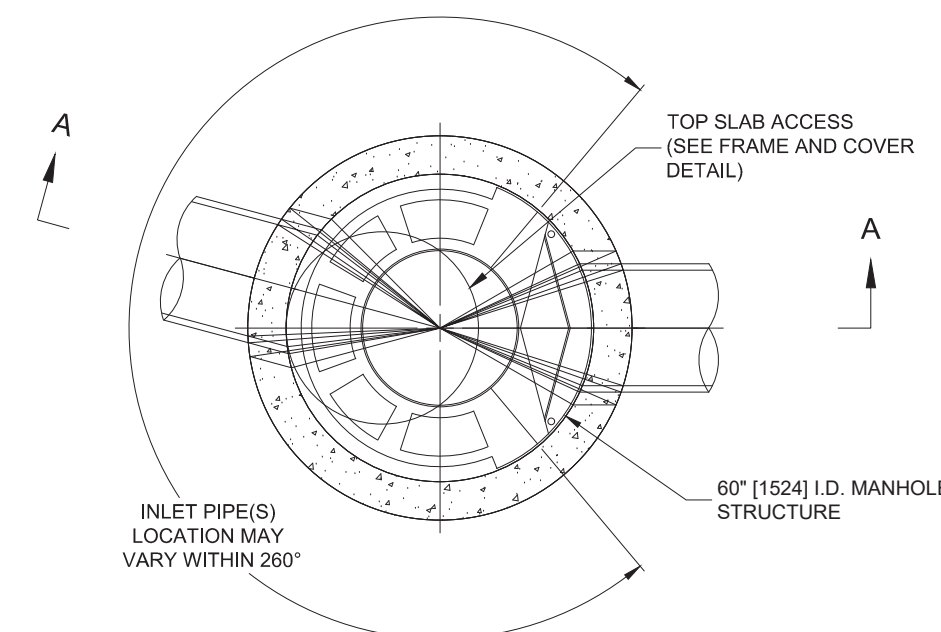
CONTECH CDS2015-4 DETAIL

NOT TO SCALE



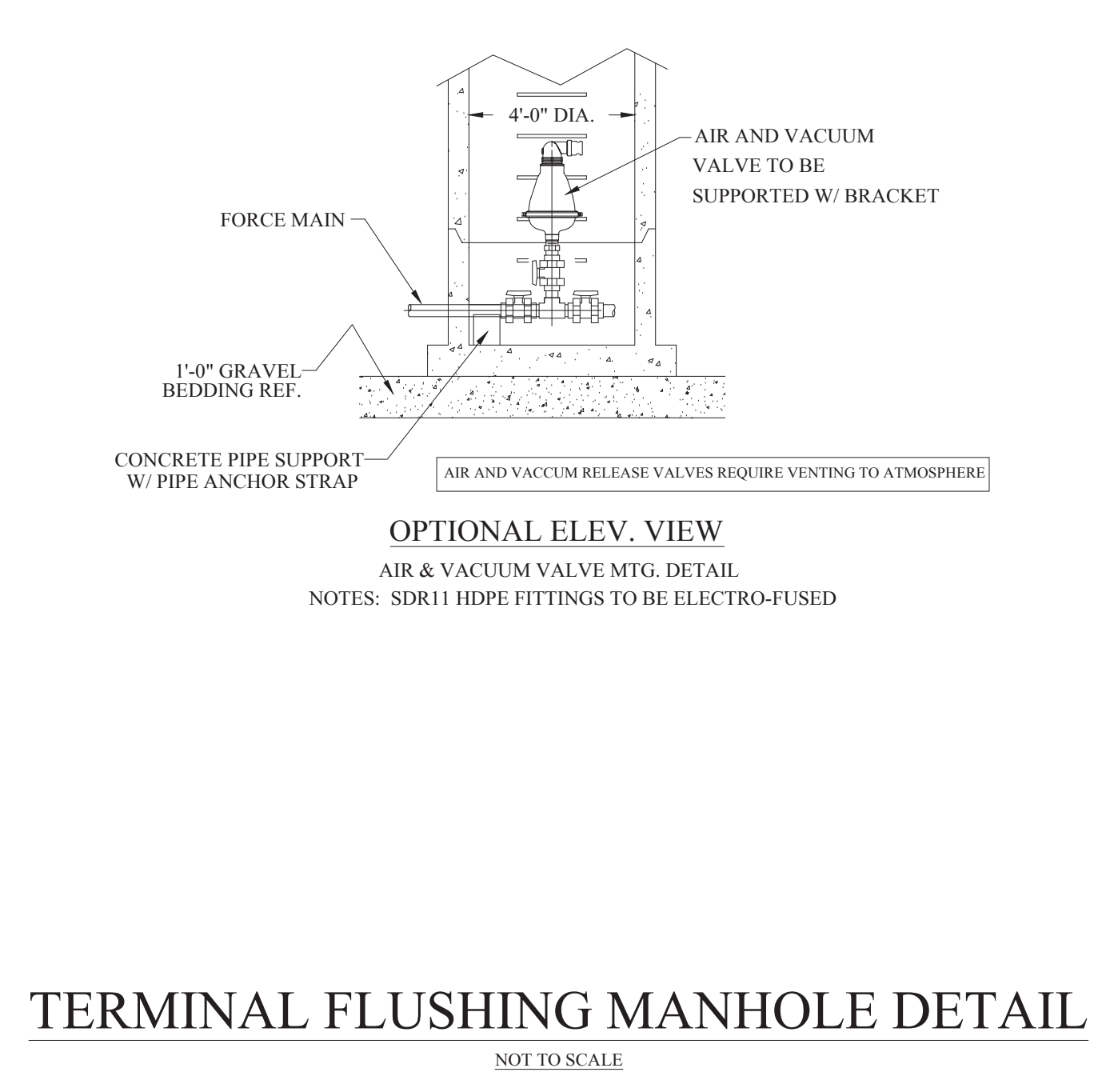
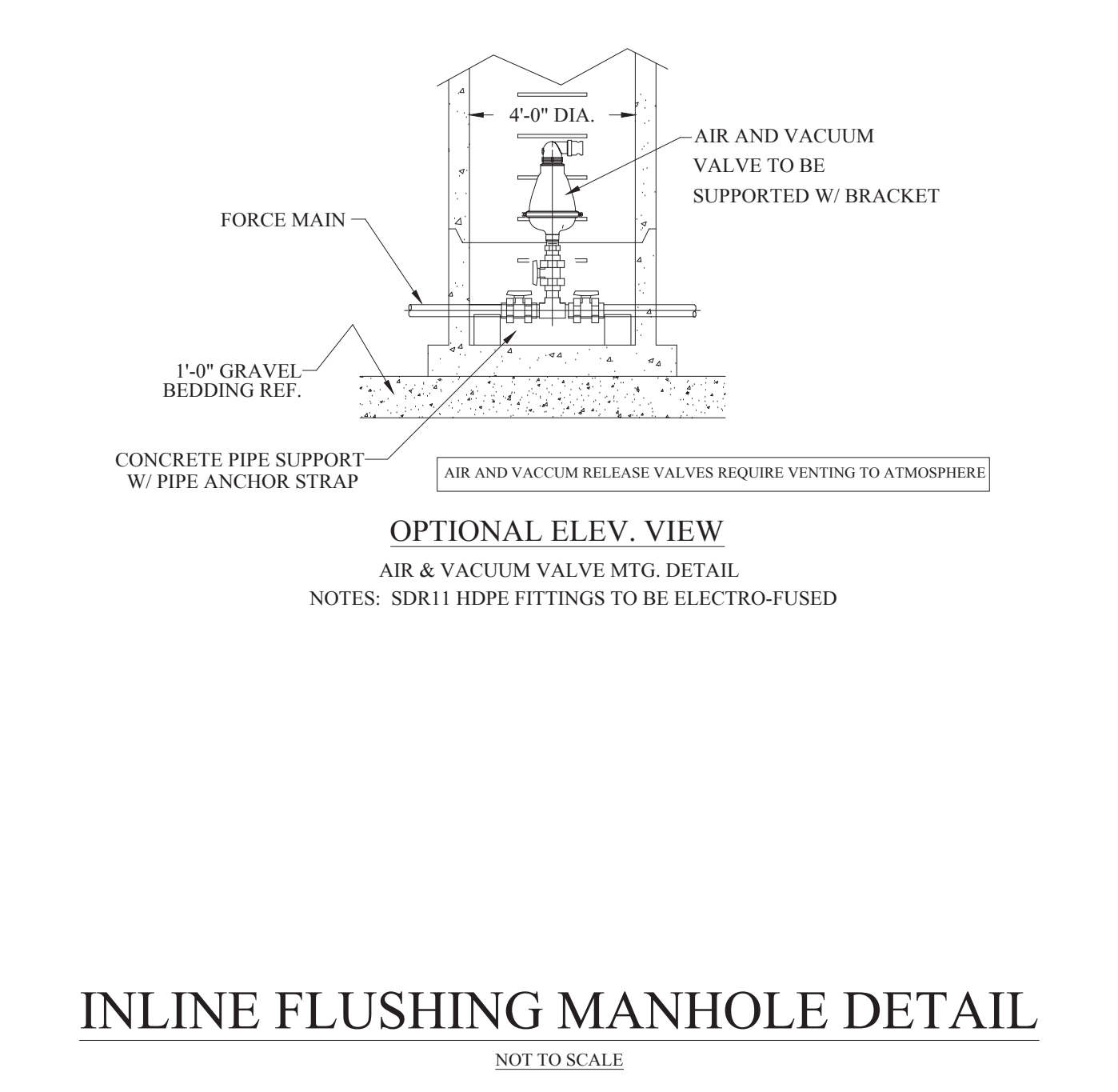
