



LOCUS PLAN
SCALE: 1"=2000±

PROPERTY:

ASSESSOR'S MAP 5, LOTS 32 & 48A
OWNER OF RECORD:
MELCHIORRI REALY TRUST

ASSESSOR'S MAP 5, LOT 55
(PORTION THEREOF)
OWNER OF RECORD:
COOLIDGE CROSSING, LLC

**SITE PLAN
FOR
MEADOWBROOK
COMMONS**

**RESIDENCE EA
MULTI-DWELLING COMMUNITY**

84 & 104 COOLIDGE STREET
SHERBORN, MASSACHUSETTS

PLANNING BOARD:

PREPARED BY:

**CIVIL DESIGN
GROUP, LLC**

21 HIGH STREET SUITE 207
NORTH ANDOVER, MA 01845

www.cdgeengineering.com

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CONTACT: MATTHEW LEIDNER, P.E.

PREPARED FOR:



PULTE HOMES OF NEW ENGLAND, LLC
115 FLANDERS ROAD
SUITE 200
WESTBOROUGH, MA 01581
www.pulte.com

NOT FOR CONSTRUCTION

CDG PROJECT #:	19001
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SEAL:



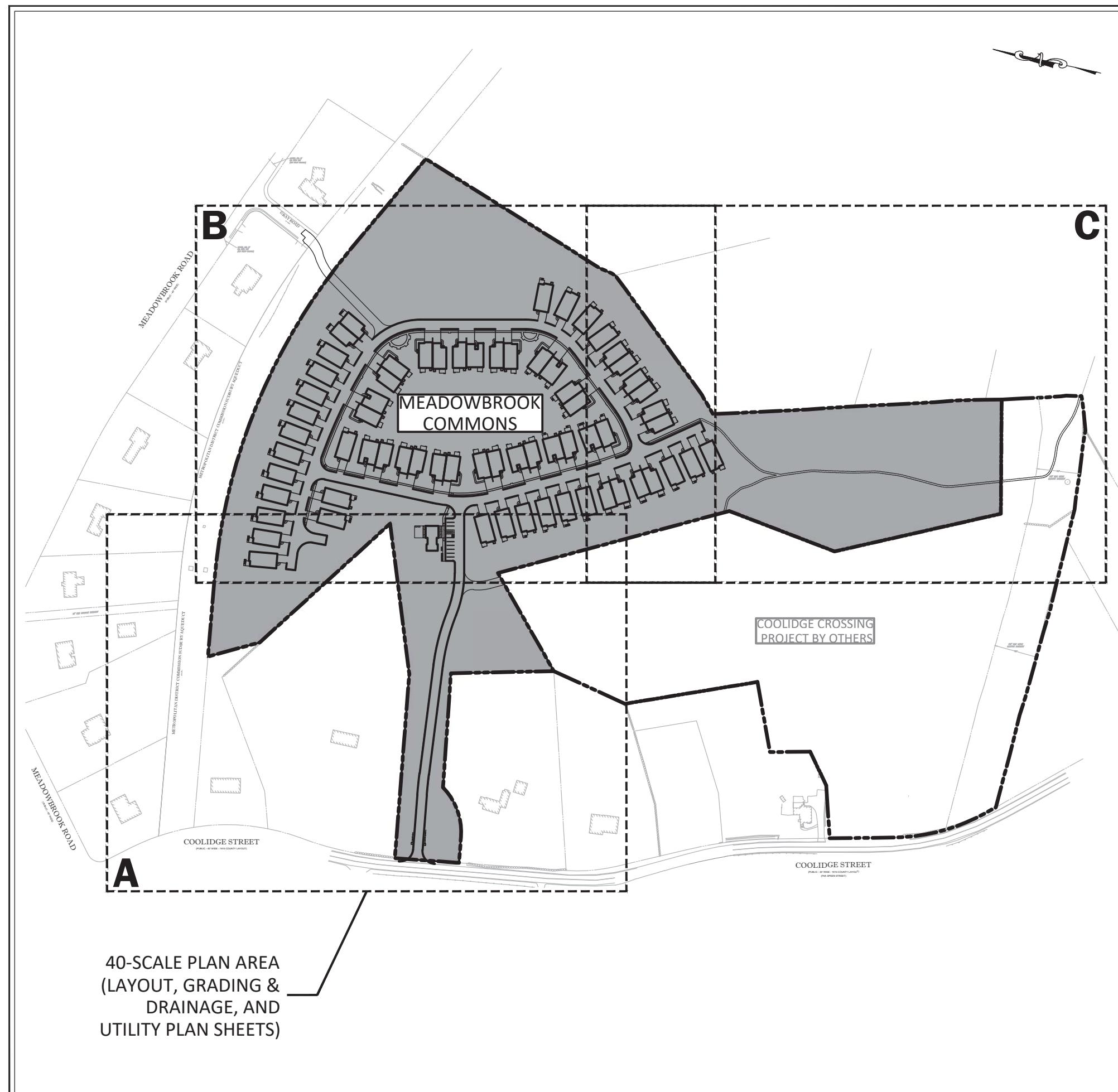
Matthew A. Leidner
MATTHEW A. LEIDNER, P.E.

SHEET:

COVER SHEET

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DATE:	07/29/2021
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SITE CONTEXT PLAN
SCALE: 1"=250'

CONSULTANTS:

SURVEY:
LEVESQUE GEOMATICS INC.
43 GLENDALE ROAD
STURBRIDGE, MA 01518
508-868-0041
CONTACT: JOSEPH LEVESQUE, P.L.S.

WETLANDS:
SWCA ENVIRONMENTAL CONSULTANTS
15 RESEARCH DRIVE
AMHERST, MA 01002
413-256-0202
CONTACT: MICKEY MARCUS, PWS

LANDSCAPE ARCHITECT:
BOHLER ENGINEERING
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
508-480-9900
CONTACT: MATTHEW MRVA, RLA

TRAFFIC:
MDM TRANSPORTATION CONSULTANTS, INC.
28 LORD ROAD, SUITE 280
MARLBOROUGH, MA 01752
508-303-0370
CONTACT: ROBERT MICHAUD, P.E.

WATER/SEWER:
COUGHLIN ENVIRONMENTAL SERVICES, LLC
62 MONTVALE AVENUE, SUITE H
STONEHAM, MA 02180
781-832-1002
CONTACT: DANIEL COUGHLIN, P.E.

GENERAL NOTES

- ZONING INFORMATION OBTAINED FROM THE TOWN OF SHERBORN ZONING MAP CONTAINED IN THE 2019 MASTER PLAN AND THE TOWN OF SHERBORN ZONING BYLAWS, REVISED THROUGH THE 2019 ATM.
- THE PROJECT SITE CONSISTS OF LOTS 32, 48A, AND A PORTION OF LOT 55 ON THE TOWN OF SHERBORN ASSESSOR'S MAP 5 AND TOTALS 25.2± ACRES.
- THE PROJECT LIES WITHIN THE RESIDENCE 'EA' ZONING DISTRICT.
- ACCORDING TO THE FLOOD RATE INSURANCE MAP (FIRM), COMMUNITY PANEL #2501700519F, WITH AN EFFECTIVE DATE OF JULY 7, 2014, THIS SITE LIES WITHIN ZONE X, WHICH IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% (500-YEAR) ANNUAL CHANCE FLOODPLAIN.
- THE PROJECT WILL BE SUBJECT TO A SPECIAL PERMIT TO BE ISSUED BY THE SHERBORN PLANNING BOARD. THE CONTRACTOR SHALL BECOME FAMILIAR WITH AND ADHERE TO ALL CONSTRUCTION-RELATED REQUIREMENTS OF THE THIS APPROVAL.
- ON-SITE WETLANDS SHOWN HEREIN WERE DELINEATED BY SWCA INC. IN JUNE 2019 AND FIELD LOCATED BY THE LEVESQUE GEOMATICS IN JULY 2019. THE WETLAND LINES WERE VALIDATED VIA AN ORDER OF RESOURCE AREA DELINEATION UNDER DEP FILE NUMBER 283-0397 AS ISSUED BY THE SHERBORN CONSERVATION COMMISSION ON AUGUST 15, 2019. THE PROJECT WILL BE SUBJECT TO A SUBSEQUENT ORDER OF CONDITIONS TO BE ISSUED BY THE SHERBORN CONSERVATION COMMISSION. THE CONTRACTOR SHALL BECOME FAMILIAR WITH AND ADHERE TO ALL CONSTRUCTION-RELATED REQUIREMENTS OF THE THIS APPROVAL.
- THE CONTRACTOR SHALL GIVE TWENTY-FOUR (24) HOUR NOTICE TO PERTINENT TOWN DEPARTMENTS BEFORE COMMENCING ANY WORK IN THE FIELD AND HOLD A PRE-CONSTRUCTION MEETING WITH TOWN OFFICIALS AS REQUIRED BY THE CONDITIONS OF APPROVAL.
- ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, SITE ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS, AND PLANT SPECIFICATIONS TO THE OWNER AND SITE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
- THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF THE CONSTRUCTION.
- TRASH MANAGEMENT FOR THE TOWNHOMES WILL BE BY CURBSIDE COLLECTION.
- TEMPORARY ON-SITE SALES OFFICES AND ASSOCIATED MARKETING SIGNAGE WILL BE UTILIZED THROUGHOUT THE BUILD-OUT PROCESS (LOCATIONS TO BE SELECTED UPON COMMENCEMENT OF THE SALES PHASE).
- FINAL LOCATION(S) OF MODEL HOME(S) SHALL BE DETERMINED BY THE OWNER.

SITE LAYOUT NOTES

- ALL STATION LABELS PERTAIN TO CENTERLINE OF ROAD GEOMETRY.
- NO BUILDINGS, BUILDING PROJECTIONS, OR APPURTENANT STRUCTURES SUCH AS DECKS AND STAIRS SHALL BE CONSTRUCTED IN THE REQUIRED BUILDING SETBACKS.
- CURB WITHIN THE SITE LIMITS SHALL BE CAPE COD BERM (CCB), WITH VERTICAL GRANITE CURB (VGC) AT RAMPS WHERE CURB TRANSITIONS FROM REVEAL TO NO REVEAL.
- PAVEMENT MARKINGS AND STRIPING SHALL PAINTED WITH 2 COATS OF WHITE PAINT PER FEDERAL SPECIFICATION TI-P-115 TYPE 1: ALKYD.
- ALL ON-SITE TRAFFIC ADVISORY SIGNS INCLUDING STOP SIGNS SHALL BE MOUNTED ON A 4"x4" PRESSURE-TREATED POST WITH BLACK PVC WRAP AND MANSARD CAP, AND SHALL BE 48" FROM GROUND TO BOTTOM OF SIGN. STOP SIGNS DIMENSIONS SHALL BE 18"x18".
- ACCESSIBLE PARKING SPACES SHALL CONFORM TO THE LATEST EDITION OF THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE ARCHITECTURAL ACCESS BOARD (AAB) AS SHOWN ON THE SITE LAYOUT PLAN.
- ACCESSIBLE SIGNAGE SHALL CONFORM TO THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR COLOR AND SIZE, AND SHALL BE MOUNTED ON 2" ROUND GALVANIZED STEEL POSTS PAINTED BLACK, 48" FROM GROUND TO BOTTOM OF SIGN.

GRADING & DRAINAGE NOTES

- THE ELEVATIONS SHOWN ON THIS PLAN ARE BASED ON THE DATUM REFERENCE USED ON THE EXISTING CONDITIONS SURVEY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND ELEVATION BENCHMARKS THROUGHOUT CONSTRUCTION.
- EXTERIOR ELEVATIONS ALONG EACH BUILDING SIDE MAY VARY IN ORDER TO ACHIEVE GRADE IN CERTAIN AREAS. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM THE PROPOSED BUILDING. THE FINISHED GRADE ALONG ALL BUILDINGS SHALL BE A MINIMUM OF 13" BELOW FIRST FLOOR ELEVATION EXCEPT AT DOORWAYS.
- NEW SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.0%. FURTHERMORE, ACCESSIBLE PARKING SPACES AND PROXIMATE ACCESS ASLES SHALL BE SLOPED AT A MAXIMUM OF 2.0% IN ALL DIRECTIONS. SHOULD ANY DISCREPANCIES WITH THESE REQUIREMENTS ARISE DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT AN ACCEPTABLE SOLUTION CAN BE DETERMINED.
- CONTRACTOR SHALL NOTIFY ENGINEER IF THE ILLUSTRATED GRADES CANNOT BE ACHIEVED WITHIN ACCESSIBLE AREAS, INCLUDING PARKING SPACES.
- UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF THE CONSTRUCTION.
- PROPOSED BOTTOM OF CURB ELEVATIONS ALONG EXISTING STREETS ARE BASED ON EXISTING CONDITIONS INFORMATION AND SHALL BE CONSIDERED APPROXIMATE. CONTRACTOR SHALL MATCH EXISTING EDGE OF PAVEMENT GRADE.
- EXISTING DRAINAGE AND UTILITY RIM ELEVATIONS LOCATED WITHIN THE LIMIT OF WORK TO REMAIN SHALL BE ADJUSTED BY THE CONTRACTOR TO MATCH NEW FINISHED GRADE.
- ALL DISTURBED AREAS OUTSIDE THE LIMIT OF WORK SHALL BE RESTORED IN KIND.
- PROPOSED CATCH BASINS SHALL INCLUDE ELIMINATOR HOODS AS SPECIFIED IN THE DETAILS.
- UNLESS OTHERWISE SPECIFIED, ALL NEW DRAINAGE PIPE SHALL BE DUAL WALL CORRUGATED HDPE (ADS N-12 OR APPROVED EQUAL), RATED FOR H-20 LOADING, MINIMUM 12" COVER (UNLESS GREATER COVER IS REQUIRED BY THE MANUFACTURER), AND LAID AT A MINIMUM SLOPE OF 0.005"/'. PIPE SIZES SHALL BE AS FOLLOWS UNLESS OTHERWISE SPECIFICALLY INDICATED ON THE PLANS:

 - 1.1. DRAINAGE PIPES CONNECTING CATCH BASINS TO MANHOLES AND MANHOLES TO MANHOLES: SIZE VARIES, REFER TO GRADING AND PROFILE SHEETS FOR SIZES.
 - 1.2. TOWNHOME ROOF DRAIN PIPES: 6" FROM GUTTER DOWNSPOUTS TO HEADERS PIPES. HEADER PIPES SERVING UP TO TWO UNITS SHALL BE 6", SERVING 3-6 UNITS SHALL BE 8", AND SERVING 7 OR MORE UNITS SHALL BE 12". ALL ROOF DRAIN PIPES SHALL BE LAID AT >=0.017".
 - 1.3. FOUNDATION DRAIN PIPES: 4" FOR EACH TOWNHOME BUILDING (STEP UP TO 6" IF MULTIPLE TOWNHOME BUILDINGS TIED TOGETHER). SDR-35 PVC SHALL BE AN ALLOWABLE ALTERNATIVE TO HDPE FOR FOUNDATION DRAINS.

- ROOF DRAINS:

 - 1.1. TOWNHOMES: ALL ROOFTOPS SHALL BE GUTTERED. FRONT GUTTER DOWNSPOUTS SHALL TIE INTO A ROOF DRAIN PIPE. REAR GUTTER DOWNSPOUTS SHALL SPILL ONTO THE GROUND UNLESS SPECIFICALLY SHOWN OTHERWISE ON THE PLANS. ROOF DRAIN PIPES ARE SHOWN SCHEMATICALLY AND MAY NOT REPRESENT THE EXACT LOCATION OF DOWNSPOUTS.
 - 1.2. EACH BUILDING SHALL HAVE A MINIMUM OF ONE GUTTER DOWNSPOUT OVERFLOW ON EACH INDEPENDENT PIPE NETWORK. THE OVERFLOW SHALL BE INSTALLED ON THE DOWNSPOUT LOCATED AT THE LOWEST GROUND ELEVATION ALONG THE BUILDING WITHIN EACH PIPE NETWORK.
 - 1.3. THE LOWEST GROUND ELEVATION AT THE GUTTER DOWNSPOUTS SHALL BE ABOVE THE 100-YEAR STORM PEAK WATER ELEVATION FOR THE STORMWATER MANAGEMENT SYSTEM INTO WHICH IT FLOWS.

- FOUNDATION DRAINS:

 - 1.1. PROPOSED FOUNDATION DRAIN PIPES SHALL HAVE CLEANOUTS INSTALLED AT INTERSECTIONS AND ANGULAR BENDS. NOT REQUIRED AT RADIAL BENDS.
 - 1.2. SEE DETAIL SHEETS AND PROFILES FOR WATER QUALITY UNITS MANUFACTURER AND MODELS.

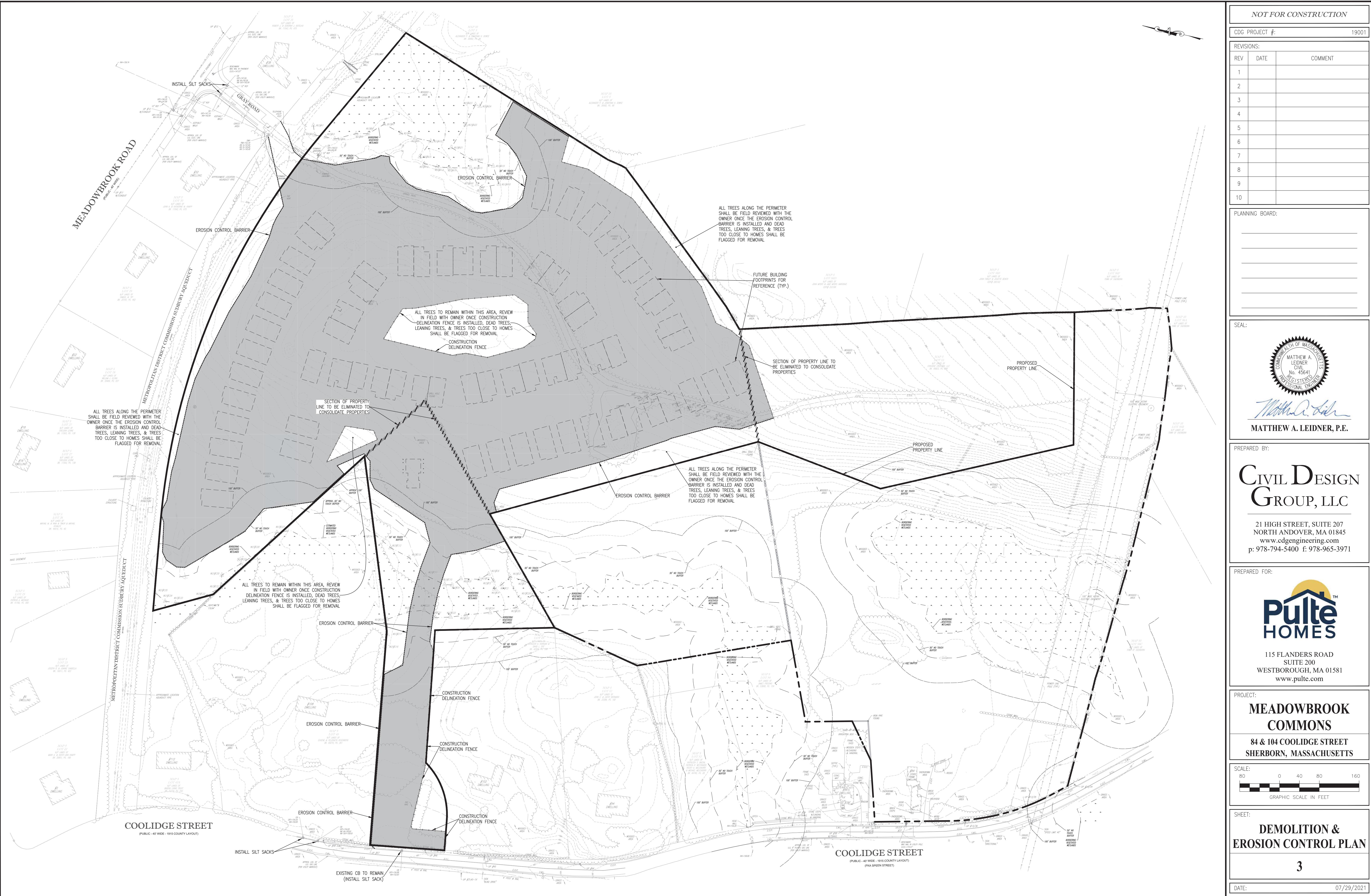
15. GALVANIZED STEEL TRASH RACKS SHALL BE INSTALLED ON OPEN ENDS OF ALL INLET AND DISCHARGE DRAIN PIPES 18" OR LARGER IN DIAMETER. TRASH RACKS SHALL BE SIZED TO FIT THE SPECIFIC PIPE FOR WHICH THEY WILL BE USED AND SHALL BE REMOVABLE FOR SERVICING THE PIPE.
16. TOP AND BOTTOM OF WALL ELEVATIONS SHOWN ON GRADING & DRAINAGE PLANS REPRESENT THE EXPOSED PORTION OF THE WALL. ALL WALLS GREATER THAN 4 FEET EXPOSED HEIGHT SHALL BE DESIGNED BY A STRUCTURAL ENGINEER.
17. ELEVATION OF LANDSCAPED AREAS ARE GIVEN AT PLANTED GRADE.

SITE & DEMOLITION NOTES

- THE LOCATION AND ELEVATION OF EXISTING UTILITIES AND STRUCTURES SHOWN ON THESE PLANS ARE BASED ON MEASUREMENTS TAKEN IN THE FIELD AND DISCOVERED RECORDS FROM VARIOUS UTILITY COMPANIES AND/OR FROM THE MUNICIPALITY. THIS INFORMATION SHALL NOT BE CONSIDERED EXACT AND THE CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL NOTIFY 'DIG SAFE' (811) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXISTING UTILITY MARK OUT LOCATIONS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF EXISTING UTILITY LOCATIONS CONFLICT WITH THE PROPOSED DEVELOPMENT PROGRAM SO THAT A REMEDIAL ACTION CAN TAKE PLACE PRIOR TO ANY WORK. THE CONTRACTOR IS RESPONSIBLE FOR RELOCATING ALL EXISTING UTILITIES AS A RESULT OF THE PROPOSED DEVELOPMENT.
- ELEVATIONS SHOWN ARE BASED ON THE DATUM REFERENCED ON THE EXISTING CONDITIONS PLAN.
- ALL WORK MUST BE INSPECTED PER MUNICIPAL REQUIREMENTS. CONTRACTOR SHALL CONTACT THE MUNICIPAL BUILDING DEPARTMENT PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING ALL CONSTRUCTION RELATED CONDITIONS OUTLINED IN THE APPROVALS IN ADDITION TO THE ITEMS OUTLINED IN THESE CONSTRUCTION DOCUMENTS.
- THE LIMIT OF WORK FOR THIS PROJECT SHALL BE SHOWN ON THE PLANS AS SAWCUT LINES, EROSION CONTROL BARRIER LINES, AND/OR CONSTRUCTION DELINEATION FENCE LINES. LIMIT OF WORK LINES AND SHALL BE MARKED IN THE FIELD PRIOR TO CONSTRUCTION. ALL EXISTING FEATURES WITHIN LIMIT OF WORK LINE SHALL BE REMOVED UNLESS OTHERWISE SPECIFIED.
- THE CONTRACTOR SHALL ARRANGE A PRE-CONSTRUCTION MEETING WITH THE ENGINEER AND MUNICIPAL OFFICIALS PRIOR TO THE START OF CONSTRUCTION.
- ALL DISTURBED OFF-SITE AREAS SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITION.
- A STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED PER THE DETAIL WHEREVER CONSTRUCTION ACCESS EXISTS. PAVED AREAS SHALL BE KEPT CLEAN AT ALL TIMES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS AND UTILITY CONNECTION/DISCONNECTION FEES RELATED TO THE PROJECT. CONTRACTOR SHALL NOTIFY AND COORDINATE ALL UTILITY WORK WITH THE APPLICABLE UTILITY COMPANIES AND/OR LOCAL DEPARTMENTS. ALL PERMITS SHALL BE KEPT WITHIN THE TRAILER AND CLEARLY VISIBLE.
- THE OFFSITE DISPOSAL OF ALL DEMOLISHED MATERIALS SHALL COMPLY WITH THE APPLICABLE LOCAL, STATE AND FEDERAL GUIDELINES.
- FILL MATERIAL(S) SHALL NOT CONTAIN HAZARDOUS MATERIALS.
- CONSTRUCTION DUMPSTERS SHALL BE LOCATED ON A STABLE SURFACE, PROPERLY MAINTAINED, AND EMPTIED ON A REGULAR BASIS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE GENERAL UPKEEP OF THE SITE DURING THE CONSTRUCTION PROCESS.

UTILITY NOTES

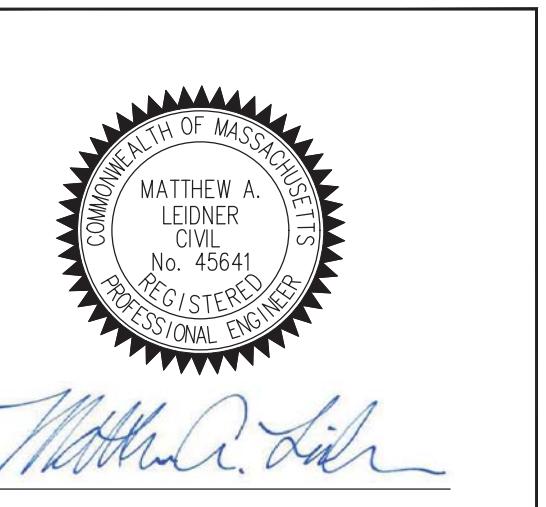
- ALL UTILITIES ARE TO BE LOCATED UNDERGROUND UNLESS OTHERWISE NOTED.
- ALL UTILITIES, PIPE MATERIALS, STRUCTURES, INSTALLATION METHODS, AND TESTING SHALL CONFORM TO MUNICIPALITY STANDARDS AND REQUIREMENTS. THE CONTRACTOR SHALL COORDINATE INSPECTIONS BY THE MUNICIPALITY WHEN REQUIRED.
- WATER:
 - WATER WILL BE SUPPLIED TO THE PROJECT FROM FRAMINGHAM VIA A NEW WATER MAIN TO BE INSTALLED IN COOLIDGE STREET.
 - WATER MAINS AND SERVICES SHALL BE INSTALLED WITH A MINIMUM 5' OF COVER EXCEPT AS NOTED OR DETAILED OTHERWISE.
 - NO WATER SERVICE PIPES SHALL BE LAID IN THE SAME TRENCH WITH GAS PIPES, SEWER PIPE OR ANY OTHER FACILITY OF A PUBLIC SERVICE COMPANY, OR WITHIN THREE FEET OF ANY OPEN EXCAVATION OR VAULT.
- WATER PIPE SIZES AND MATERIALS:
 - INCOMING WATER MAIN FROM FRAMINGHAM TO ON-SITE WATER BOOSTER STATION SHALL BE 12". ON-SITE WATER MAINS DOWNSTREAM OF BOOSTER STATION SHALL BE 8", ALL WATER MAINS SHALL BE CLASS 52 CLD.
 - FOR DETACHED UNITS AND TOWNHOME BUILDINGS CONTAINING 2 UNITS, EACH DWELLING UNIT SHALL BE SERVICED BY A 1" DOMESTIC WATER SERVICE.
- SEWER:
 - WASTEWATER FROM THE PROJECT WILL BE DIRECTED TO Natick VIA A FORCE MAIN TO BE INSTALLED IN COOLIDGE STREET.
 - SEWER SHALL BE ENCASED IN CONCRETE IF THE SEWER IS PLACED WITHIN 10" (HORIZONTALLY) OF A WATER LINE AND THE SEWER IS EITHER ABOVE OR WITHIN 18" BELOW THE WATER LINE.
- SEWER PIPE SIZES AND MATERIALS:
 - FOR DETACHED UNITS AND TOWNHOME BUILDINGS CONTAINING 2 UNITS, EACH DWELLING UNIT SHALL BE SERVICED BY A 4" SDR-35 SEWER PIPE LAID AT A MINIMUM SLOPE OF 0.02"/' TO A COMMON SEWER PUMP SERVING TWO ADJACENT DWELLING UNITS. THE SEWER PUMP WILL DISCHARGE TO A COMMON FORCE MAIN, WHICH WILL DISCHARGE TO Natick VIA A COMMON FORCE MAIN TO BE INSTALLED IN COOLIDGE STREET.
 - FORCE MAIN SHALL BE SDR-11 HDPE, SIZING TBC.
 - THE MEADOWBROOK COMMONS SEWER SYSTEM DESIGN, INCLUDING PUMP STATION SELECTION AND FORCE MAIN SIZING, SHALL ACCOUNT FOR THE ADJACING COOLIDGE CROSSING PUMP STATION AND SHALL BE DESIGNED TO MEET THE APPLICABLE STANDARDS OF THE APPROVING AUTHORITY (TOWN OF Natick).
- THE CONTRACTOR, ON BEHALF OF THE DEVELOPER, SHALL SUBMIT UTILITY AS-BUILT PLANS IN PAPER AND PDF FORMAT INCLUDING SWING TIRES FOR SEWER AND WATER TO THE TOWN ENGINEERING DEPARTMENT.
- THE CONTRACTOR SHALL COORDINATE ALL PROPOSED GAS, ELECTRIC, TELEPHONE, AND CABLE UTILITY WORK WITH THE RESPECTIVE UTILITY COMPANIES. THE PROPOSED CONNECTION LOCATIONS AND DETAILS PROVIDED HEREIN ARE FOR REPRESENTATION PURPOSES ONLY. FINAL CONNECTION POINTS AND DETAILS SHALL BE AS DETERMINED AND REQUIRED BY THE UTILITY COMPANIES.
- TRANSFORMERS AND ASSOCIATED PROTECTIVE BOLLARDS SHALL BE PAINTED DARK GREEN IN COLOR. PAD SIZE AS DETERMINED BY UTILITY COMPANY.
- SITE LIGHTING INSTALLATION CONTRACTOR SHALL BE RESPONSIBLE FOR RUNNING THE WIRING INTO THE NEAREST BUILDING OR DESIGNATED METER LOCATION.
- GAS MAIN AND SERVICE SIZING SHALL BE AS DETERMINED BY THE UTILITY COMPANY.
- DUKE ENERGY WILL BE RESPONSIBLE FOR PROVIDING THE GAS CONNECTIONS TO THE BUILDING.
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- DUKE ENERGY WILL BE RESPONSIBLE FOR PROVIDING THE TELEPHONE CONNECTIONS TO THE BUILDING.
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- DUKE ENERGY WILL BE RESPONSIBLE FOR PROVIDING THE TELEPHONE CONNECTIONS TO THE BUILDING.
- DUKE ENERGY WILL BE RESPONS



NOT FOR CONSTRUCTION

CDG PROJECT #:		
REVISIONS:		
REV	DATE	COMMENT
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9		
10		

PLANNING BOARD:



MATTHEW A. LEIDNER, P.E.

PREPARED BY:
CIVIL DESIGN GROUP, LLC

21 HIGH STREET, SUITE 207
NORTH ANDOVER, MA 01845
www.cdgengineering.com
p: 978-794-5400 f: 978-965-3971

PREPARED FOR:
Pulte HOMES
115 FLANDERS ROAD
SUITE 200
WESTBOROUGH, MA 01581
www.pulte.com

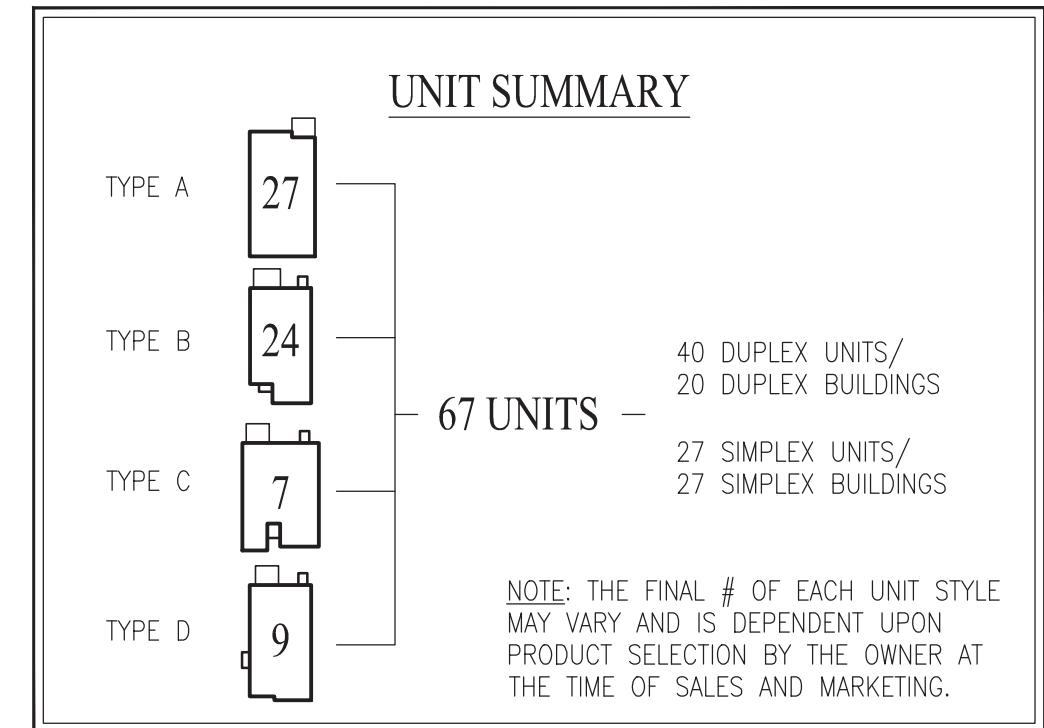
PROJECT:
MEADOWBROOK COMMONS
84 & 104 COOLIDGE STREET
SHERBORN, MASSACHUSETTS

SCALE:
80 0 40 80 160
GRAPHIC SCALE IN FEET

SHEET:
DEMOLITION & EROSION CONTROL PLAN

3

DATE: 07/29/2021



ZONING INFORMATION

ZONING DISTRICT(S):	RESIDENCE EA	
OVERLAY DISTRICT(S):	NONE	
REQUIRED	PROVIDED	
MIN. TRACT AREA	6 ACRES	25.2± ACRES
MIN. AGE RESTRICTION	55+	55+
MIN. AFFORDABILITY	10%	10% (7 UNITS)
MAX. DENSITY	4 UNITS/ACRE	2.7 UNITS/ACRE
MIN. FRONT YARD SETBACK	100'	730'±
MIN. SIDE YARD SETBACK	60'	61'
MIN. REAR YARD SETBACK	60'	61'
MIN. FRONTAGE	50'	150'
MIN. LOT DEPTH	300'	1,200'
MAX. BEDROOMS/DWELLING	3	2
MAX. DWELLINGS/BUILDING	8	2
MAX. BUILDING HEIGHT	2.5 STY / 35'	<2.5 STY / 35'
MAX. FLOOR AREA	149,930 SF 136,300 SF (TOWN MEETING) + 13,630 SF (10% ALLOWANCE)	<149,930± SF *
MIN. OPEN SPACE	50% OF LOT AREA (12.6 ACRES) (EXCLUDING 30' FROM DWELLINGS)	56% OF LOT AREA (14.0 ACRES) (EXCLUDING 30' FROM DWELLINGS)
MAX. MATERIAL REMOVAL	24K CUBIC YARDS 500 CY/STRUCTURE x 48 CY/DEMOLITION 24K CY EXPORT	5K CUBIC YARDS 50K CY CUT - 450 CY ELL - 5K CY EXPORT
MIN. # OF PARKING SPACES	101 SPACES 1.5 SP./DWELLING x 67 DWELLINGS	278 SPACES • 134 GARAGE SPACES • 144 SURFACE SPACES (4 SP./DWELLING x 67 DWELLINGS + 10 CLUBHOUSE/GUEST SPACES)

* NOTE: THE APPROXIMATE FLOOR AREA AS CURRENTLY DEPICTED ON THIS PLAN IS 145,465± SF CONSISTING OF 143,913± SF (DWELLINGS) + 1,552± SF (CLUBHOUSE). IN NO CASE SHALL THE MAXIMUM FLOOR AREA EXCEED 149,930 SF.



NOT FOR CONSTRUCTION

CDG PROJECT #:	19001	
REVISIONS:		
REV	DATE	COMMENT
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8		
9		
10		

PLANNING BOARD:

SEAL:

MATTHEW A. LEIDNER
CIVIL
PROFESSIONAL ENGINEER
No. 45641

MATTHEW A. LEIDNER, P.E.

PREPARED BY:
CIVIL DESIGN GROUP, LLC

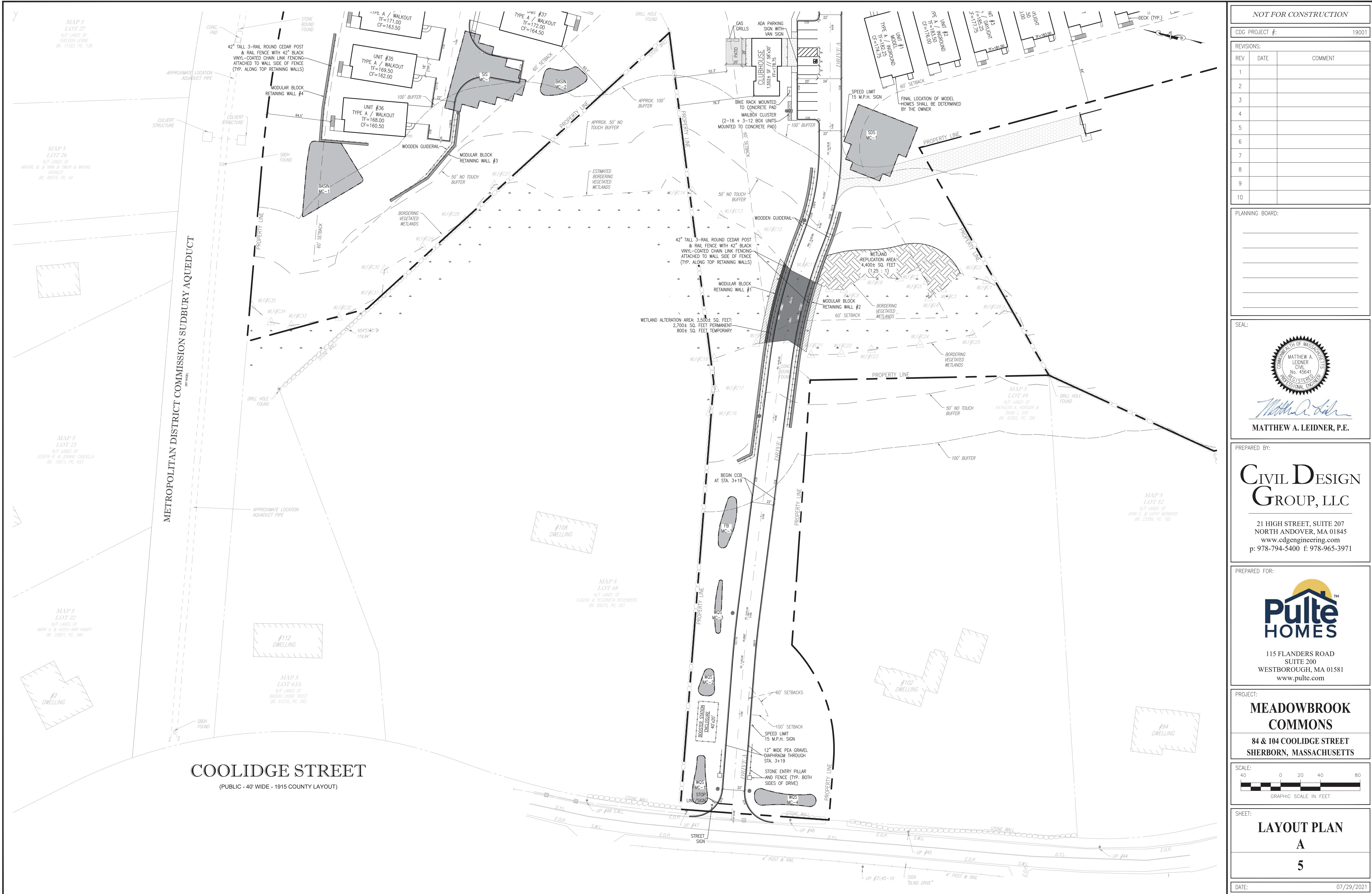
21 HIGH STREET, SUITE 207
NORTH ANDOVER, MA 01845
www.cdgengineering.com
p: 978-794-5400 f: 978-965-3971