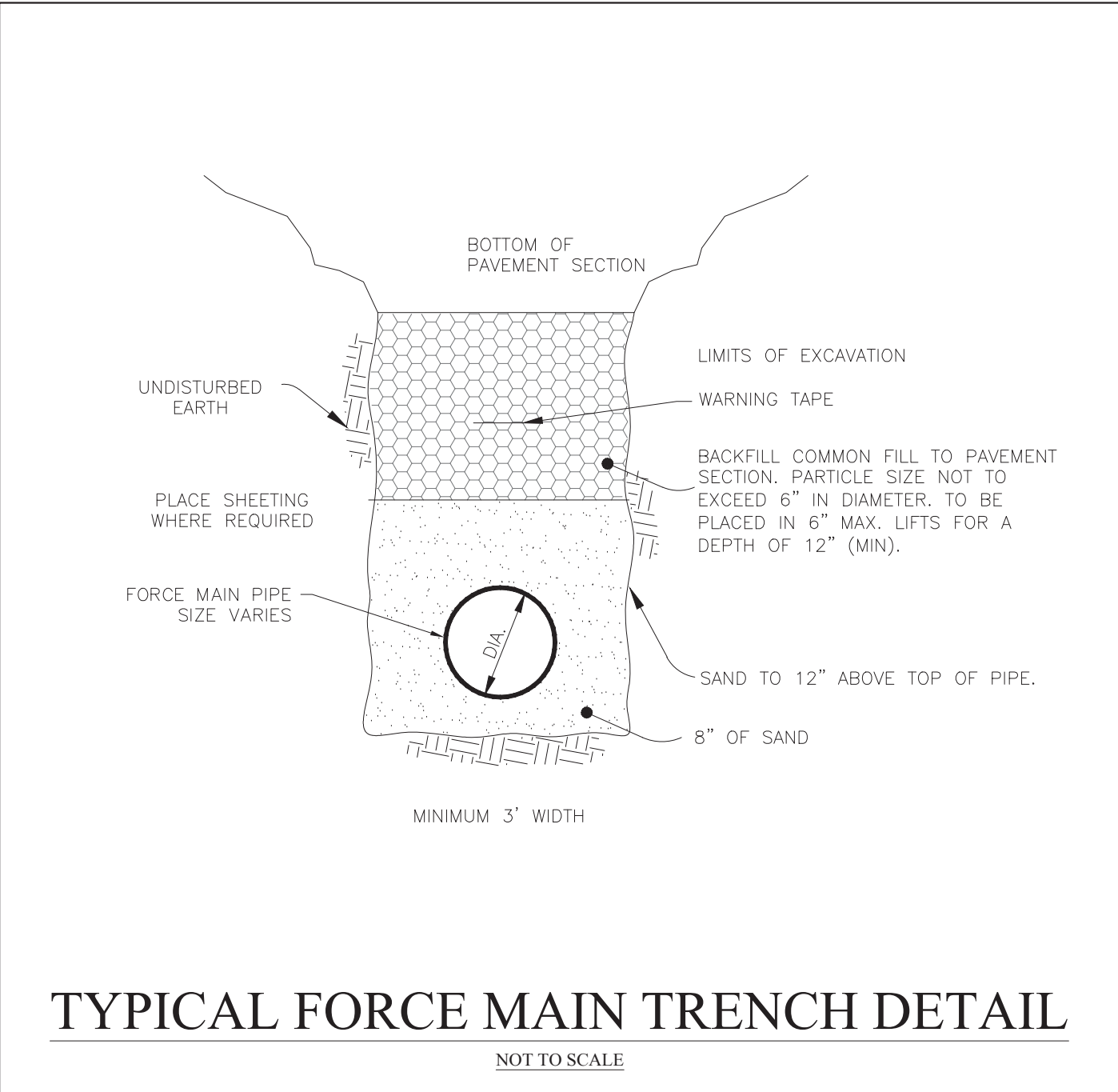
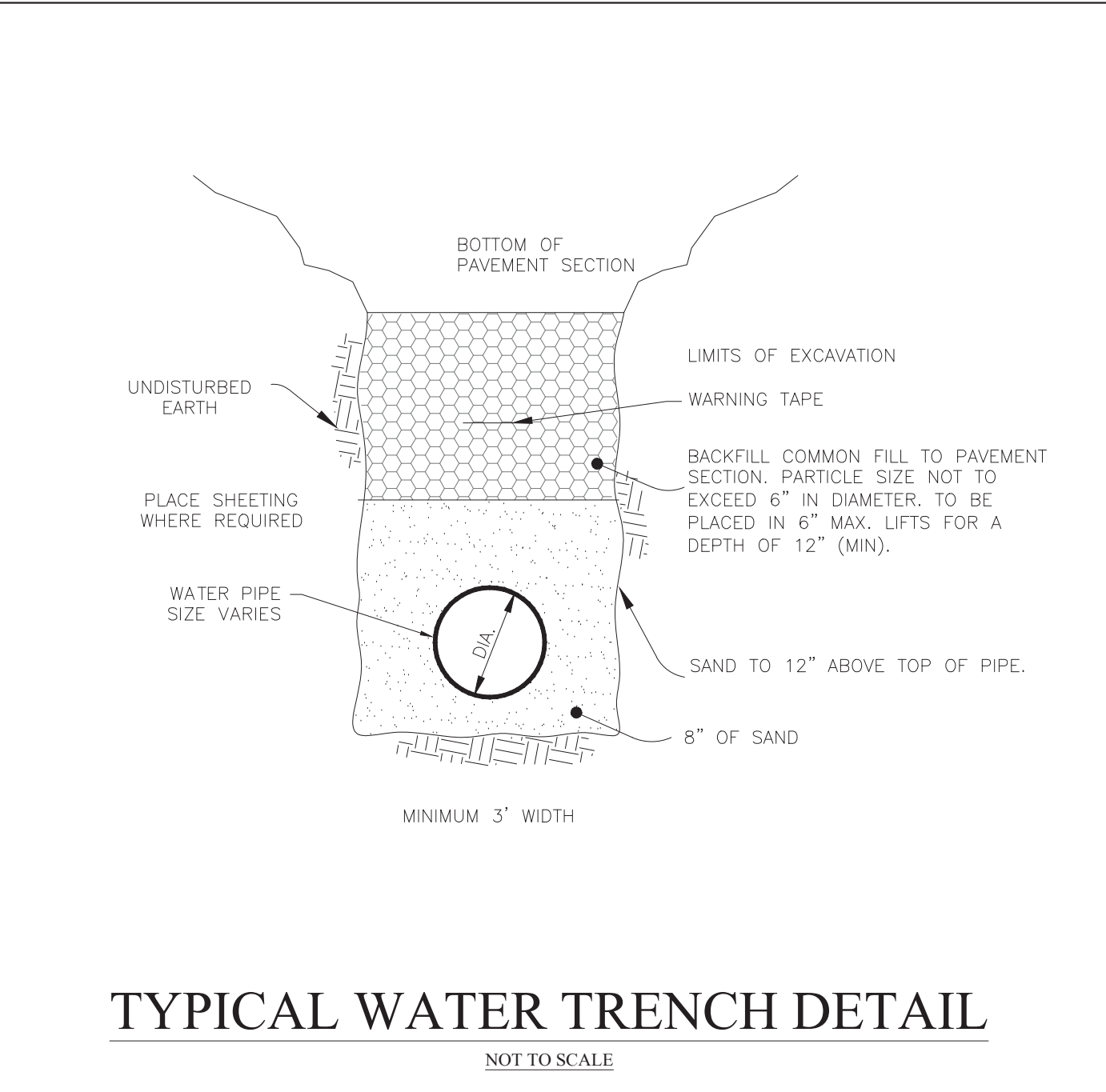
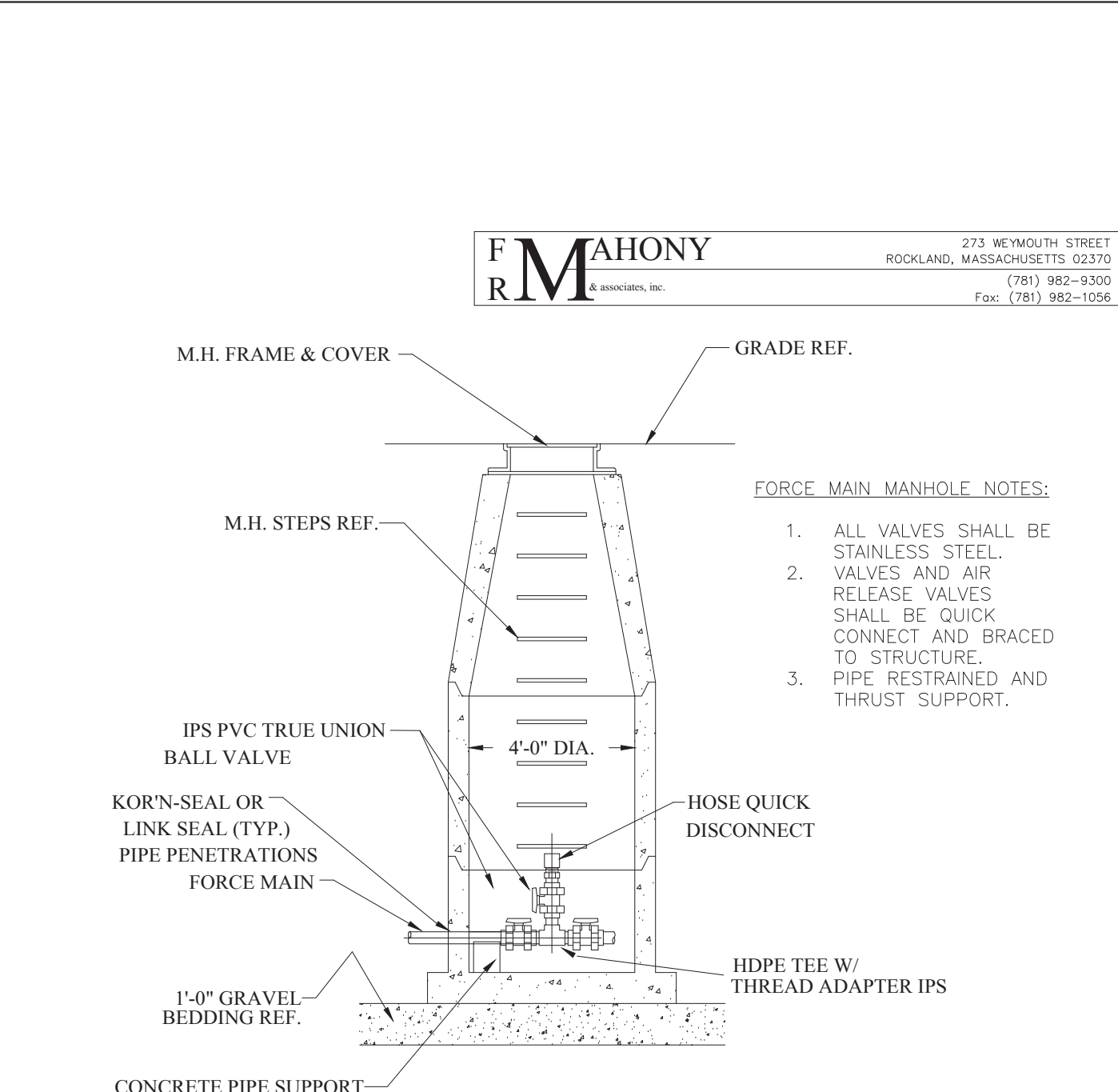