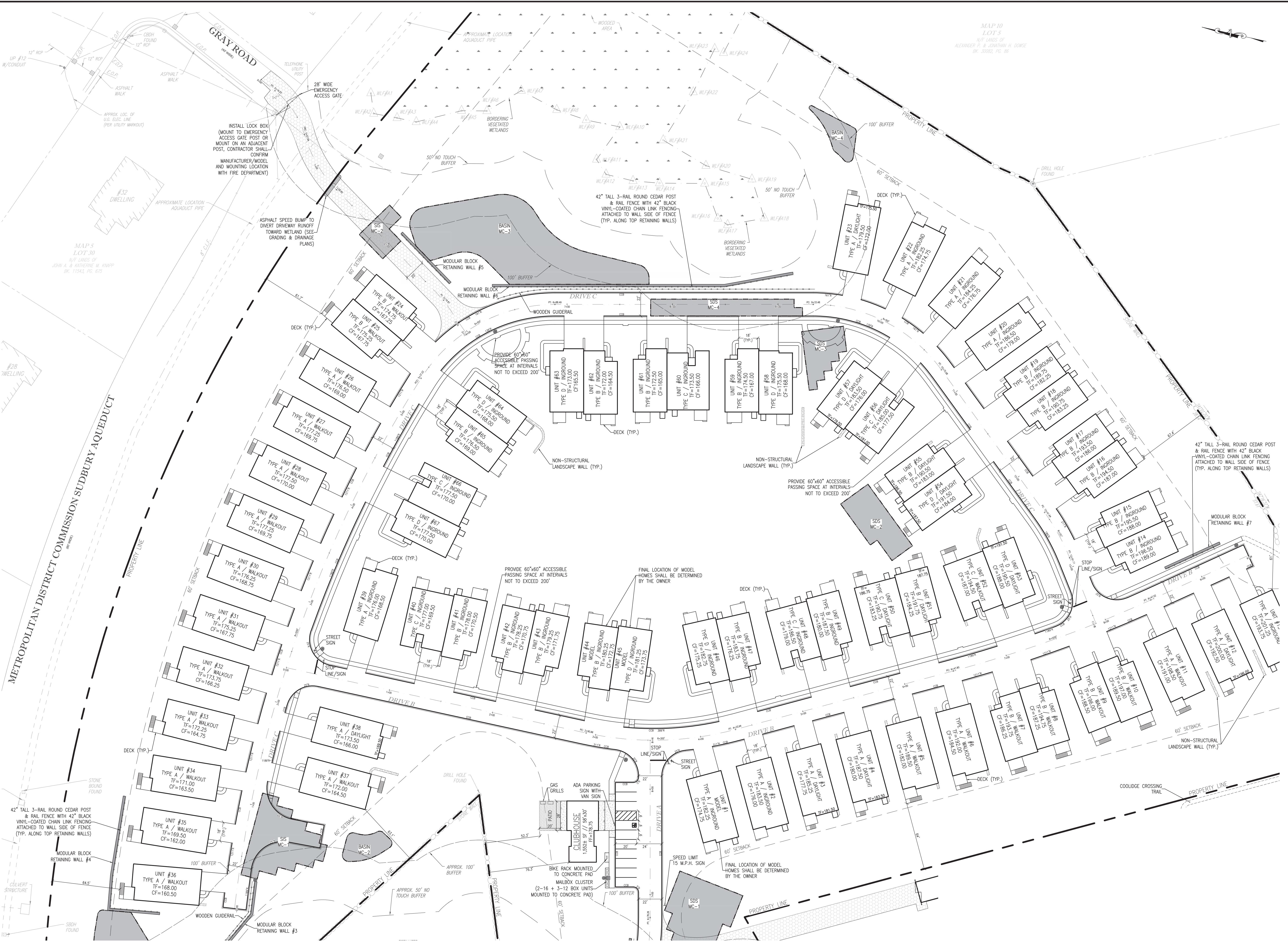
PREPARED FOR:
Pulte HOMES
115 FLANDERS ROAD
SUITE 200
WESTBOROUGH, MA 01581
www.pulte.com

PROJECT:
MEADOWBROOK COMMONS
84 & 104 COOLIDGE STREET
SHERBORN, MASSACHUSETTS

SCALE:
100 0 50 100 200
GRAPHIC SCALE IN FEET

SHEET:
OVERALL LAYOUT PLAN







NOT FOR CONSTRUCTION		
DG PROJECT #:		19001
REVISIONS:		
REV	DATE	COMMENT
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PLANNING BOARD:

The image shows a circular registration seal for a professional engineer. The outer ring of the seal contains the text "COMMONWEALTH OF MASSACHUSETTS" at the top and "REGISTERED PROFESSIONAL ENGINEER" at the bottom. The inner circle contains the name "MATTHEW A. LEIDNER", the title "CIVIL", and the registration number "No. 45641". Below the seal is a handwritten signature of "Matthew A. Leidner".

REARED BY:

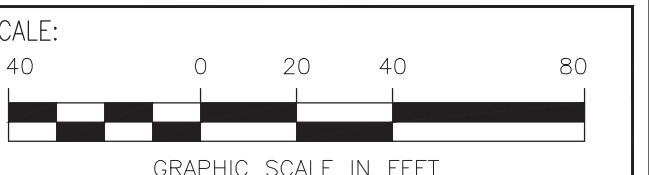
**CIVIL DESIGN
GROUP, LLC**

21 HIGH STREET, SUITE 207
NORTH ANDOVER, MA 01845
www.cdgengineering.com
p: 978-794-5400 f: 978-965-3971

The logo for Pulte Homes is displayed. It features a large, stylized house roof in dark blue with a white outline. A bright yellow sun is positioned behind the roof. Below the roof, the word "Pulte" is written in a large, bold, dark blue sans-serif font. A small "TM" symbol is located in the top right corner of the "e". Below "Pulte", the word "HOMES" is written in a slightly smaller, bold, dark blue sans-serif font. The entire logo is set against a white background.

PROJECT: **MEADOWBROOK
COMMONS**

**84 & 104 COOLIDGE STREET
SHERBORN, MASSACHUSETTS**

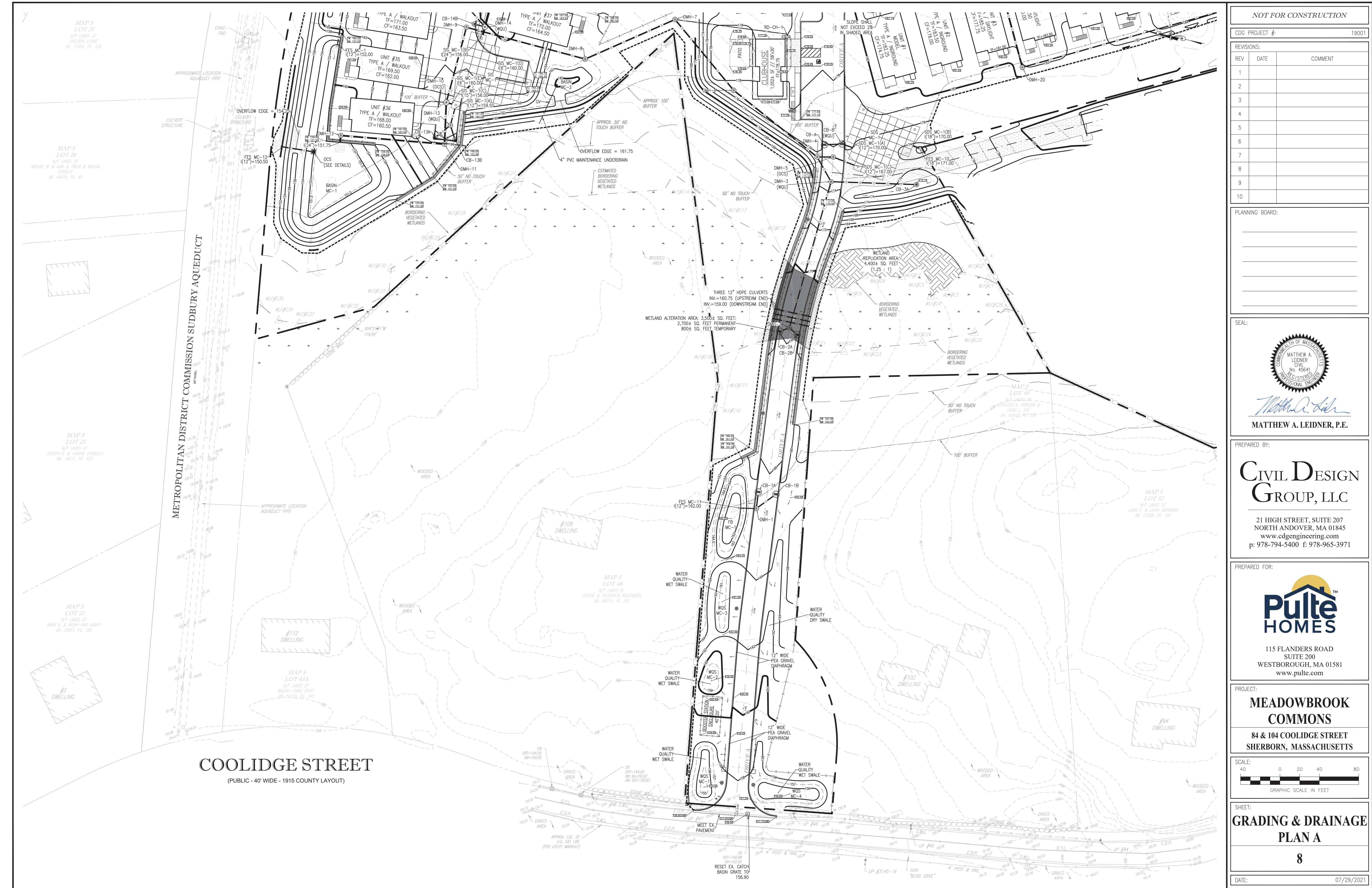


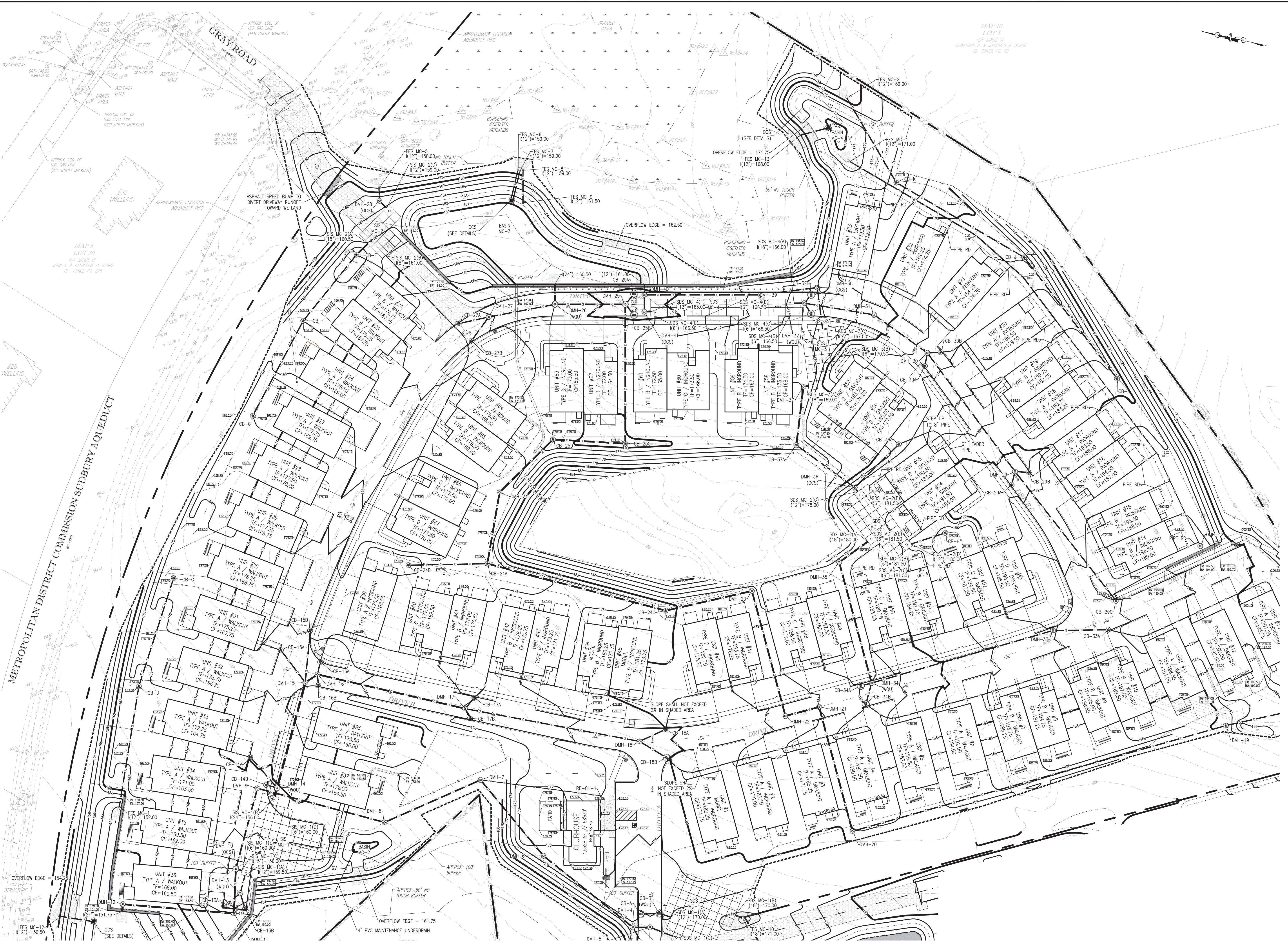
HEET:

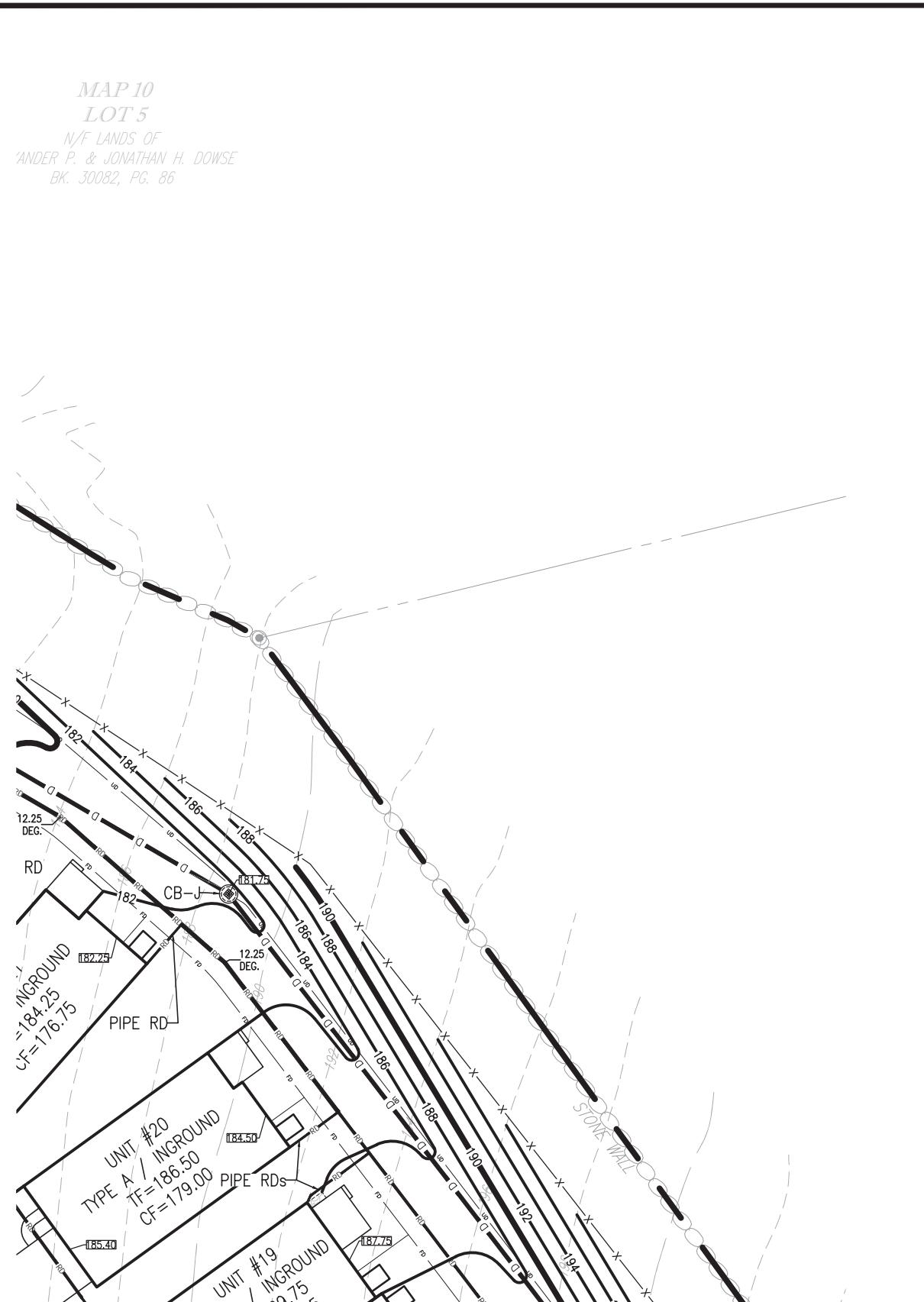
AYOUT PLAN

C

7







CATCH BASIN SCHEDULE			
NAME	DIA.	GRATE	INV. (OUT)
CB-1A	60"	165.53	162.50 (12", DMH-1)
CB-1B	60"	165.53	162.50 (12", DMH-1)
CB-2A	60"	168.02	165.00 (12", DMH-2)
CB-2B	60"	168.02	165.00 (12", DMH-2)
CB-3A	48"	173.75	170.75 (12", DMH-3)
CB-3A	48"	173.75	170.75 (12", DMH-3)
CB-3A	48"	183.04	180.00 (12", DMH-30)
CB-13A	48"	165.81	161.80 (12", DMH-13)
CB-30B	48"	183.04	180.00 (12", DMH-30)
CB-32A	60"	175.23	167.50 (12", DMH-32)
CB-32B	60"	175.23	167.50 (12", DMH-32)
CB-14A	48"	170.08	161.00 (12", DMH-14)
CB-14B	48"	169.41	158.50 (12", DMH-14)
CB-15A	48"	173.22	170.20 (12", DMH-15)
CB-15B	48"	174.03	171.00 (12", DMH-15)
CB-16A	48"	172.75	169.75 (12", DMH-16)
CB-16B	48"	173.02	169.75 (12", DMH-16)
CB-17A	48"	175.97	172.95 (12", DMH-17)
CB-17B	48"	175.97	172.95 (12", DMH-17)
CB-18A	48"	179.70	176.70 (12", DMH-18)
CB-18B	60"	179.60	176.60 (12", DMH-18)
CB-24A	48"	174.00	169.15 (12", DMH-24)
CB-24B	48"	173.25	170.25 (12", CB-24A)
CB-24C	48"	179.00	174.50 (12", CB-24A)
CB-25A	60"	169.63	166.60 (12", DMH-25)
CB-25B	60"	169.63	166.60 (12", DMH-25)
CB-25C	48"	169.00	165.50 (12", DMH-25)
CB-25D	48"	170.00	166.50 (12", CB-25C)
CB-27A	48"	172.43	169.40 (12", DMH-27)

CATCH BASIN SCHEDULE			
NAME	DIA.	GRATE	INV. (OUT)
CB-27B	48"	172.43	169.40 (12", DMH-27)
CB-29A	48"	191.17	188.15 (12", DMH-29)
CB-29B	48"	191.17	188.15 (12", DMH-29)
CB-29C	48"	195.65	192.65 (12", DMH-29)
CB-30A	48"	183.04	180.00 (12", DMH-30)
CB-30B	48"	183.04	180.00 (12", DMH-30)
CB-32A	60"	175.23	167.50 (12", DMH-32)
CB-32B	60"	175.23	167.50 (12", DMH-32)
CB-14A	48"	170.08	161.00 (12", DMH-14)
CB-14B	48"	169.41	158.50 (12", DMH-14)
CB-15A	48"	173.22	170.20 (12", DMH-15)
CB-15B	48"	174.03	171.00 (12", DMH-15)
CB-16A	48"	172.75	169.75 (12", DMH-16)
CB-16B	48"	173.02	169.75 (12", DMH-16)
CB-17A	48"	175.97	172.95 (12", DMH-17)
CB-17B	48"	175.97	172.95 (12", DMH-17)
CB-18A	48"	179.70	176.70 (12", DMH-18)
CB-18B	60"	179.60	176.60 (12", DMH-18)
CB-24A	48"	174.00	169.15 (12", DMH-24)
CB-24B	48"	173.25	170.25 (12", CB-24A)
CB-24C	48"	179.00	174.50 (12", CB-24A)
CB-25A	60"	169.63	166.60 (12", DMH-25)
CB-25B	60"	169.63	166.60 (12", DMH-25)
CB-25C	48"	169.00	165.50 (12", DMH-25)
CB-25D	48"	170.00	166.50 (12", CB-25C)
CB-27A	48"	172.43	169.40 (12", DMH-27)

DRAIN MANHOLE SCHEDULE			
NAME	DIA.	RIM	INV. (IN)
DMH-1	48"	165.27	162.25 (12", CB-1A)
DMH-1	48"	165.27	162.25 (12", CB-1B)
DMH-2	48"	168.31	164.85 (12", CB-2A)
DMH-2	48"	168.31	164.85 (12", CB-2B)
DMH-3	48"	174.51	163.85 (12", DMH-2)
DMH-3	48"	174.51	164.85 (12", CB-3A)
DMH-4	48"	175.60	163.60 (12", DMH-3)
DMH-4	48"	175.60	166.50 (12", DMH-5)
DMH-5	48"	175.60	167.00 (12", SDS MC-1(C))
DMH-6	48"	169.69	162.80 (15", DMH-4)
DMH-7	48"	168.96	162.20 (15", DMH-6)
DMH-8	48"	164.22	159.00 (15", DMH-7)
DMH-9	48"	169.41	158.25 (15", DMH-8)
DMH-10	60"	167.03	156.55 (15", DMH-9)
DMH-11	48"	162.04	155.15 (18", DMH-10)
DMH-12	48"	159.00	152.90 (18", DMH-11)
DMH-13	48"	166.36	161.00 (12", CB-13A)
DMH-14	60"	168.44	158.00 (12", CB-14B)
DMH-15	48"	172.70	169.70 (12", CB-15B)

DRAIN MANHOLE SCHEDULE			
NAME	DIA.	RIM	INV. (IN)
DMH-16	48"	173.16	169.50 (12", CB-16A)
DMH-17	48"	176.00	172.70 (12", DMH-18)
DMH-17	48"	176.00	172.70 (12", CB-17A)
DMH-18	48"	179.37	176.35 (12", CB-18B)
DMH-19	48"	191.25	188.00 (12", FES MC-3)
DMH-20	48"	181.90	178.50 (18", DMH-21)
DMH-21	48"	184.07	177.35 (18", DMH-20)
DMH-22	48"	182.69	176.90 (18", DMH-21)
DMH-23	48"	181.75	175.55 (18", DMH-22)
DMH-24	48"	175.00	168.45 (18", CB-24A)
DMH-25	60"	169.84	164.15 (18", CB-25C)
DMH-26	60"	170.83	166.25 (12", CB-25B)
DMH-27	48"	172.08	169.10 (12", CB-27A)
DMH-28	48"	164.19	159.00 (12", SIS MC-2(C))
DMH-29	48"	190.98	187.00 (12", CB-29C)
DMH-30	48"	182.77	179.40 (12", CB-30B)

DRAIN MANHOLE SCHEDULE			
NAME	DIA.	RIM	INV. (IN)
DMH-31	48"	179.01	175.60 (12", DMH-30)
DMH-32	48"	175.00	167.00 (12", CB-32B)
DMH-33	48"	193.88	190.85 (12", CB-33A)
DMH-34	48"	186.56	182.55 (12", CB-34B)
DMH-35	48"	185.00	180.85 (18", DMH-34)
DMH-36	48"	184.00	178.00 (12", SDS MC-2(G))
DMH-37	48"	174.20	169.15 (18", CB-37A)
DMH-38	48"	175.90	167.00 (12", SDS MC-3(C))
DMH-39	48"	172.52	165.90 (12", DMH-38)
DMH-40	48"	169.67	163.50 (12", DMH-39)
DMH-41	48"	169.71	161.50 (12", SDS MC-4(F))
DMH-42	48"	194.20	191.20 (12", FES MC-4)

NOT FOR CONSTRUCTION

CDG PROJECT #: 19001

REVISIONS:

REV	DATE	COMMENT
1		
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8		
9		
10		

PLANNING BOARD:

SEAL:

MATTHEW A. LEIDNER, CIVIL, REGISTERED ENGINEER, No. 45641

Matthew A. Leidner

MATTHEW A. LEIDNER, P.E.