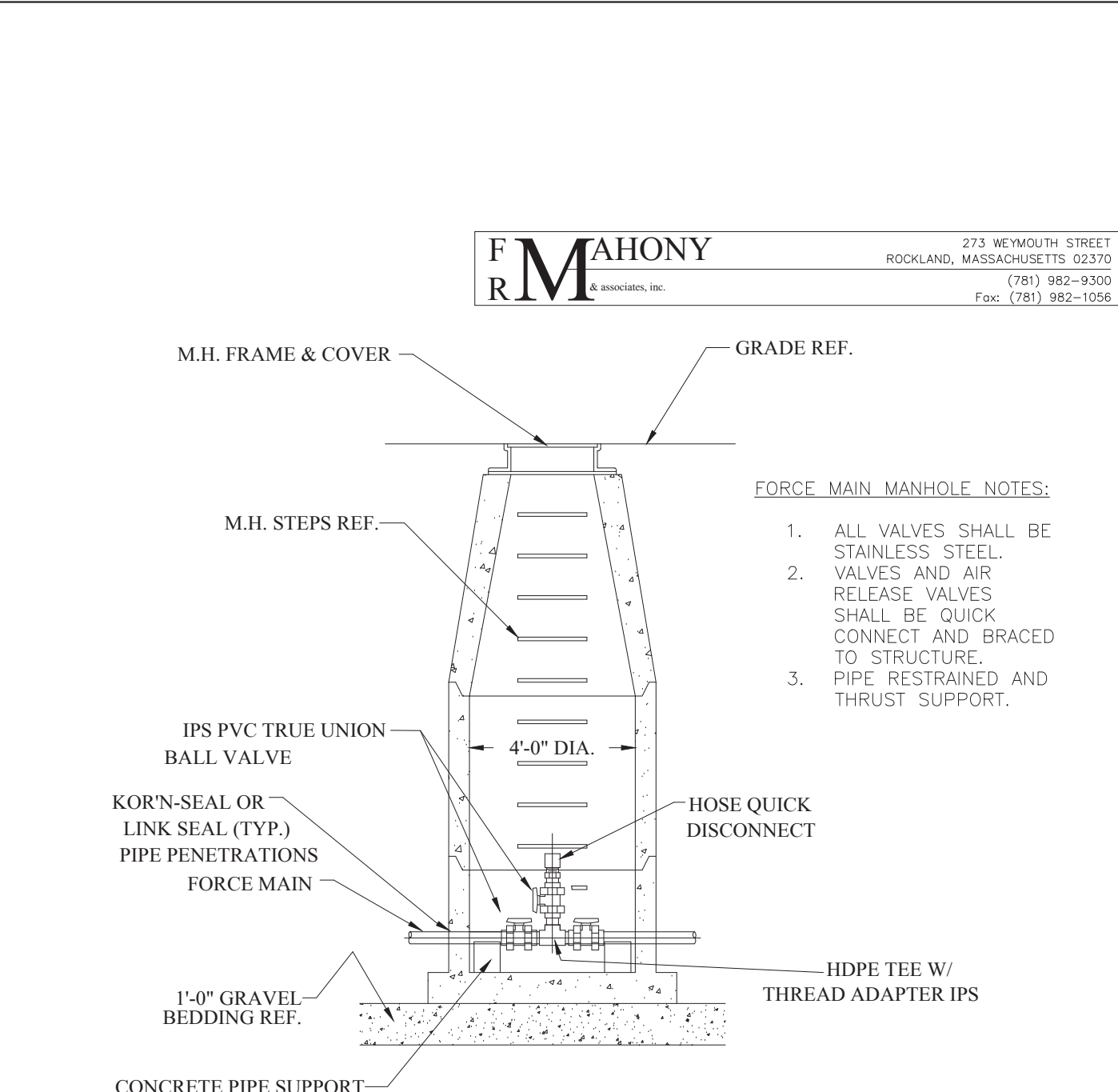
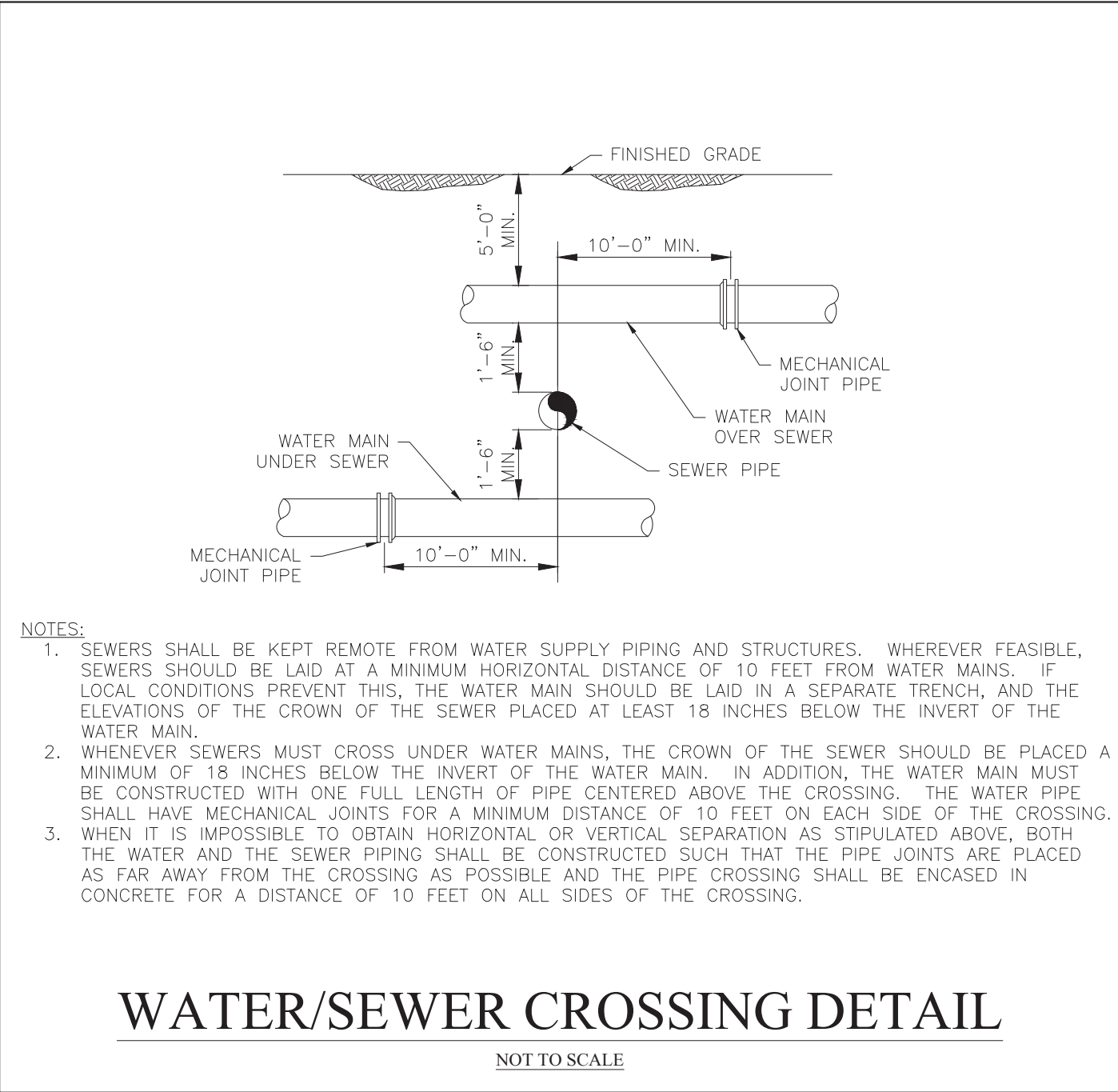
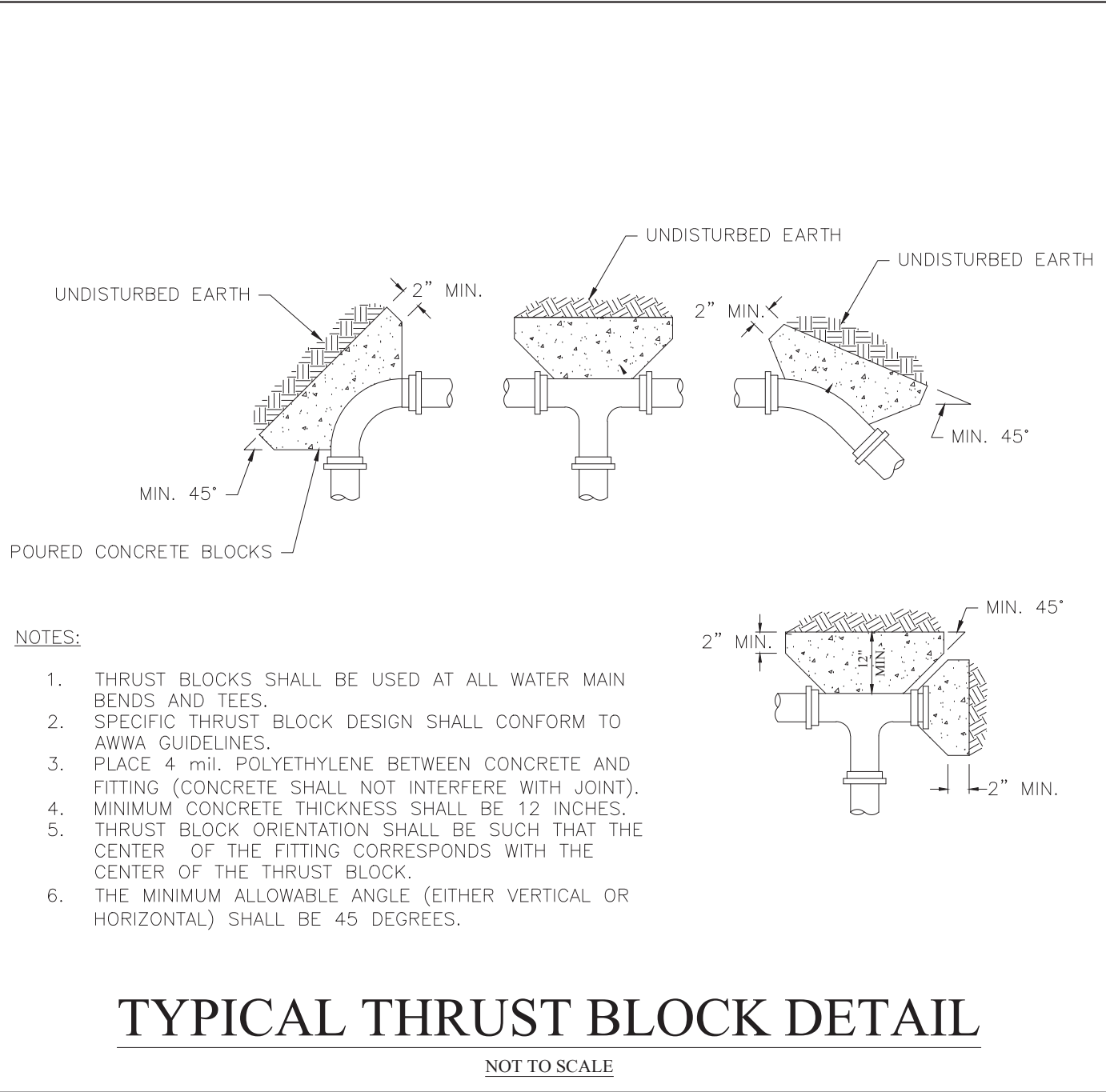
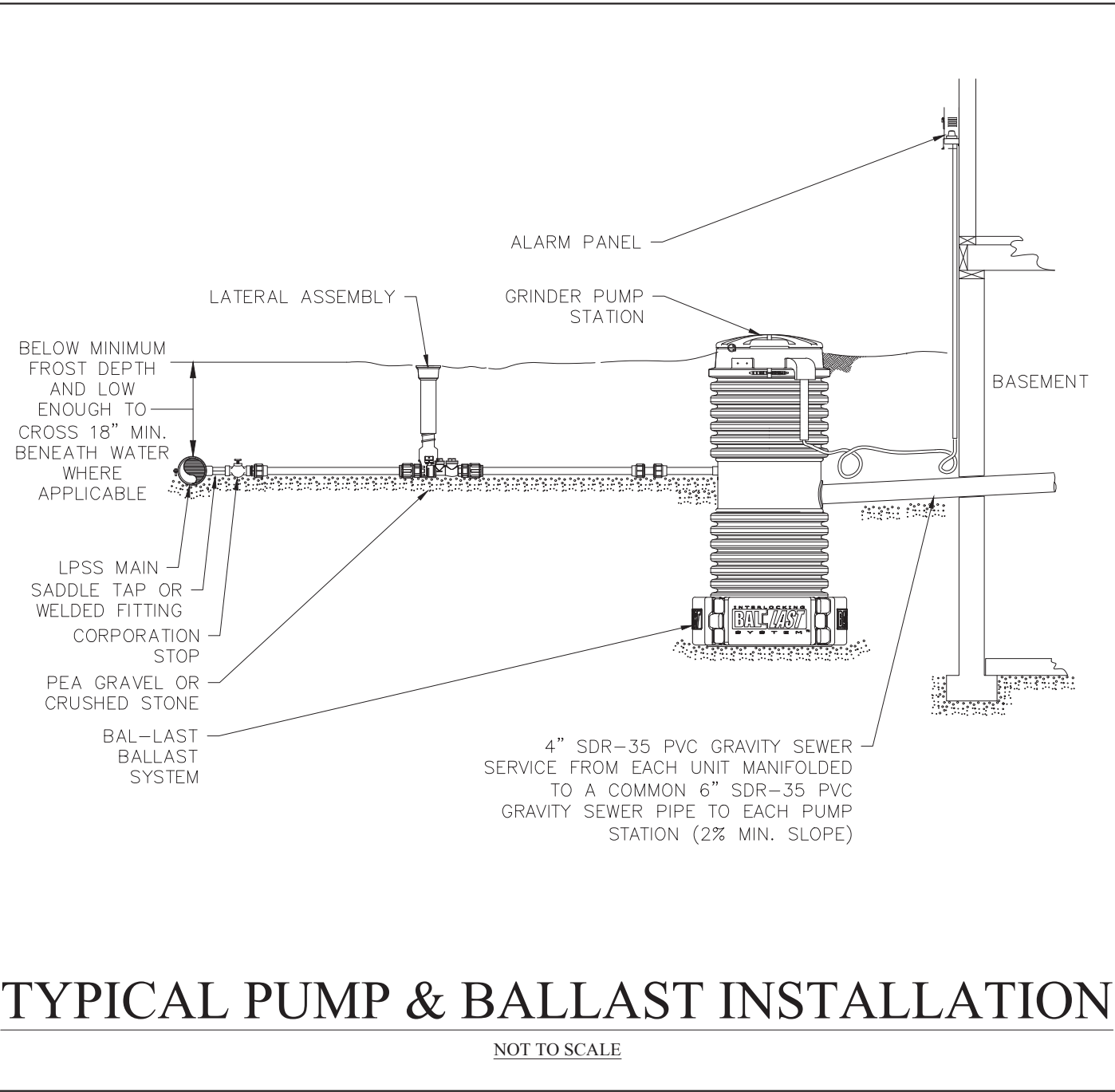