PREPARED BY: CIVIL DESIGN GROUP, LLC

21 HIGH STREET, SUITE 207
NORTH ANDOVER, MA 01845
www.cdgengineering.com
p: 978-794-5400 f: 978-965-3971

PREPARED FOR: Pulte HOMES

115 FLANDERS ROAD SUITE 200 WESTBOROUGH, MA 01581
www.pulte.com

PROJECT: MEADOWBROOK COMMONS
84 & 104 COOLIDGE STREET SHERBORN, MASSACHUSETTS

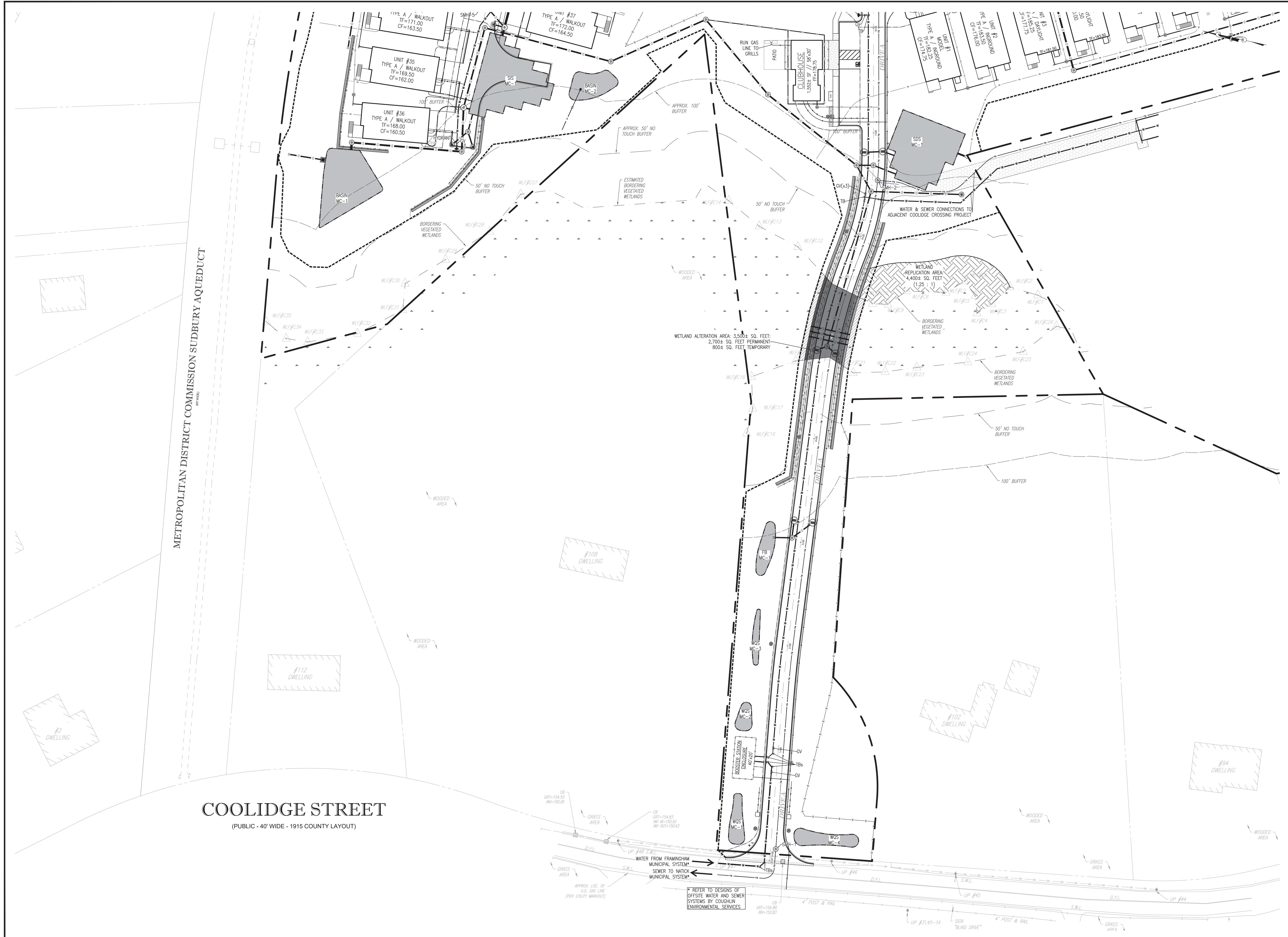
SCALE: 40 0 20 40 80
GRAPHIC SCALE IN FEET

<p

COOLIDGE STREET

(PUBLIC - 40' WIDE - 1915 COUNTY LAYOUT)

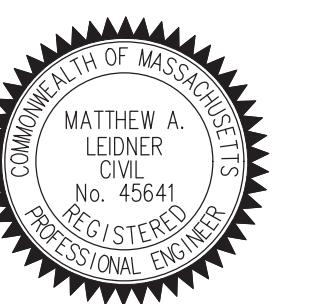
METROPOLITAN DISTRICT COMMISSION SUDBURY AQUEDUCT
(80' WIDE)



NOT FOR CONSTRUCTION

PROJECT #: 190

NING BOARD:



Matthew A. Leidner
MATTHEW A. LEIDNER, P.E.

CIVIL DESIGN GROUP, LLC

21 HIGH STREET, SUITE 207
NORTH ANDOVER, MA 01845
www.cdgengineering.com
p: 978-794-5400 f: 978-965-3971

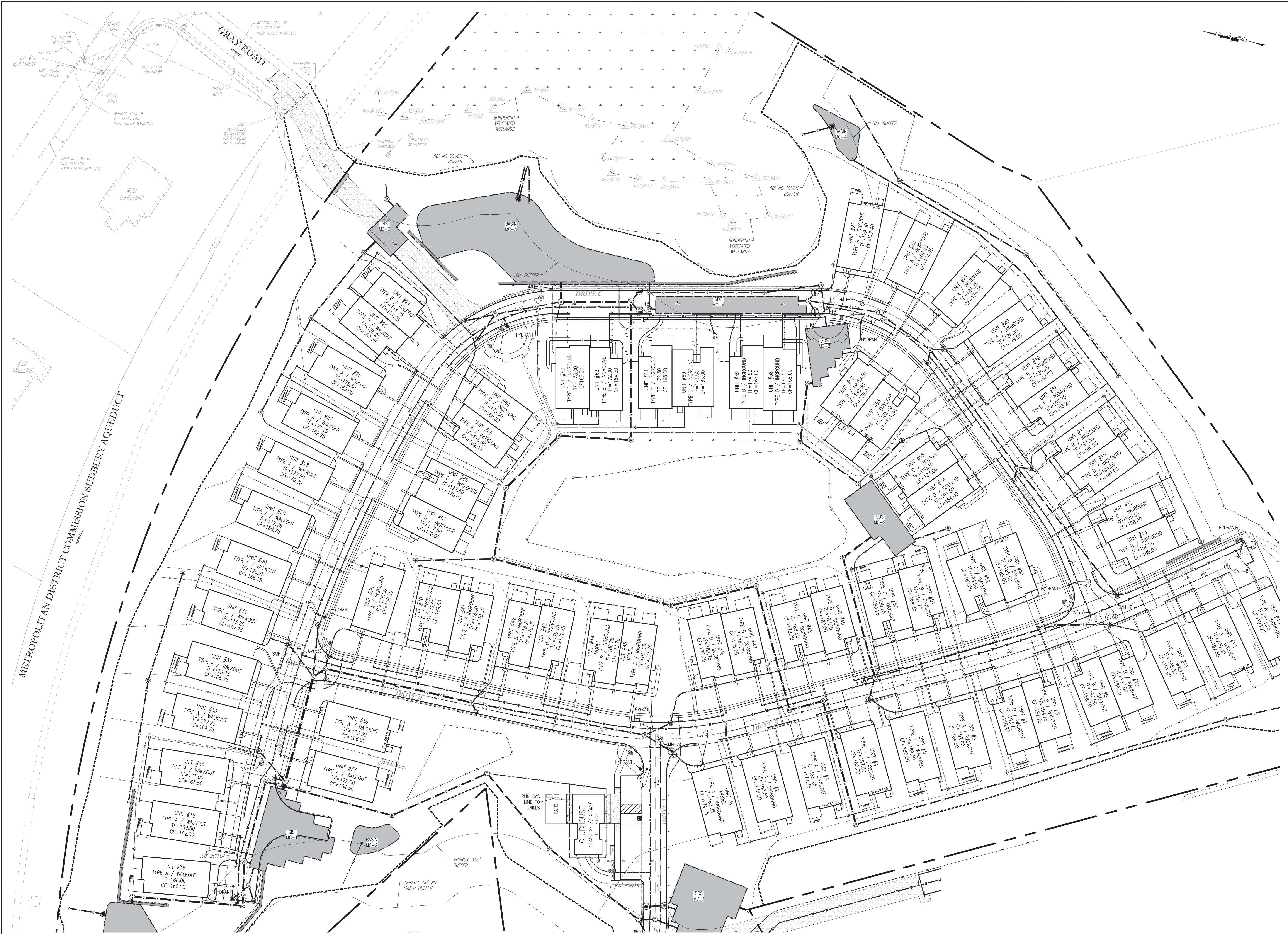
ECT:

MEADOWBROOK COMMONS

84 & 104 COOLIDGE STREET
SHERBORN, MASSACHUSETTS

A horizontal scale bar with numerical markings at 0, 20, 40, and 80. The segments between the markings are of equal length, representing 20 feet each. The scale is labeled "GRAPHIC SCALE IN FEET" at the bottom.

UTILITY PLAN A



NOT FOR CONSTRUCTION

PROJECT #: 19001

WORKING BOARD:

100

Matthew A. Leidner
MATTHEW A. LEIDNER P.E.

CIVIL DESIGN GROUP, LLC

21 HIGH STREET, SUITE 207
NORTH ANDOVER, MA 01845
www.cdgengineering.com
: 978-794-5400 f: 978-965-3971

The logo for Pulte Homes. It features a stylized house roof in dark blue with a yellow sun graphic rising behind it. The word "Pulte" is written in a large, bold, dark blue sans-serif font, with the "P" and "u" stacked vertically. Below "Pulte" is the word "HOMES" in a slightly smaller, bold, dark blue sans-serif font. A small "TM" symbol is located in the top right corner of the logo area.

MEADOWBROOK COMMONS

84 & 104 COOLIDGE STREET
HERBORN, MASSACHUSETTS

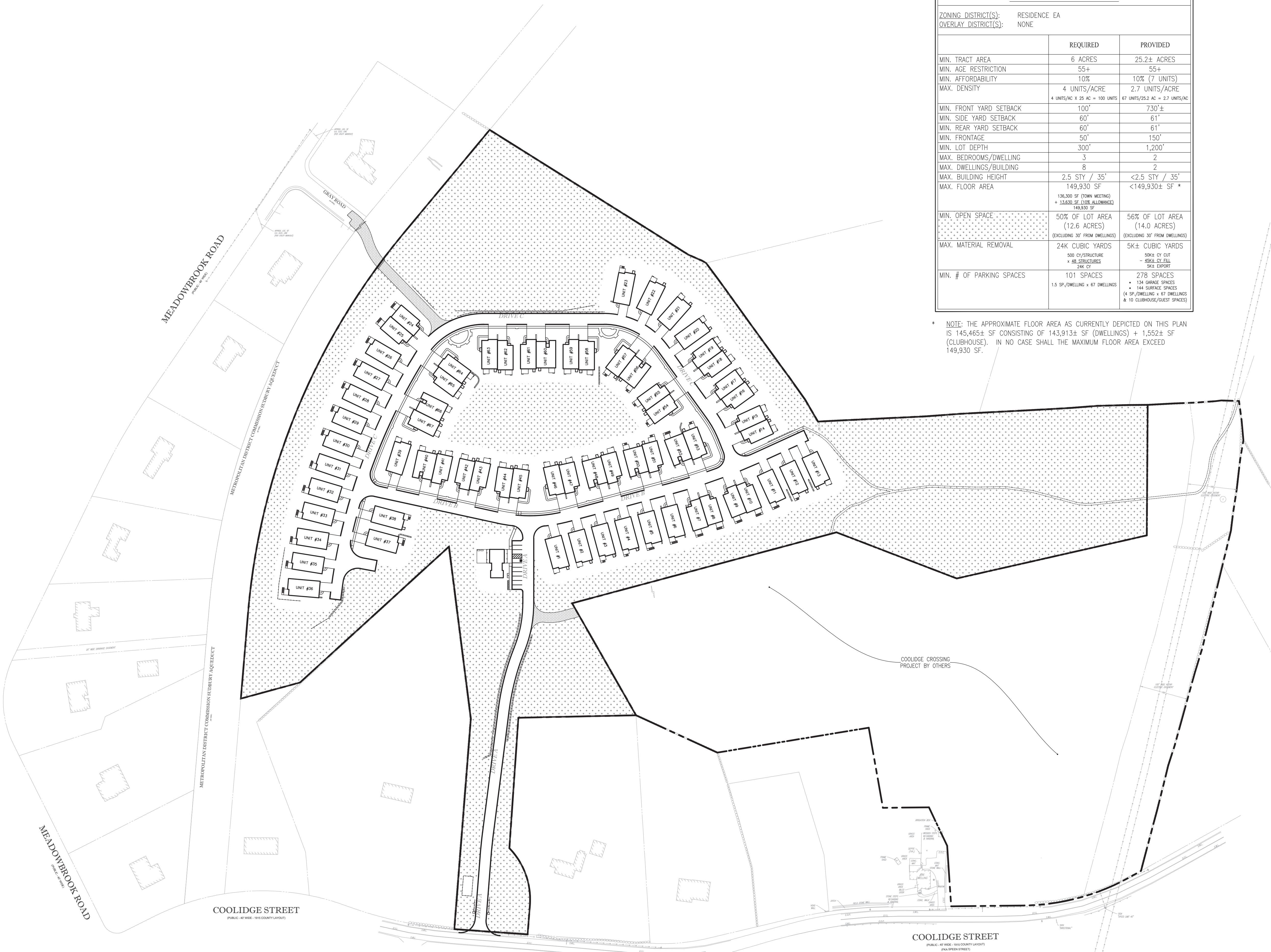
0 20 40 80

UTILITY PLAN

12

07/29/20





ZONING INFORMATION		
ZONING DISTRICT(S):	RESIDENCE EA	
OVERLAY DISTRICT(S):	NONE	
	REQUIRED	PROVIDED
MIN. TRACT AREA	6 ACRES	25.2± ACRES
MIN. AGE RESTRICTION	55+	55+
MIN. AFFORDABILITY	10%	10% (7 UNITS)
MAX. DENSITY	4 UNITS/ACRE	2.7 UNITS/ACRE
	$4 \text{ UNITS/AC} \times 25 \text{ AC} = 100 \text{ UNITS}$	$67 \text{ UNITS}/25.2 \text{ AC} = 2.7 \text{ UNITS/AC}$
MIN. FRONT YARD SETBACK	100'	730'±
MIN. SIDE YARD SETBACK	60'	61'
MIN. REAR YARD SETBACK	60'	61'
MIN. FRONTAGE	50'	150'
MIN. LOT DEPTH	300'	1,200'
MAX. BEDROOMS/DWELLING	3	2
MAX. DWELLINGS/BUILDING	8	2
MAX. BUILDING HEIGHT	2.5 STY / 35'	<2.5 STY / 35'
MAX. FLOOR AREA	149,930 SF	<149,930± SF *
	156,300 SF (TOWN MEETING) + 1,552 SF (CLUBHOUSE) 145,465 SF	
MIN. OPEN SPACE	50% OF LOT AREA (12.6 ACRES)	56% OF LOT AREA (14.0 ACRES) (EXCLUDING 30' FROM DWELLINGS)
MAX. MATERIAL REMOVAL	24K CUBIC YARDS 500 CY/STRUCTURE + 48 STRUCTURES 24K CY	5K± CUBIC YARDS 50K± CY CUT - 45K± CY FILL 5K± EXPORT
MIN. # OF PARKING SPACES	101 SPACES 1.5 SP./DWELLING x 67 DWELLINGS	278 SPACES 134 GUEST SPACES 144 SURFACE SPACES (4 SP./DWELLING x 67 DWELLINGS & 10 CLUBHOUSE/GUEST SPACES)

* NOTE: THE APPROXIMATE FLOOR AREA AS CURRENTLY DEPICTED ON THIS PLAN IS 145,465± SF CONSISTING OF 143,913± SF (DWELLINGS) + 1,552± SF (CLUBHOUSE). IN NO CASE SHALL THE MAXIMUM FLOOR AREA EXCEED 149,930 SF.

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CDG PROJECT #: 19001		
REVISIONS:		
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PLANNING BOARD:

SEAL:

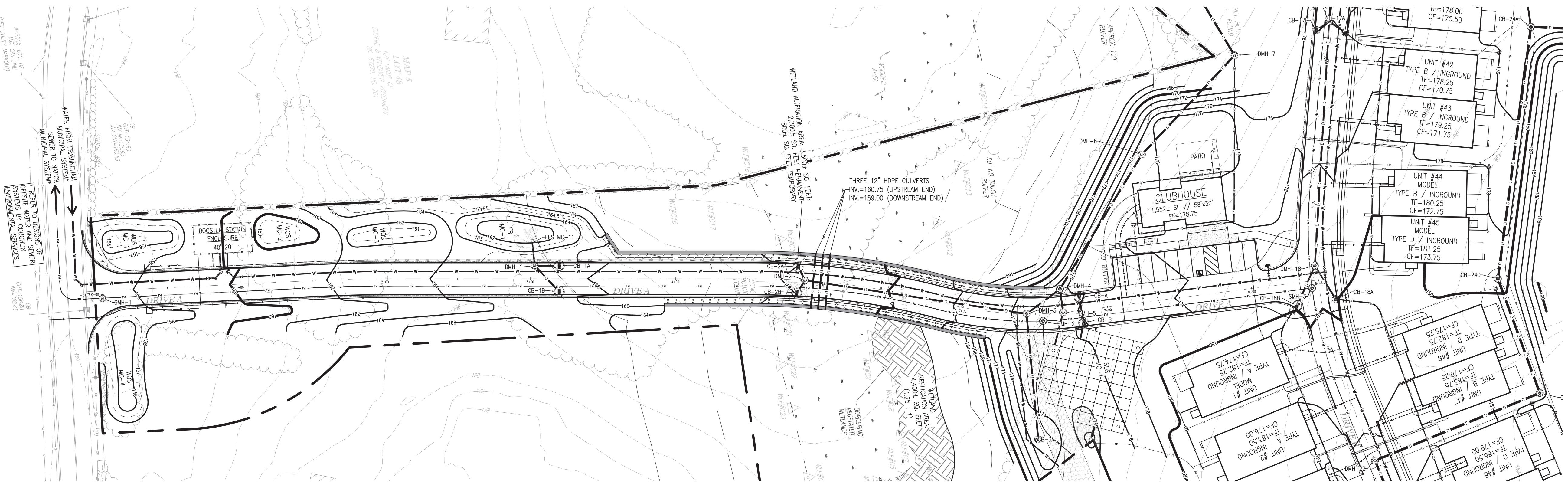
MATTHEW A. LEIDNER, P.E.

PREPARED BY:
CIVIL DESIGN GROUP, LLC
21 HIGH STREET, SUITE 207
NORTH ANDOVER, MA 01845
www.cdgengineering.com
p: 978-794-5400 f: 978-965-3971

PREPARED FOR:
Pulte HOMES
115 FLANDERS ROAD
SUITE 200
WESTBOROUGH, MA 01581
www.pulte.com

PROJECT:
MEADOWBROOK COMMONS
84 & 104 COOLIDGE STREET
SHERBORN, MASSACHUSETTS
SCALE:
100 0 50 100 200
GRAPHIC SCALE IN FEET

SHEET:
OPEN SPACE PLAN
14
DATE: 07/29/2021



GRADE BREAK STA = -0+06.82
ELEV = 157.00

MEET COOLIDGE STREET

DESIGNS OF WATER AND SEWER COUGHLIN & SERVICES

WATER TO NATICK MUNICIPAL SYSTEM*

FROM NASHUA MUNICIPAL SYSTEM*

12" C.L.D.I. WATER MAIN 5' MIN COVER

8" WATER MAIN FROM BOOSTER STATION

12" WATER MAIN TO BOOSTER STATION

EXISTING GRADE AT CENTERLINE

PROPOSED GRADE AT CENTERLINE

PVI STA/ELEV: 2+46.68/164.61
K: 83.33
LVC: 125.00

PVI STA/ELEV: 5+30.41/168.86
K: 35.71
LVC: 125.00

PVI STA/ELEV: 6+91.11/176.90
K: 41.67
LVC: 125.00

BVCS: 1+84.18
BVCE: 162.73

EVCS: 3+09.18
EVCE: 165.54

BVCS: 4+67.91
BVCE: 167.92

EVCS: 5+92.91
EVCE: 171.99

BVCS: 6+28.61
BVCE: 173.77

EVCS: 7+53.61
EVCE: 178.15

GRADE BREAK STA = 8+25.37
ELEV = 179.58

GRADE BREAK STA = 8+46.37
ELEV = 179.60

12" CORRUGATED HDPE PIPE
30 LF // 0.8%

8" C.L.D.I. WATER MAIN 5' MIN COVER

TO HYDRANT

TEE INTO SEWER FM IN DRIVE B

TO SDS MC-1(C)

TO DMH-4

TO COOLIDGE CROSSING

FROM SDS MC-1(C)

CB-A TO CB-B

CB-B TO SDS MC-1(A)

CB-2A
CB-2B
DMH-2

CB-1A
CB-1B

DMH-3
DMH-4
DMH-5
CB-A
CB-B

THREE (3) 12" HDPE CULVERTS

MEET EMERGENCY ACCESS DRIVE

TO FES MC-11

12" CORRUGATED HDPE PIPE
10 LF // 1.4%

12" CORRUGATED HDPE PIPE
154 LF // 0.6%

12" CORRUGATED HDPE PIPE
29 LF // 0.5%

12" CORRUGATED HDPE PIPE
25 LF // 1.0%

12" CORRUGATED HDPE PIPE
17 LF // 1.5%

12" CORRUGATED HDPE PIPE
166.15
164.44
163.19
162.8
161.3
160.20
159.8
158.70
157.20
156.3
155.6
154.8
154.0
153.2
152.5
151.8
151.0
150.2
149.5
148.8
148.0
147.3
146.6
145.9
145.2
144.5
143.8
143.1
142.4
141.7
141.0
140.3
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1.8
1.1
0.4
-0.5

PROFILE: DRIVE A STA -0+07 THROUGH 8+46

HORIZONTAL SCALE: 1" = 40', VERTICAL SCALE: 1" = 40'

NG BOARD:

A circular professional seal for Matthew A. Leidner, P.E. The outer ring contains the text "COMMONWEALTH OF MASSACHUSETTS" at the top and "REGISTERED PROFESSIONAL ENGINEER" at the bottom, both in a serif font. The inner circle contains "MATTHEW A. LEIDNER" on the top two lines, "CIVIL" on the third line, and "No. 45641" on the bottom line, all in a serif font.

ED BY:
**CIVIL DESIGN
GROUP, LLC**

21 HIGH STREET, SUITE 207
NORTH ANDOVER, MA 01845
www.cdgengineering.com
: 978-794-5400 f: 978-965-3971

T:

MEADOWBROOK COMMONS

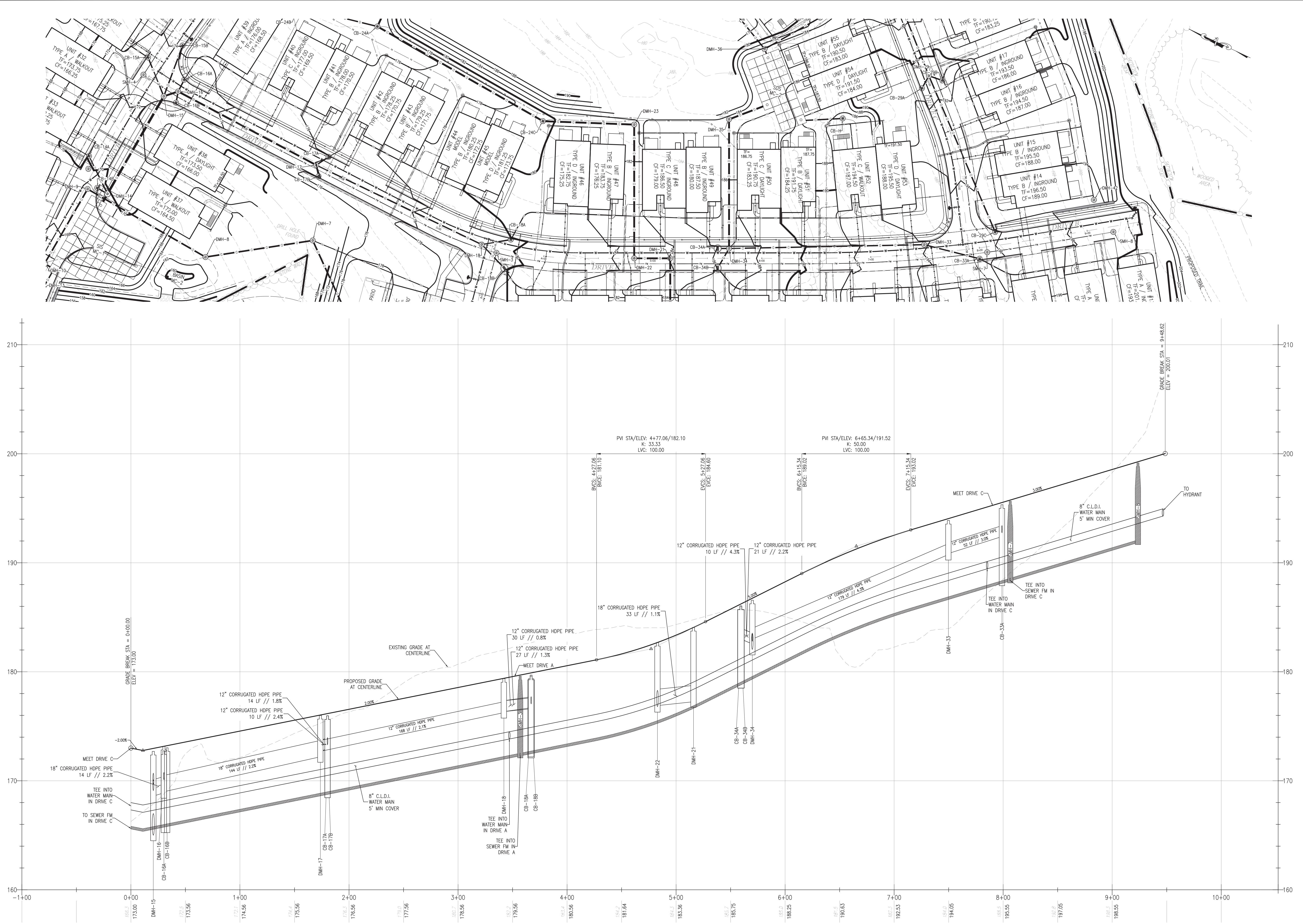
A horizontal graphic scale for the EFFT test. It features a series of black and white squares of increasing size from left to right, representing a scale from 0 to 80. Above the squares, the numbers 0, 20, 40, and 80 are printed. Below the squares, the text 'GRAPHIC SCALE IN EFFT' is written in capital letters.

For more information, contact the Office of the Vice President for Research and Economic Development at 319-273-2500 or research@uiowa.edu.

PLAN & PROFILE

15

07/29/2021



PROFILE: DRIVE B STA 0+00 THROUGH 9+49

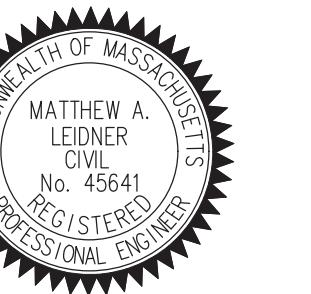
HORIZONTAL SCALE: 1" = 40', VERTICAL SCALE: 1" = 40'

NOT FOR CONSTRUCTION

PROJECT #: 19001

BOARD:

For more information, contact the Office of the Vice President for Research and Economic Development at 319-273-2500 or research@uiowa.edu.



Matthew A. Leidner
MATTHEW A. LEIDNER, P.E.

ED BY:
**CIVIL DESIGN
GROUP, LLC**

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www.cdgengineering.com
: 978-794-5400 f: 978-965-3971

The logo for Pulte Homes. It features a stylized house roof in dark blue with a yellow sun rising behind it. Below the roof, the word "Pulte" is written in a large, bold, dark blue sans-serif font. A smaller "HOMES" is stacked below it in a slightly smaller but also bold font. A trademark symbol (TM) is located in the top right corner of the "HOMES" text.

T:

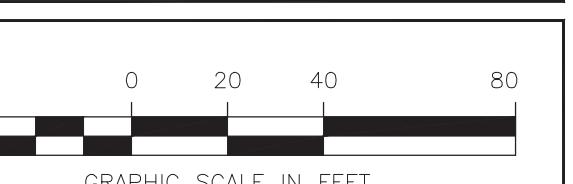
MEADOWBROOK COMMONS



115 FLANDERS ROAD
SUITE 200
WESTBOROUGH, MA 01581
www.culto.com

T:

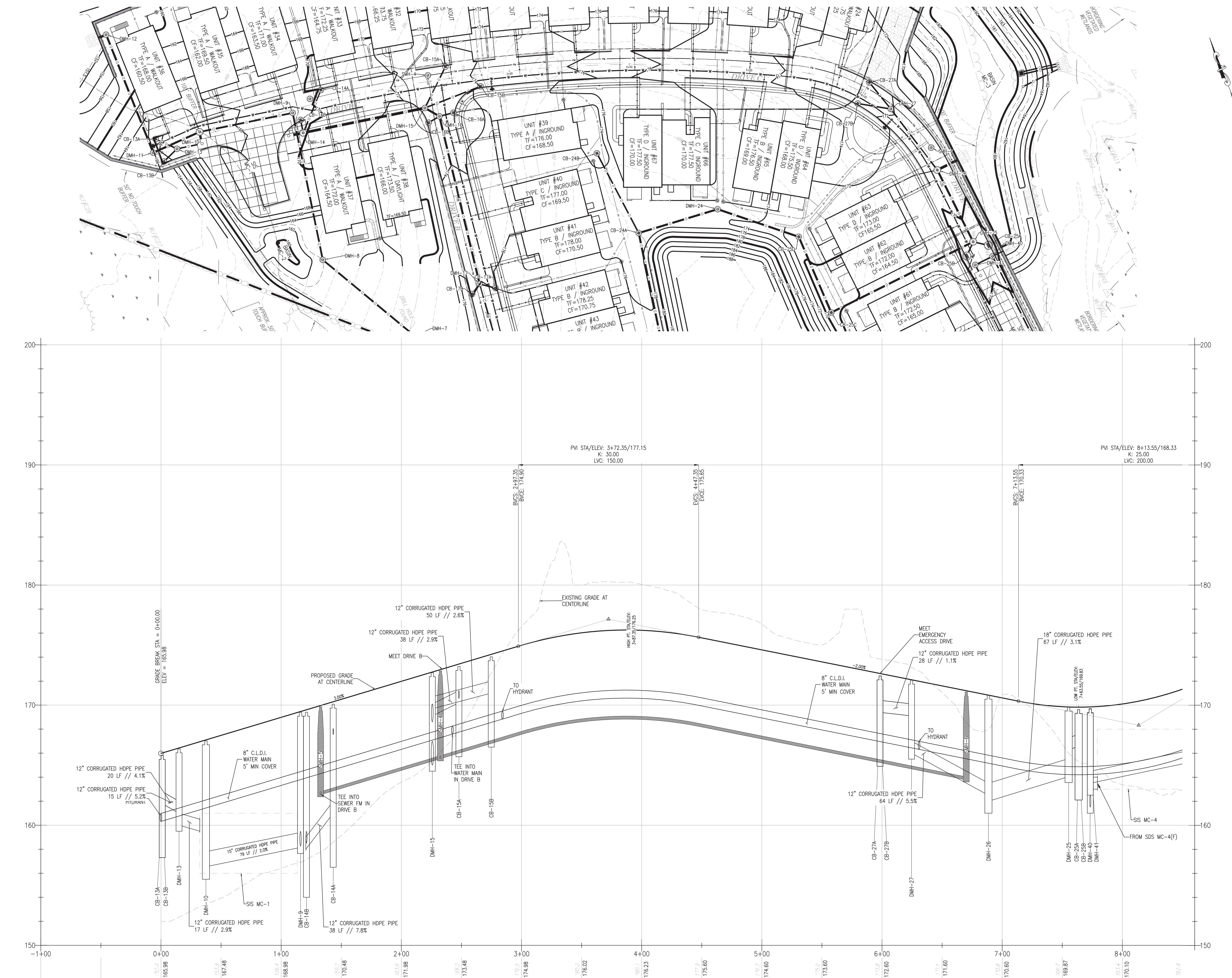
MEADOWBROOK COMMONS



PLAN & PROFILE

16

07/29/2021



PROFILE: DRIVE C STA 0+00 THROUGH 8+00

HORIZONTAL SCALE: 1" = 40', VERTICAL SCALE: 1" = 40'

NOT FOR CONSTRUCTION

19001

BOARD:

A circular seal for a registered professional engineer. The outer ring contains the text "COMMONWEALTH OF MASSACHUSETTS" at the top and "REGISTERED PROFESSIONAL ENGINEER" at the bottom, with "MASSACHUSETTS" partially cut off on the right. The inner circle contains "MATTHEW A. LEIDNER" on top, "CIVIL" in the middle, and "No. 45641" at the bottom.

MATTHEW A. LEIDNER, P.E.

CIVIL DESIGN GROUP, LLC

21 HIGH STREET, SUITE 207
NORTH ANDOVER, MA 01845
www.cdgengineering.com
(978) 794-5400 f: (978) 965-3971

T:

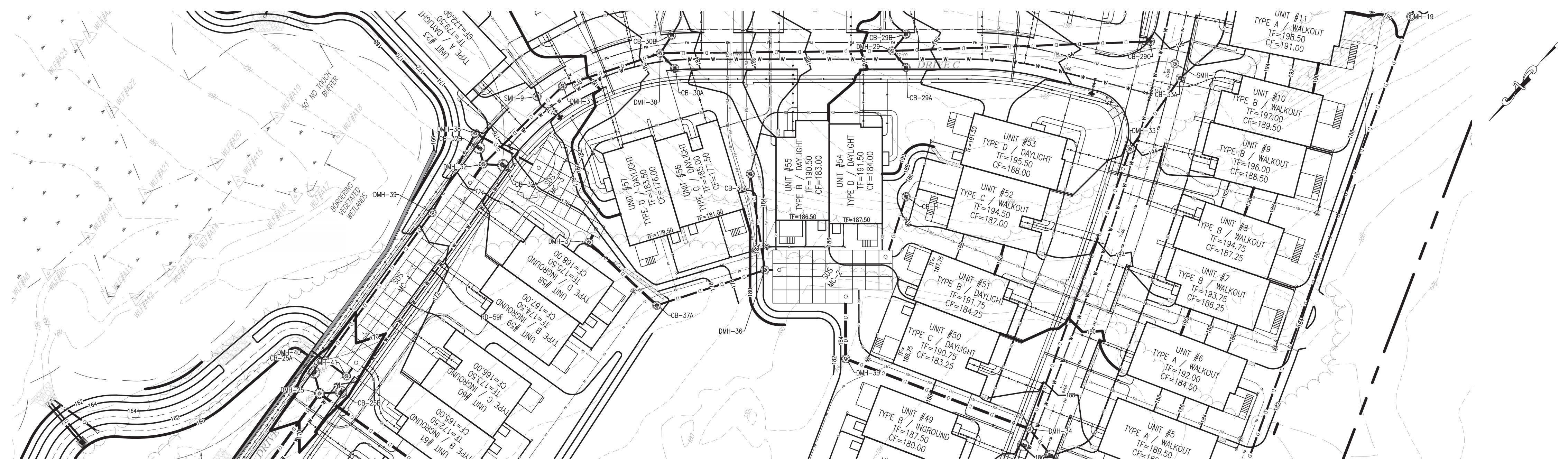
MEADOWBROOK COMMONS

A horizontal graphic scale with a white background. It features a series of black and white squares at the left end, followed by a continuous black bar. Above the scale, the numbers 0, 20, 40, and 80 are printed in black. Below the scale, the text "GRAPHIC SCALE IN FEET" is printed in black capital letters.

PLAN & PROFILE

17

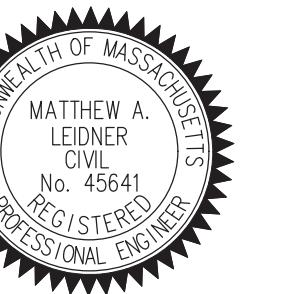
07/29/2021



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WORKING BOARD:

100



Matthew A. Leipner

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21 HIGH STREET, SUITE 207
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: 978-794-5400 f: 978-965-3971

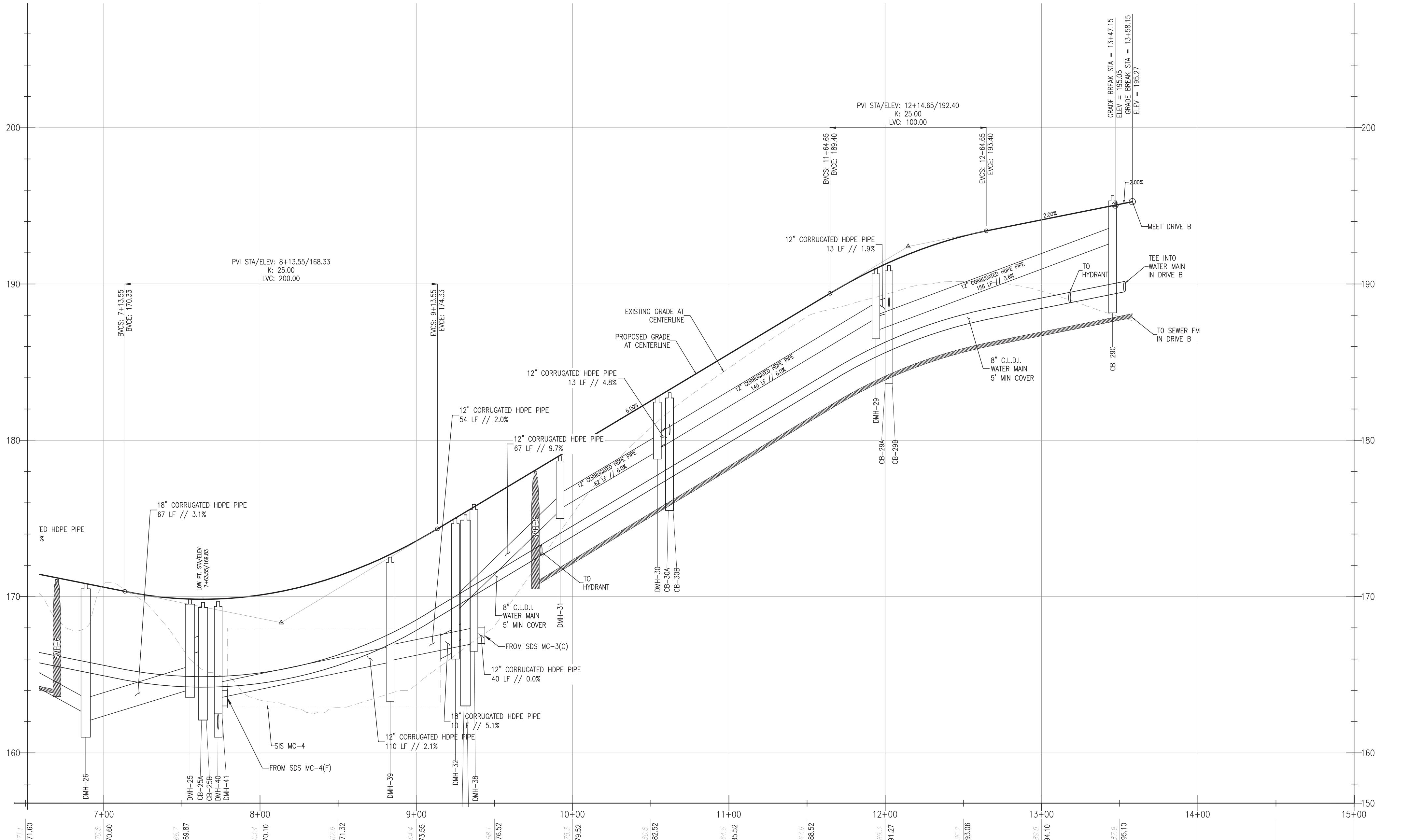
ED. FOR:



115 FLANDERS ROAD
SUITE 200
WESTBOROUGH, MA 01581
www.culto.com

MEADOWBROOK COMMONS

**84 & 104 COOLIDGE STREET
HERBORN, MASSACHUSETTS**



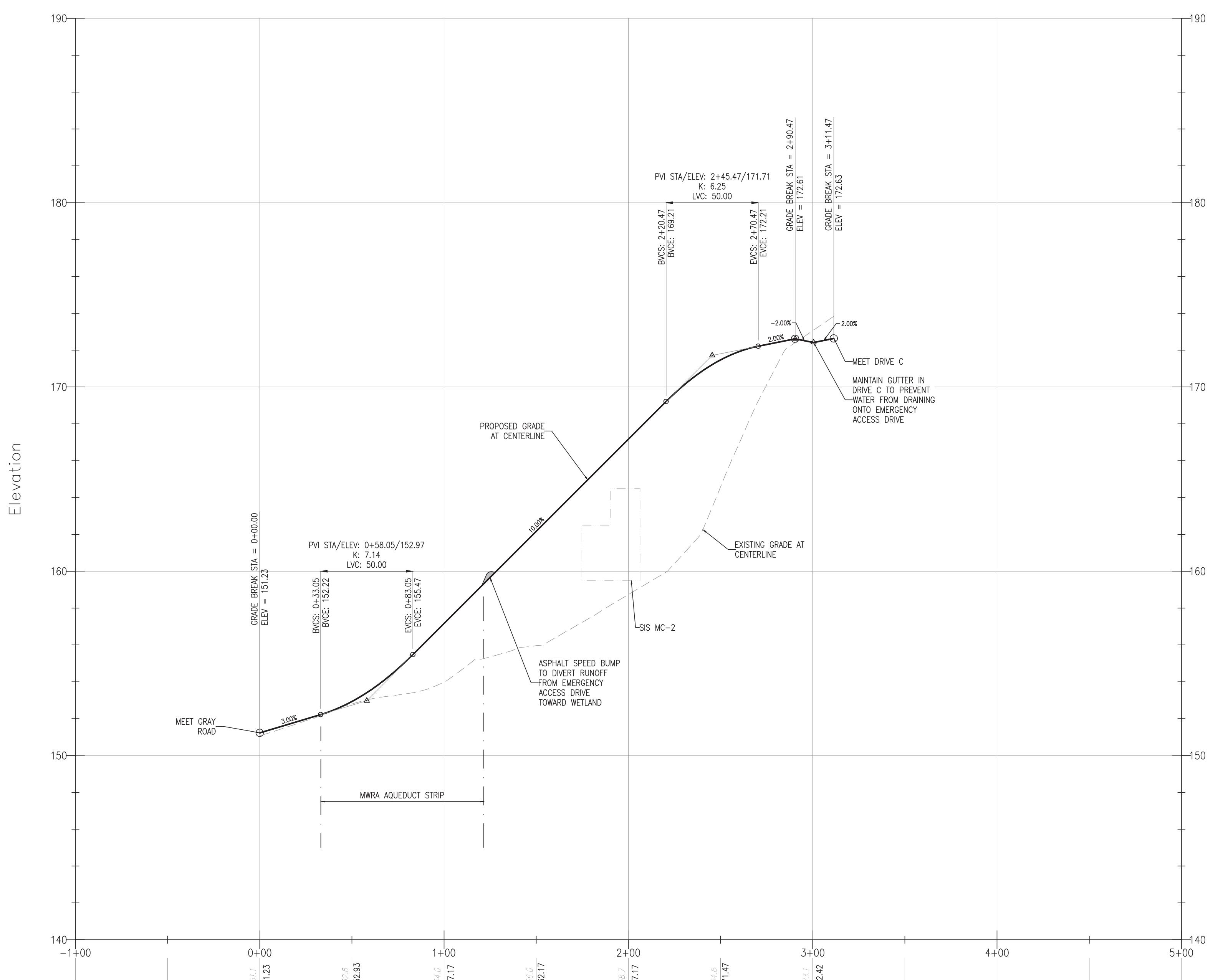
PROFILE: DRIVE C STA 7+00 THROUGH 13+58

HORIZONTAL SCALE: 1" = 40', VERTICAL SCALE: 1" = 40'

18

Page 10

07/29/2021



PROFILE: EMERGENCY ACCESS DRIVE STA 0+00 THROUGH 3+11

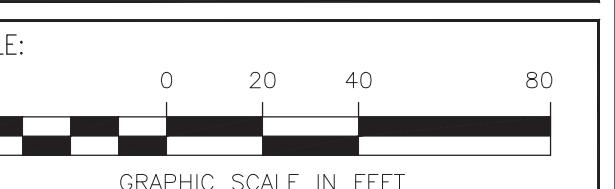
HORIZONTAL SCALE: 1" = 40', VERTICAL SCALE: 1" = 40'

PARDED BY:

CIVIL DESIGN GROUP, LLC

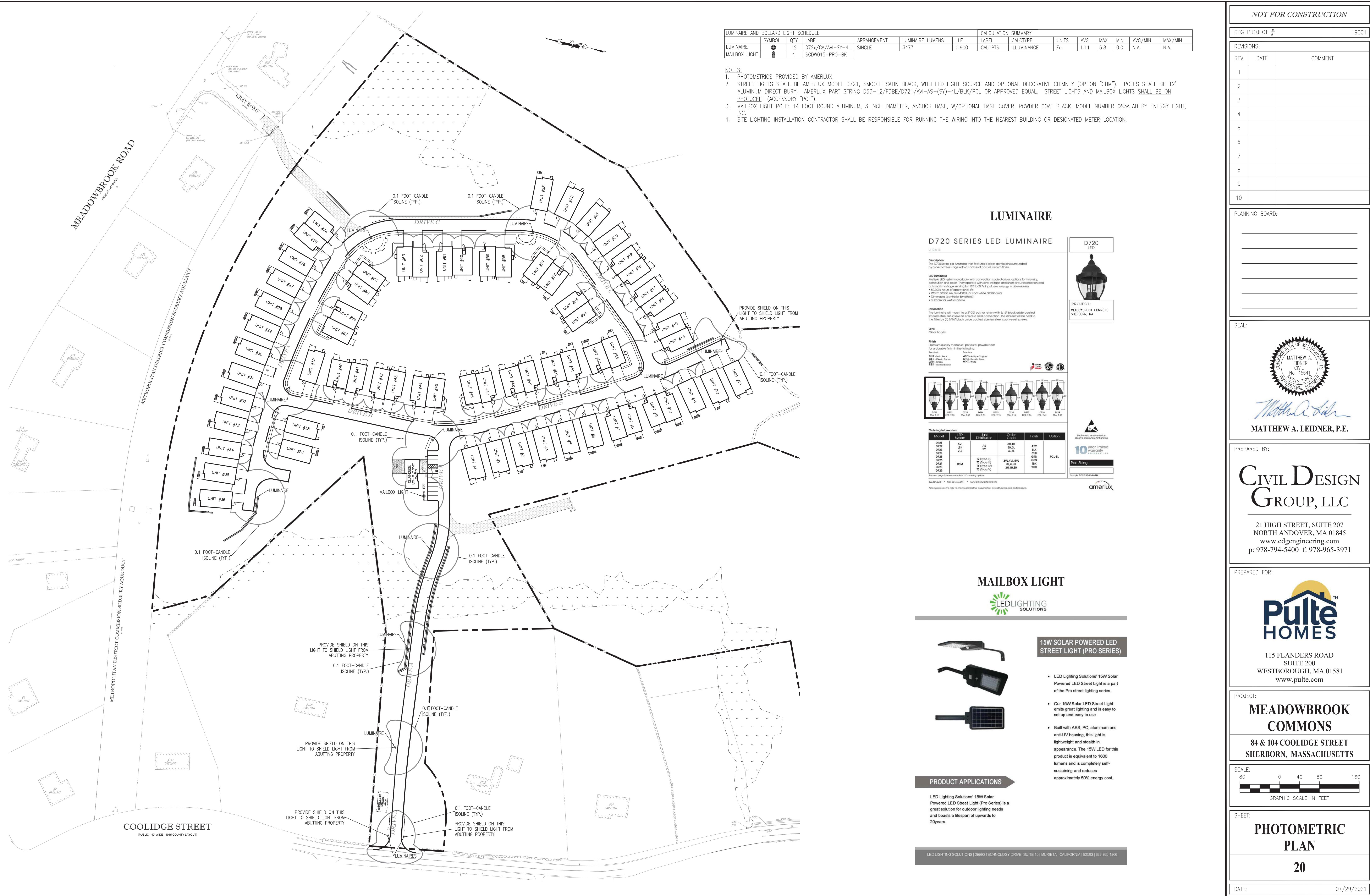
The image contains the Pulte Homes logo, which consists of a stylized house roof in dark blue with a yellow sun graphic behind it. The word "Pulte" is written in a large, bold, dark blue sans-serif font, with "HOMES" in a slightly smaller font below it. A trademark symbol (TM) is located to the right of the "e". Below the logo, the address "115 FLANDERS ROAD" is on the first line, "SUITE 200" on the second line, and "WESTBOROUGH, MA 01581" on the third line. At the bottom, the website "www.pulte.com" is written in a smaller, dark blue sans-serif font.

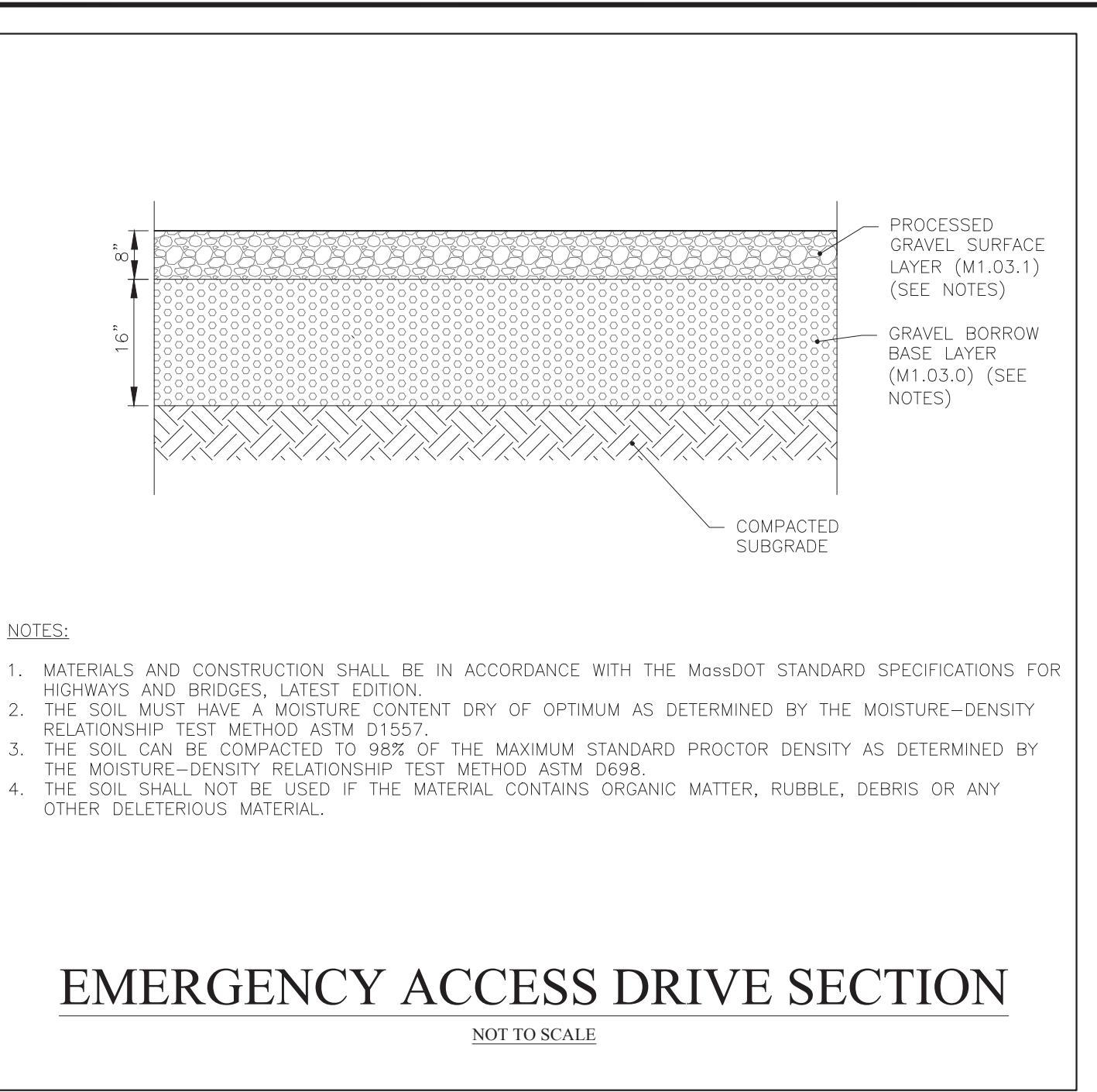
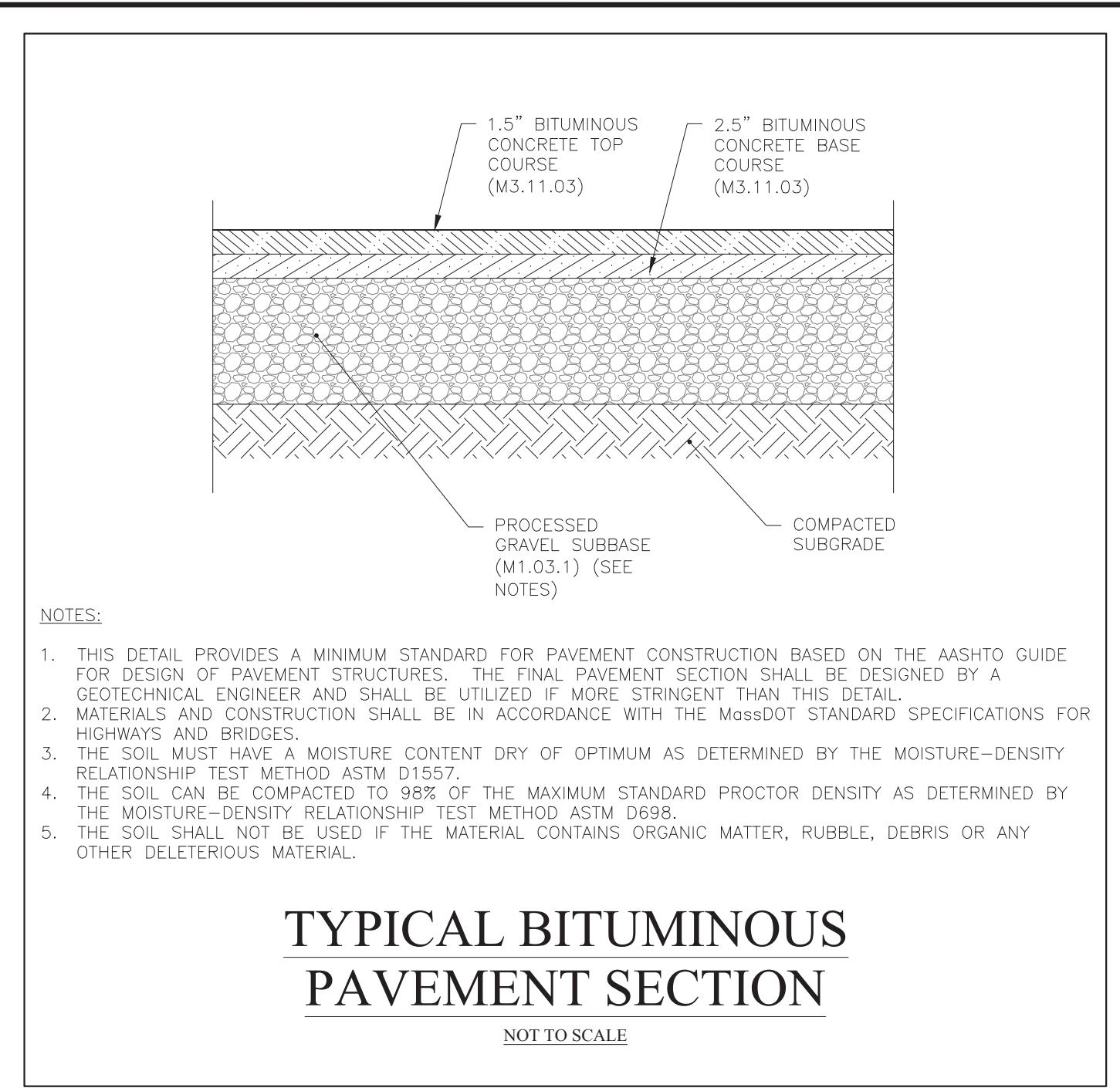
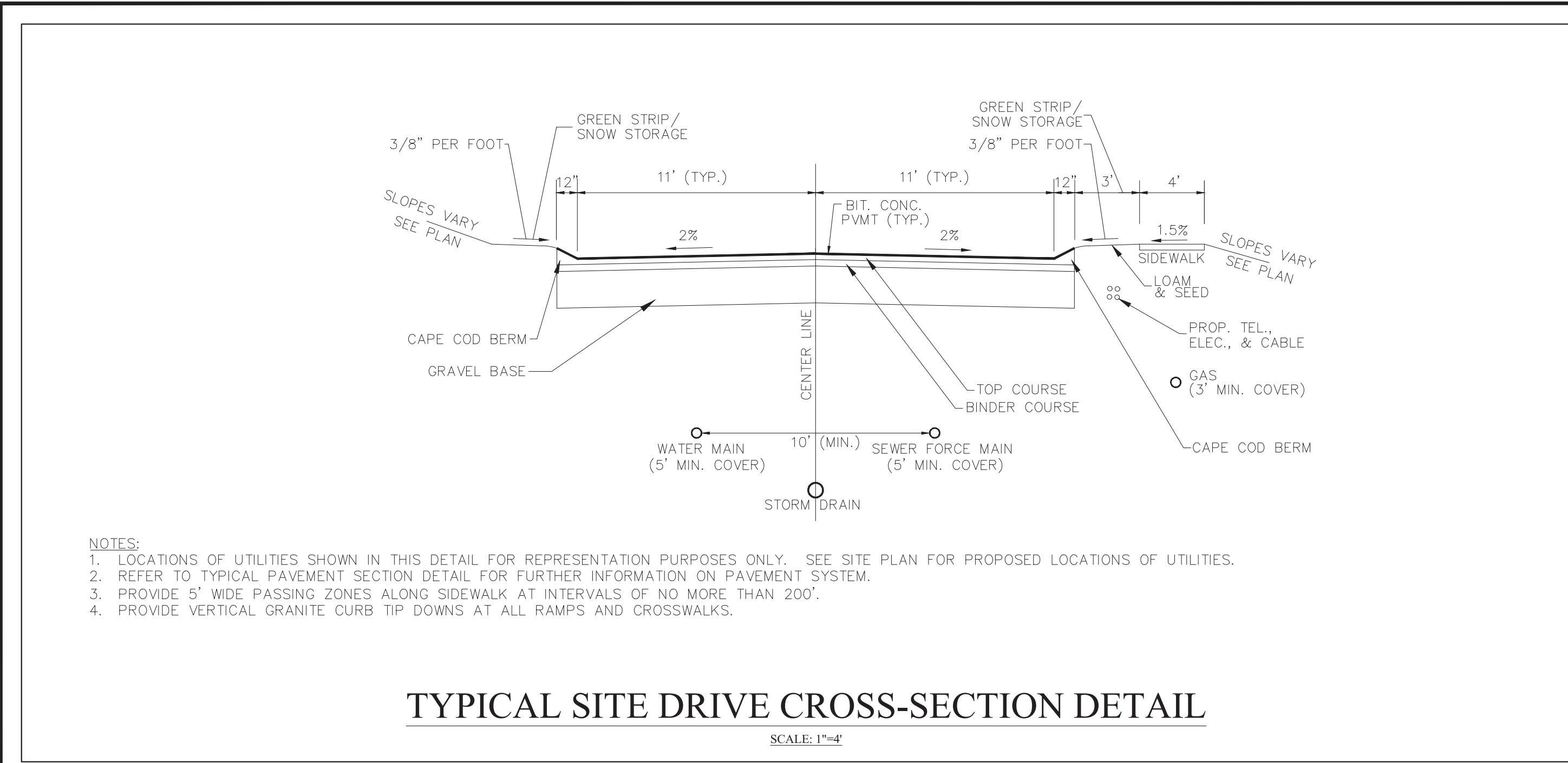
JECT:
**MEADOWBROOK
COMMONS**
84 & 104 COOLIDGE STREET