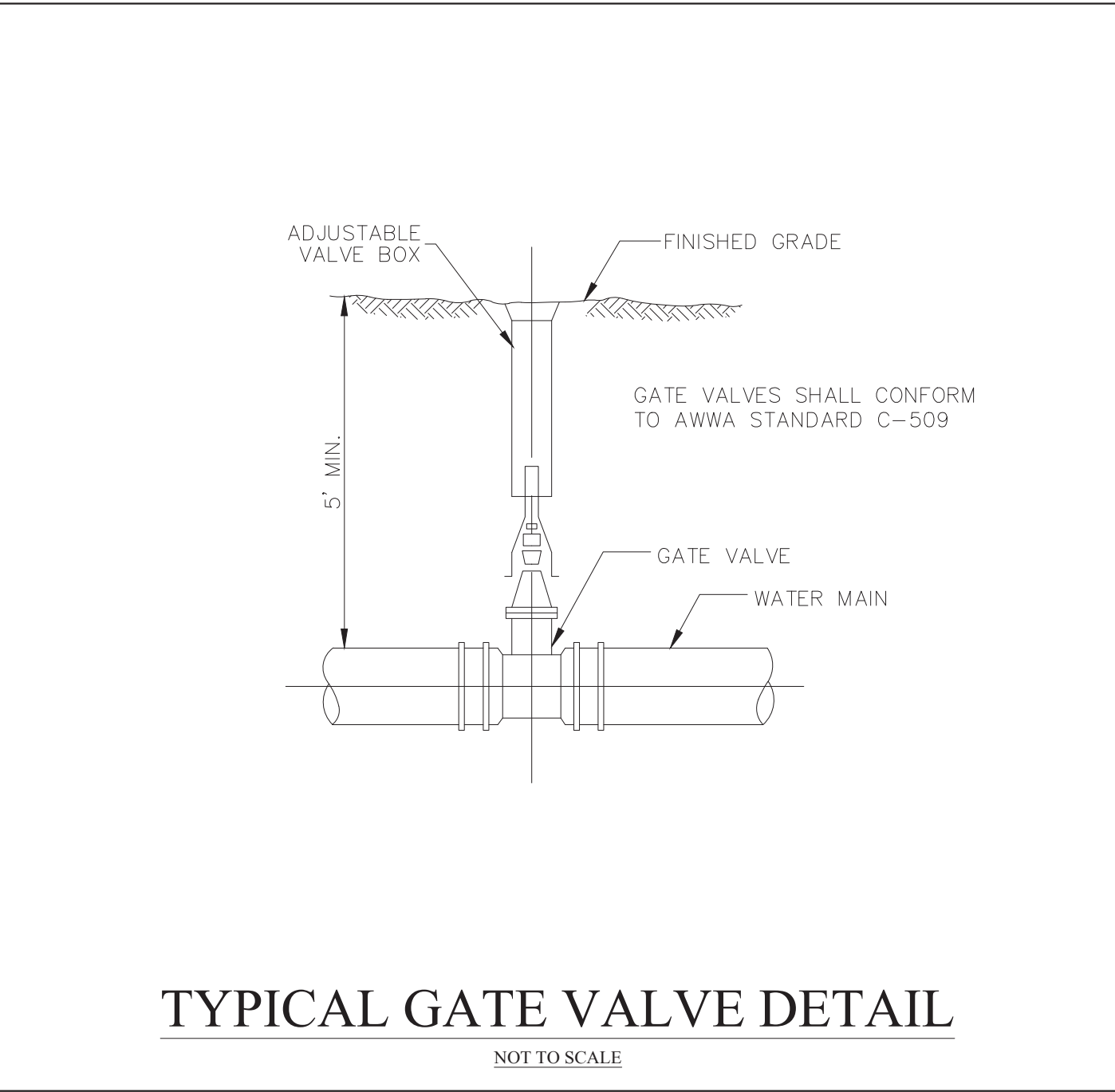
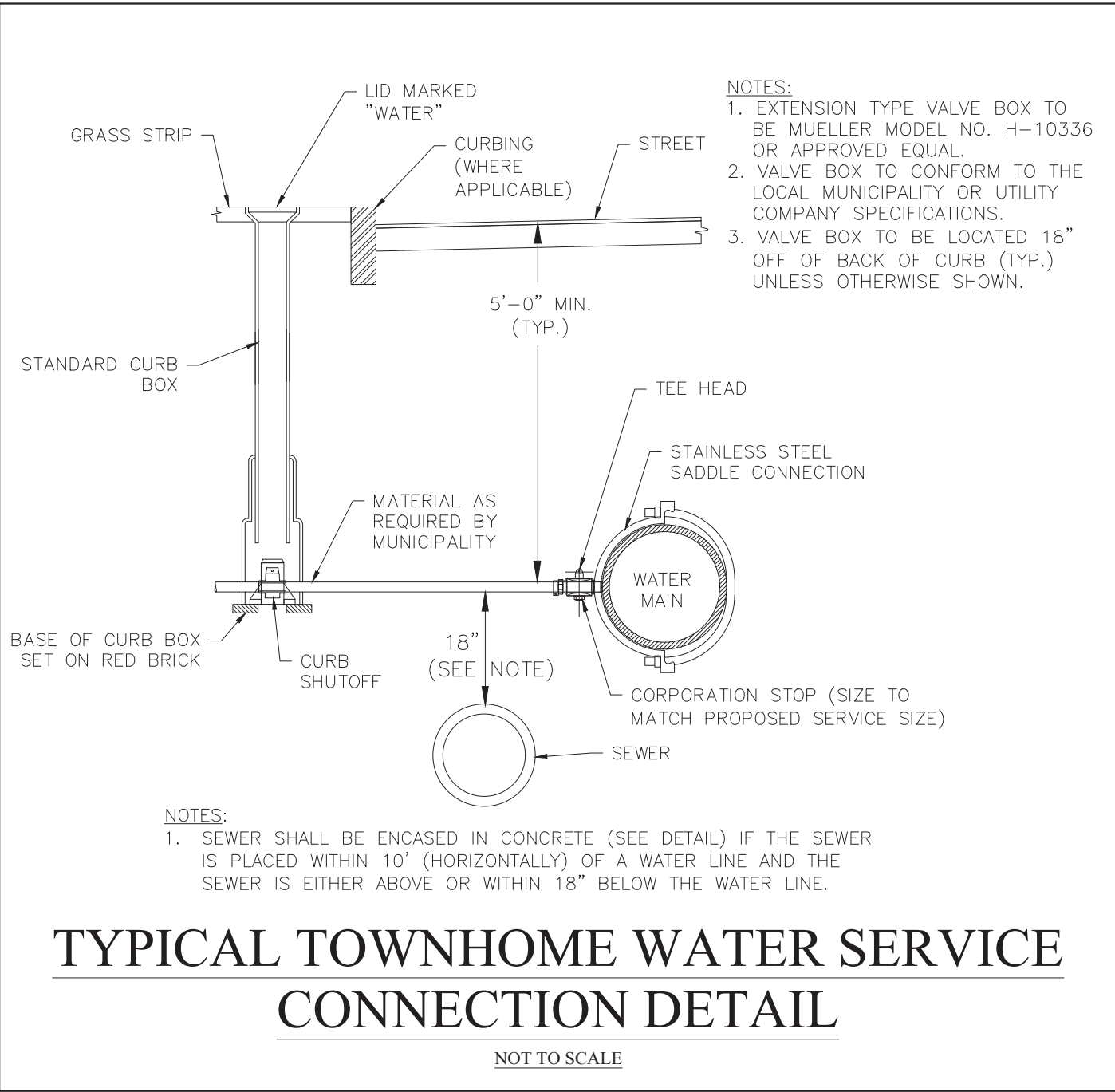
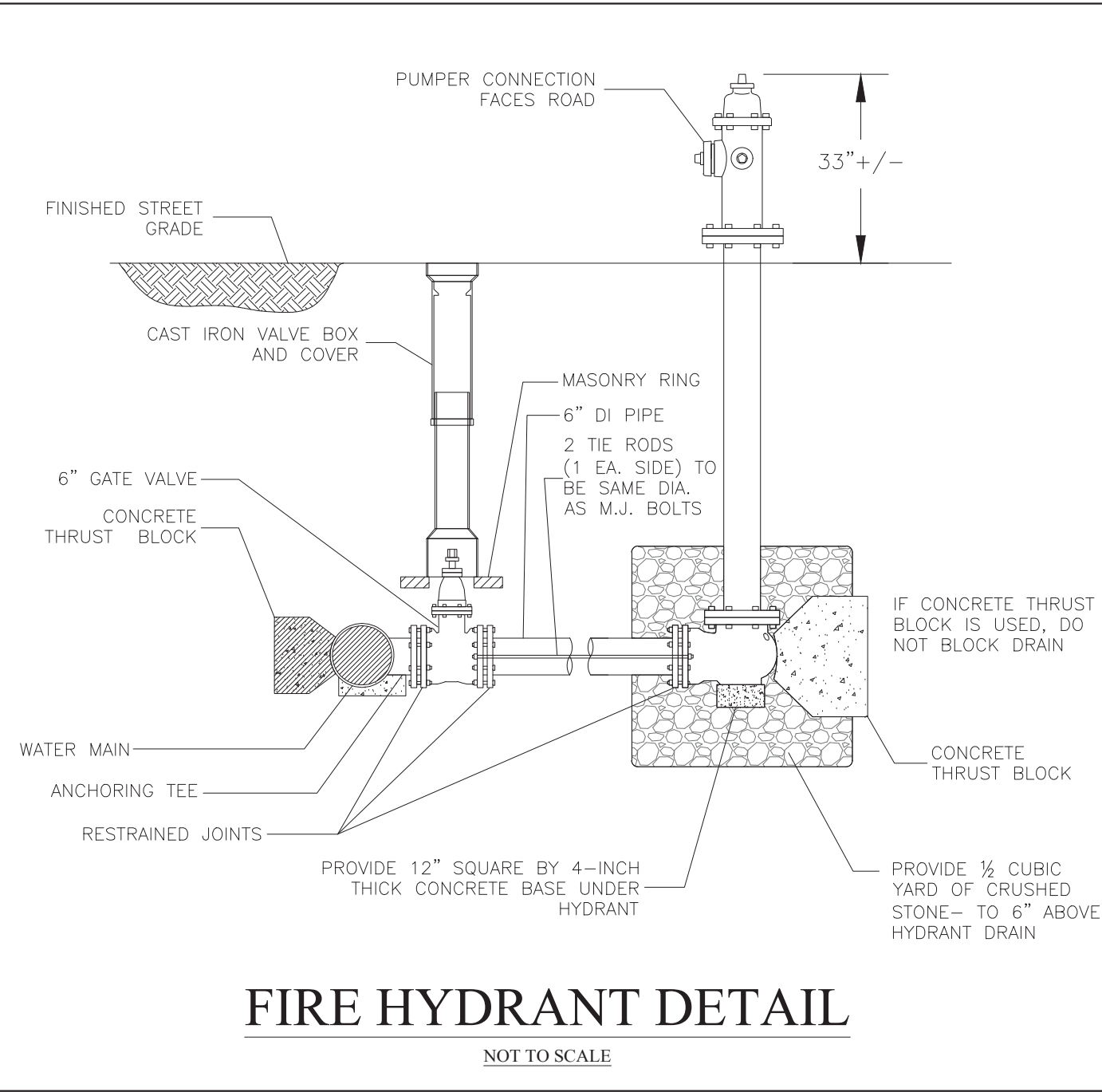
CONTECH CDS2015-5 DETAIL

NOT TO SCALE



CONTECH CS-4
CASCADE SEPARATOR DETAIL

NOT TO SCALE



NOT FOR CONSTRUCTION

CDG PROJECT #:

19001

REVISIONS:

REV	DATE	COMMENT
1		
2		
3		
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PLANNING BOARD:

SEAL:

COMMERCIAL STATE OF MASSACHUSETTS

MATTHEW A. LEIDNER

CIVIL

No. 45641

REGISTERED PROFESSIONAL ENGINEER

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PROJECT:

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84 & 104 COOLIDGE STREET
SHERBORN, MASSACHUSETTS

SCALE:

AS-NOTED

SHEET:

CONSTRUCTION DETAILS

28

DATE:

07/29/2021