PLAN & PROFILE

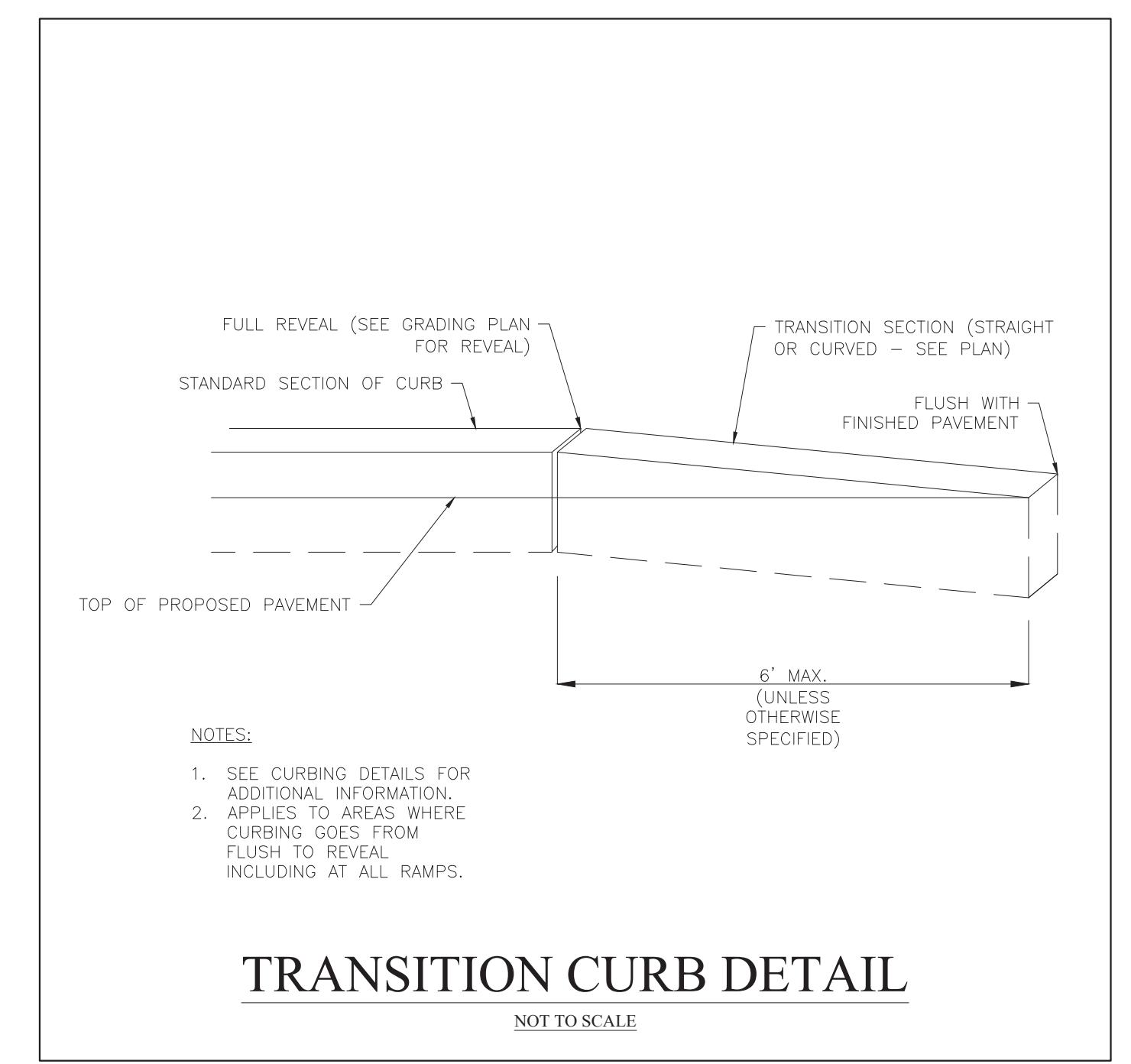
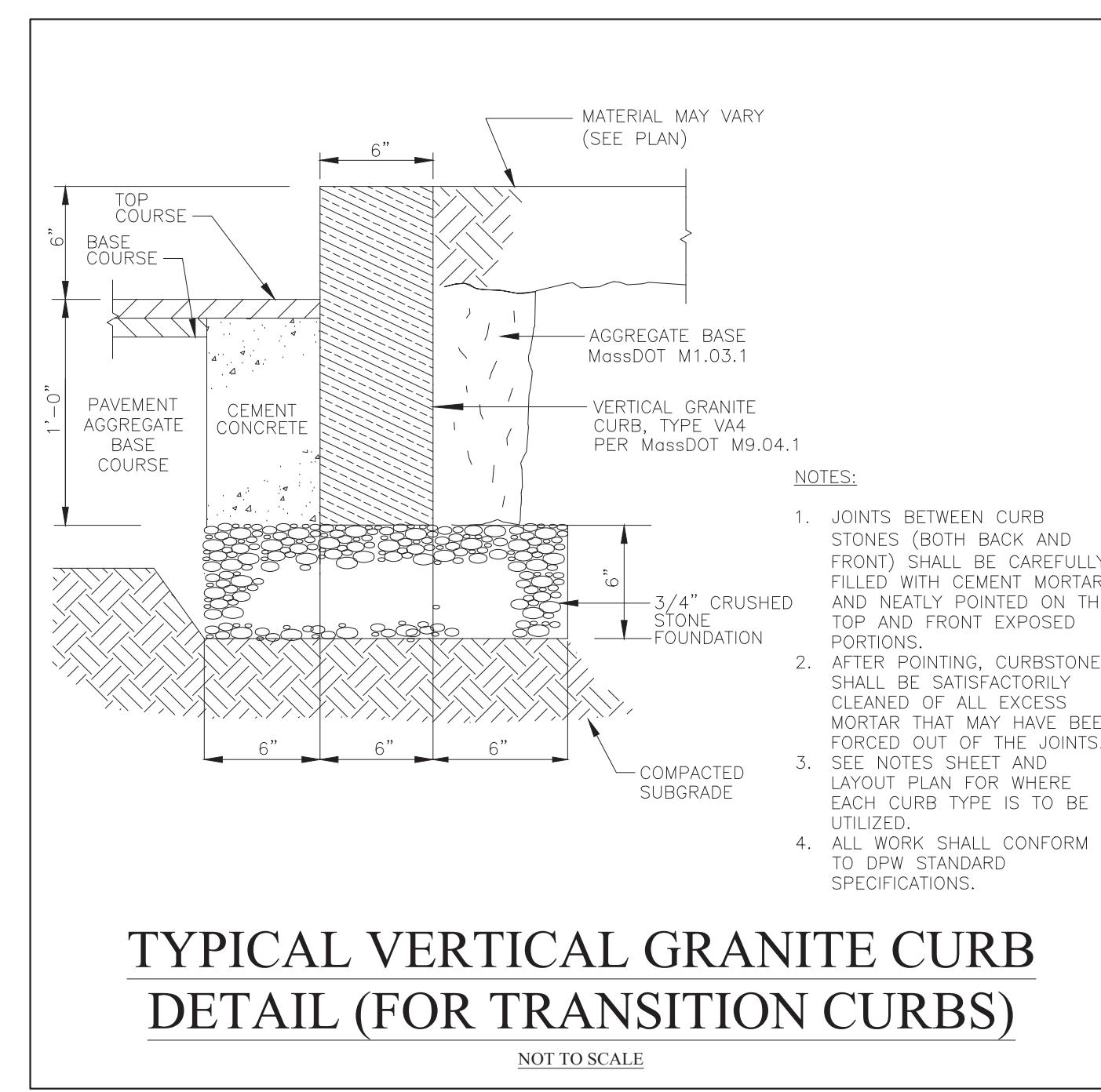
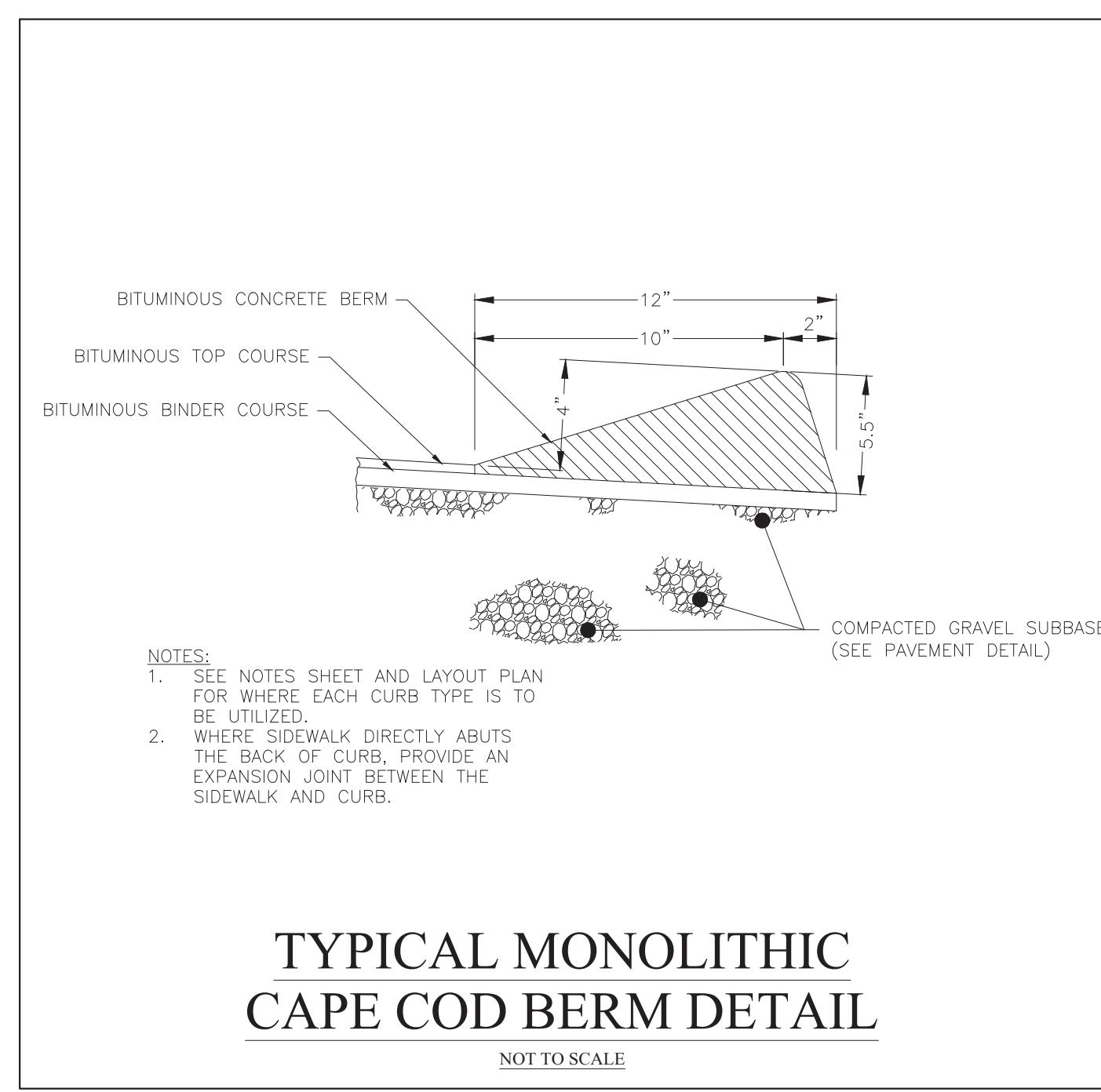
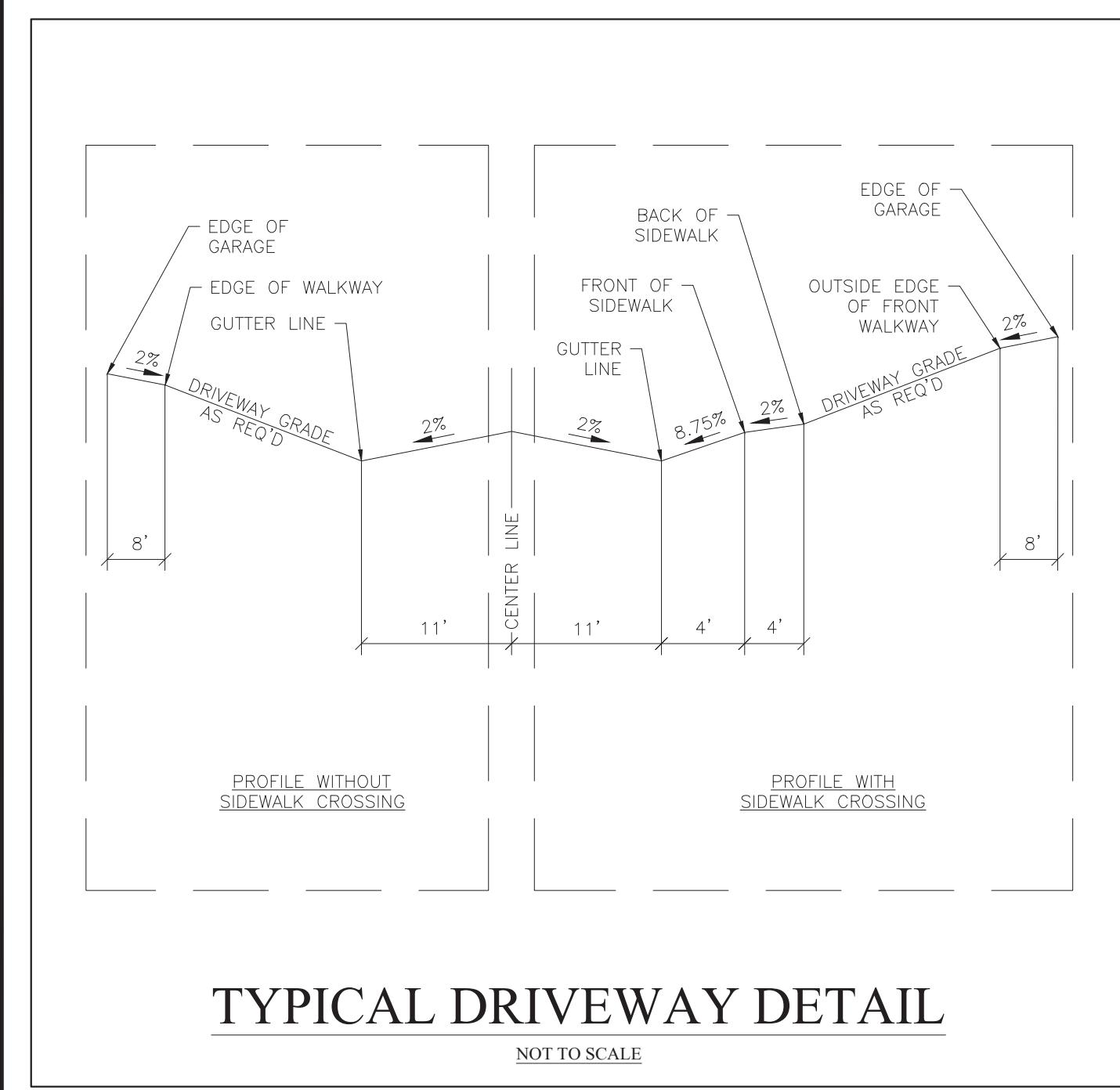
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CDG PROJECT #: 19001		
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PLANNING BOARD:



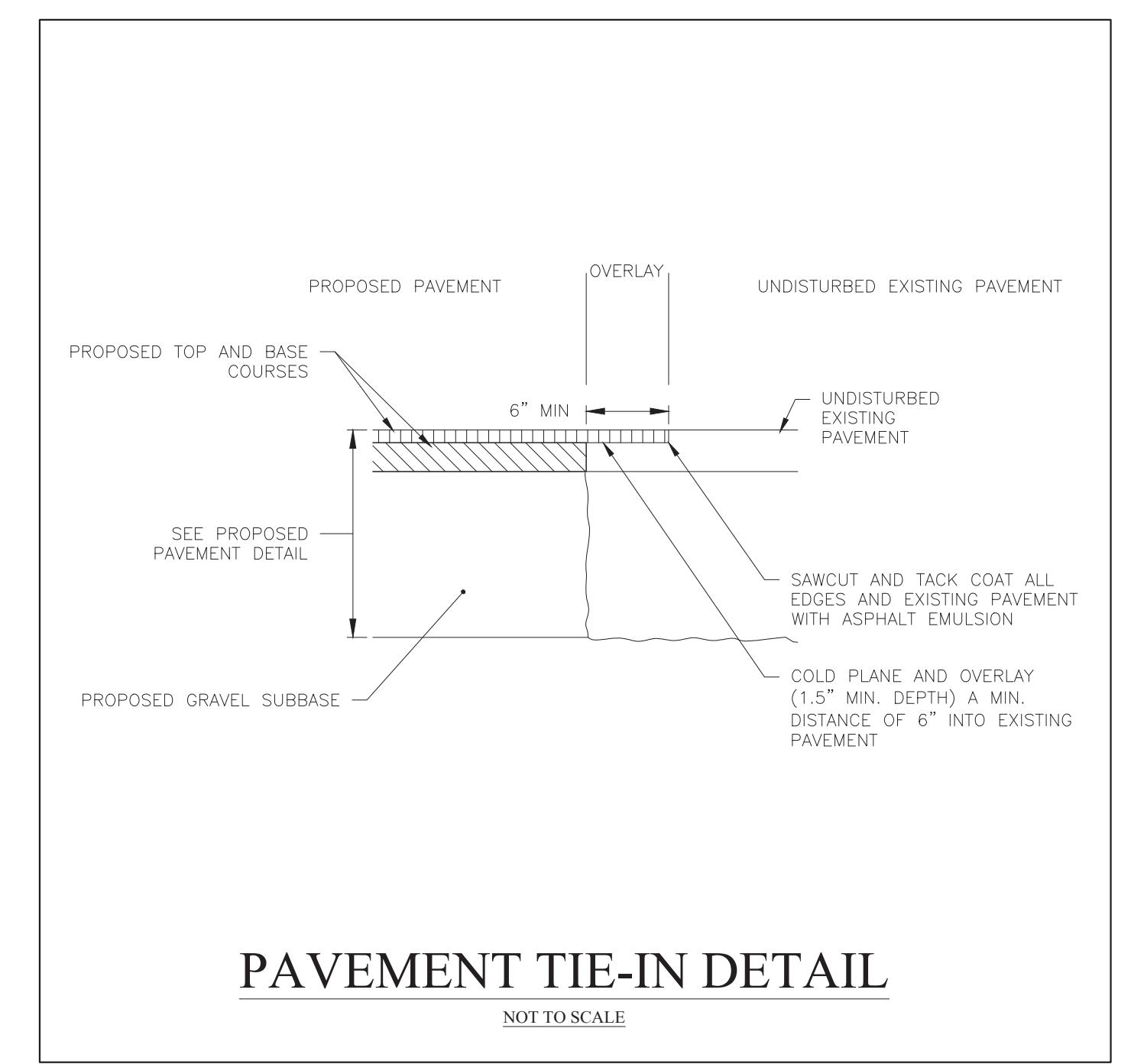
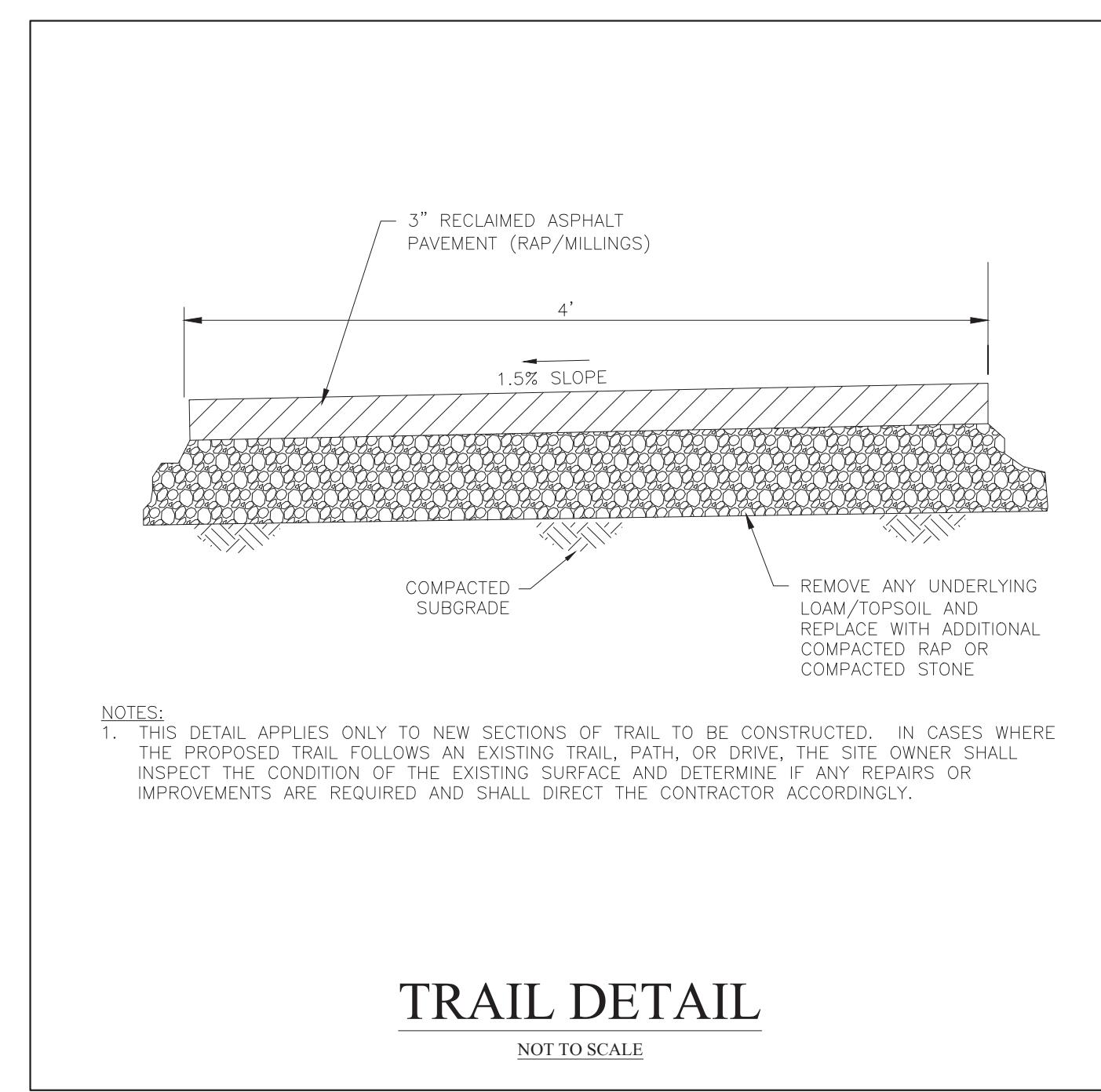
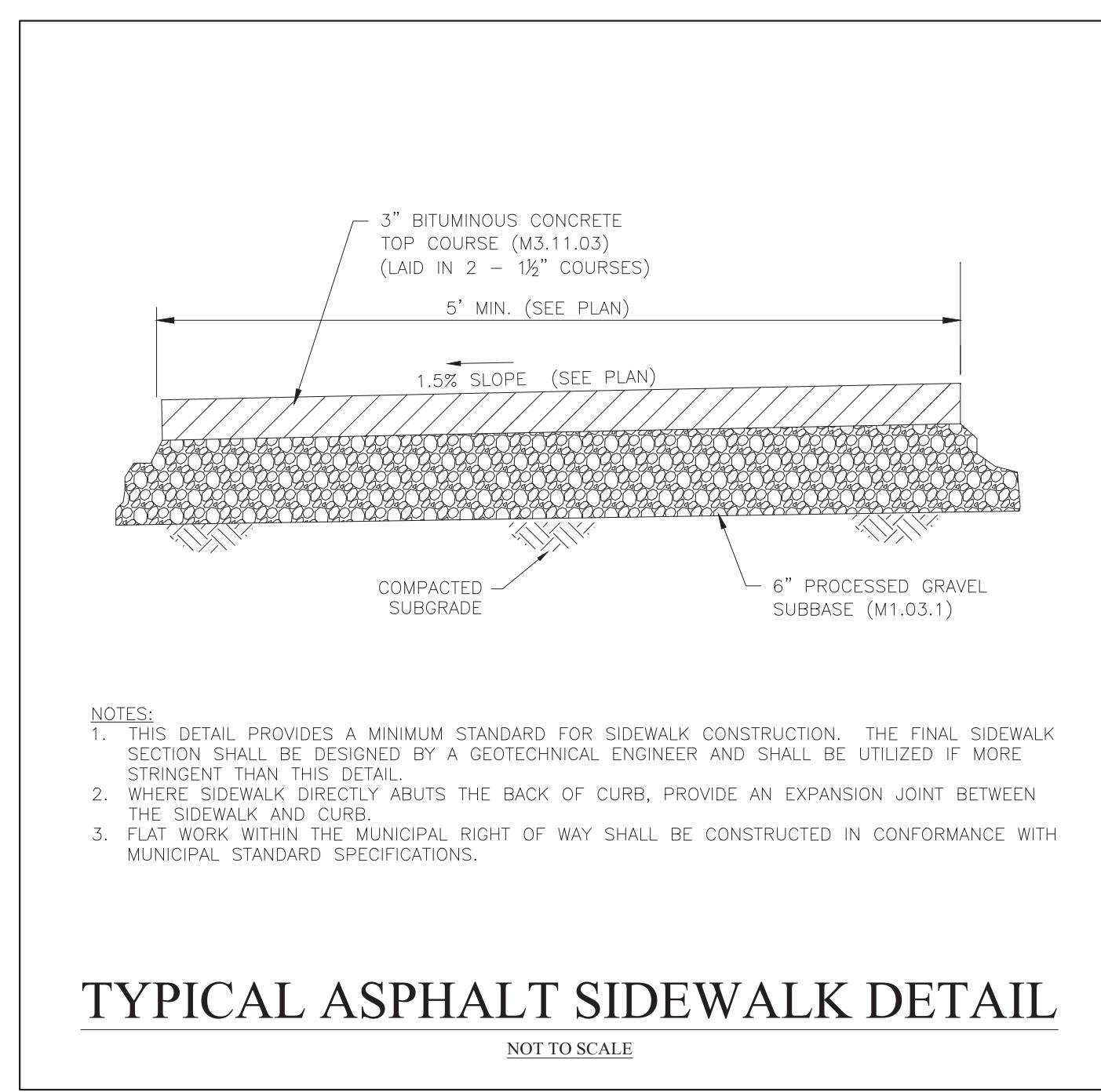
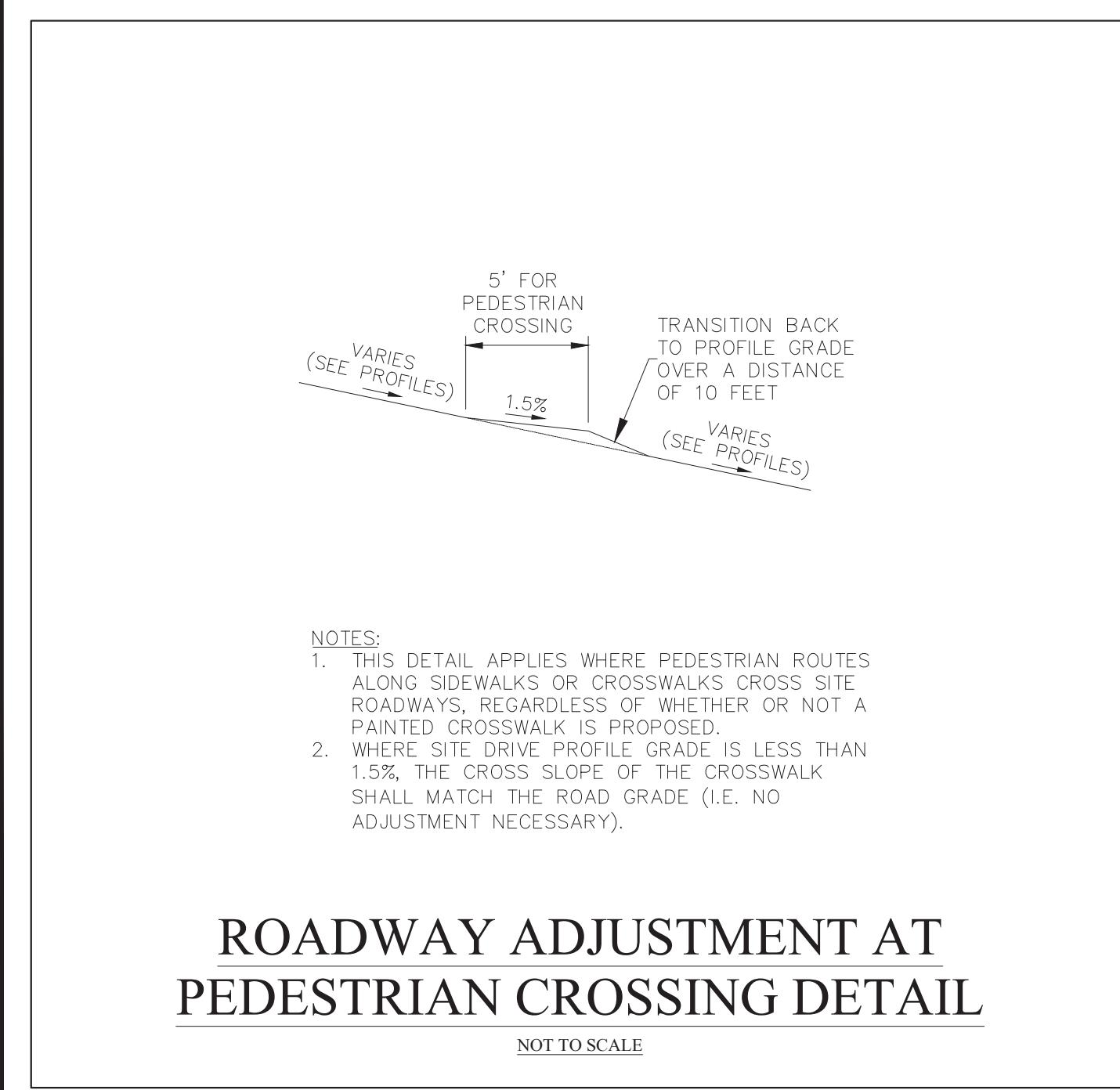
SEAL:

MATTHEW A. LEIDNER, P.E.
MATTHEW A. LEIDNER, P.E.

PREPARED BY:

CIVIL DESIGN GROUP, LLC

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PREPARED FOR:

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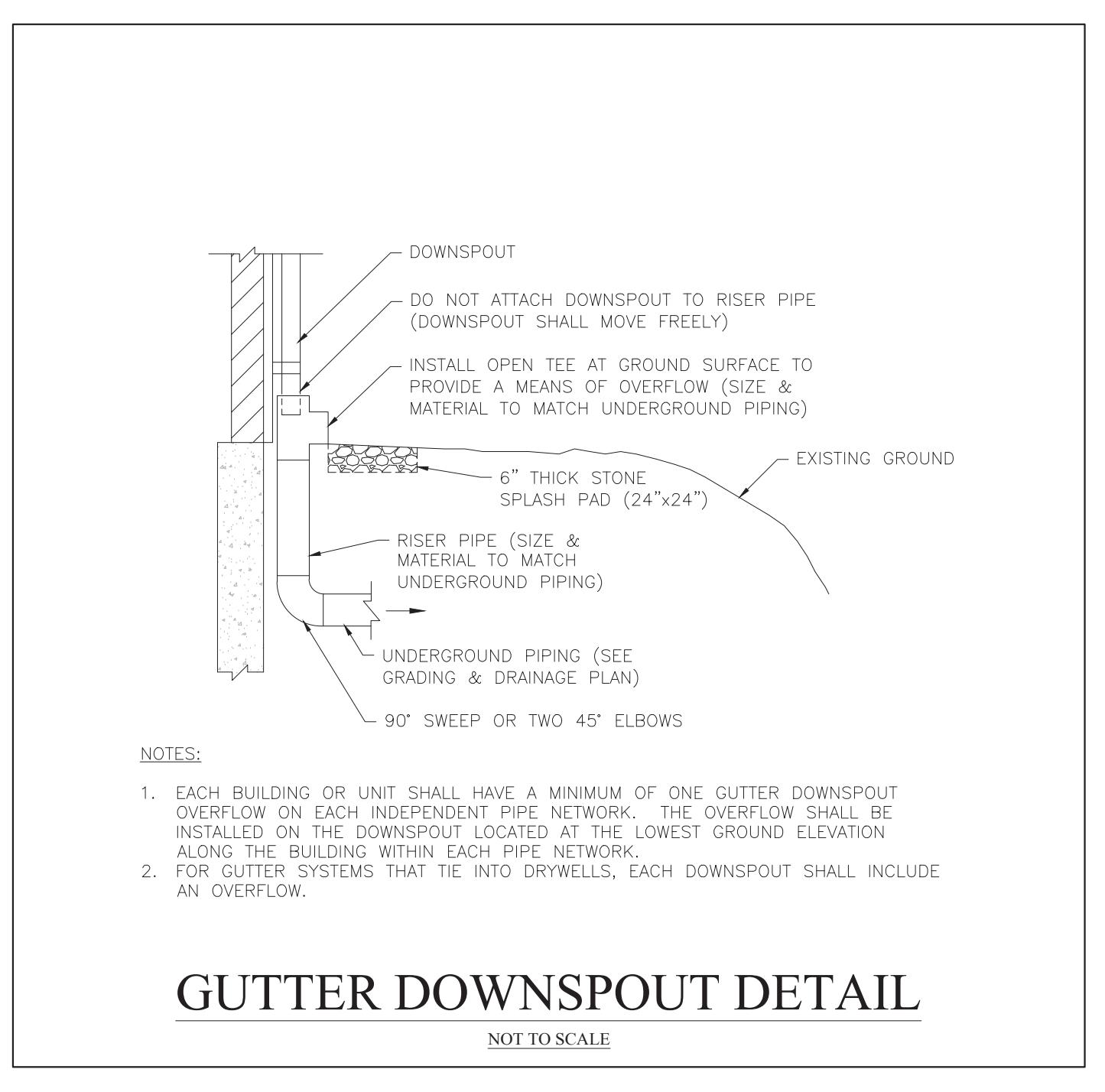
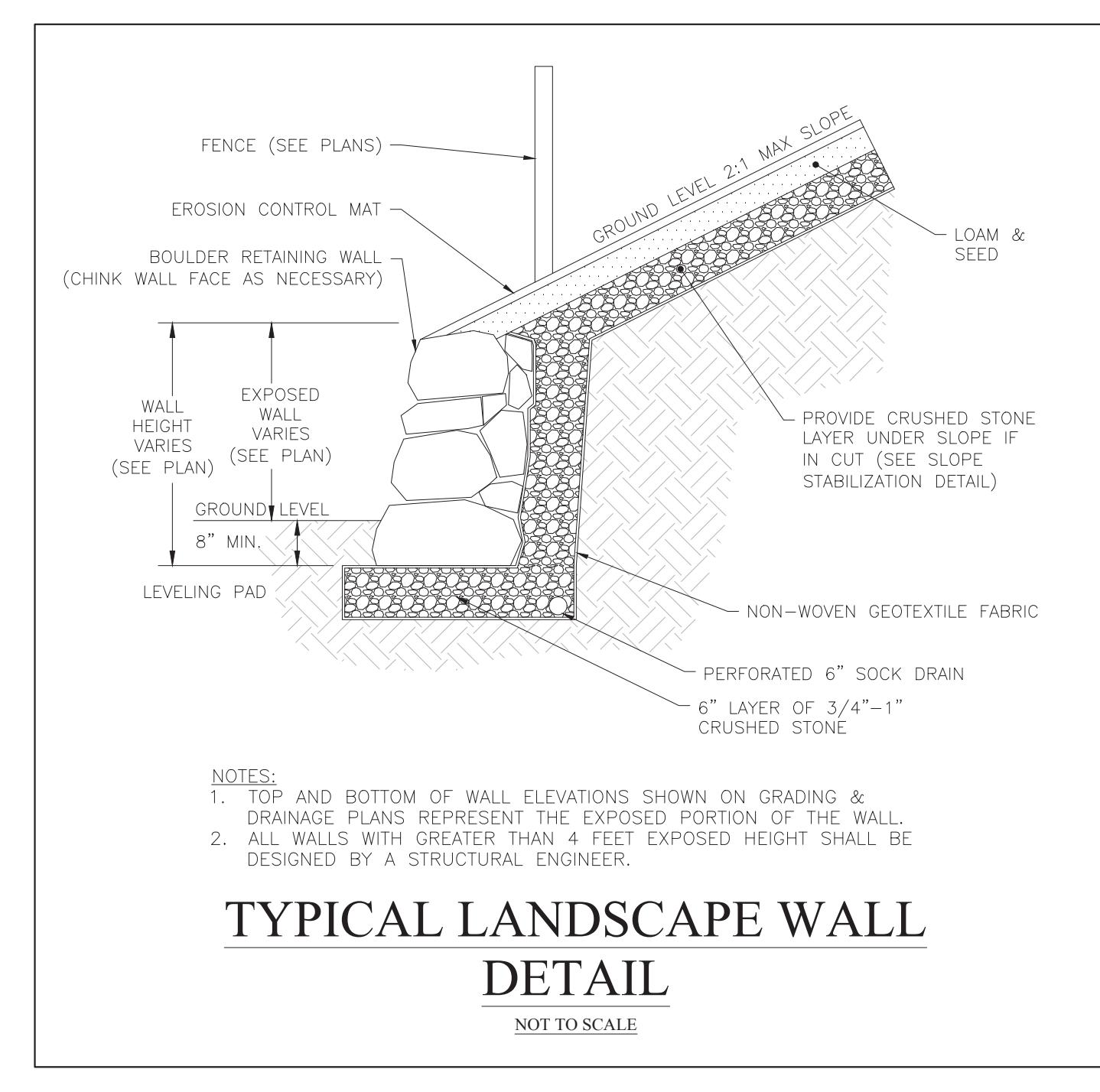
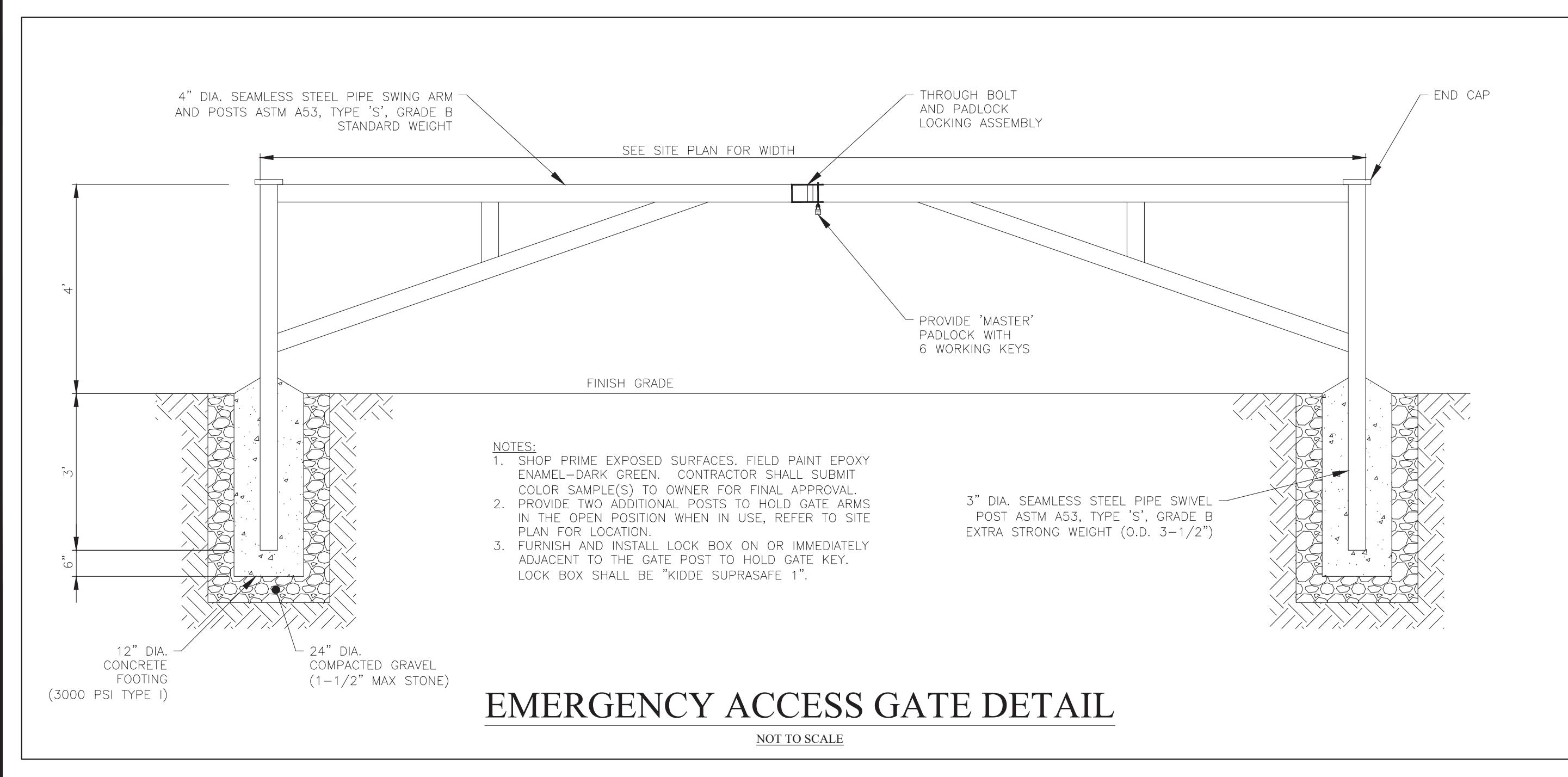
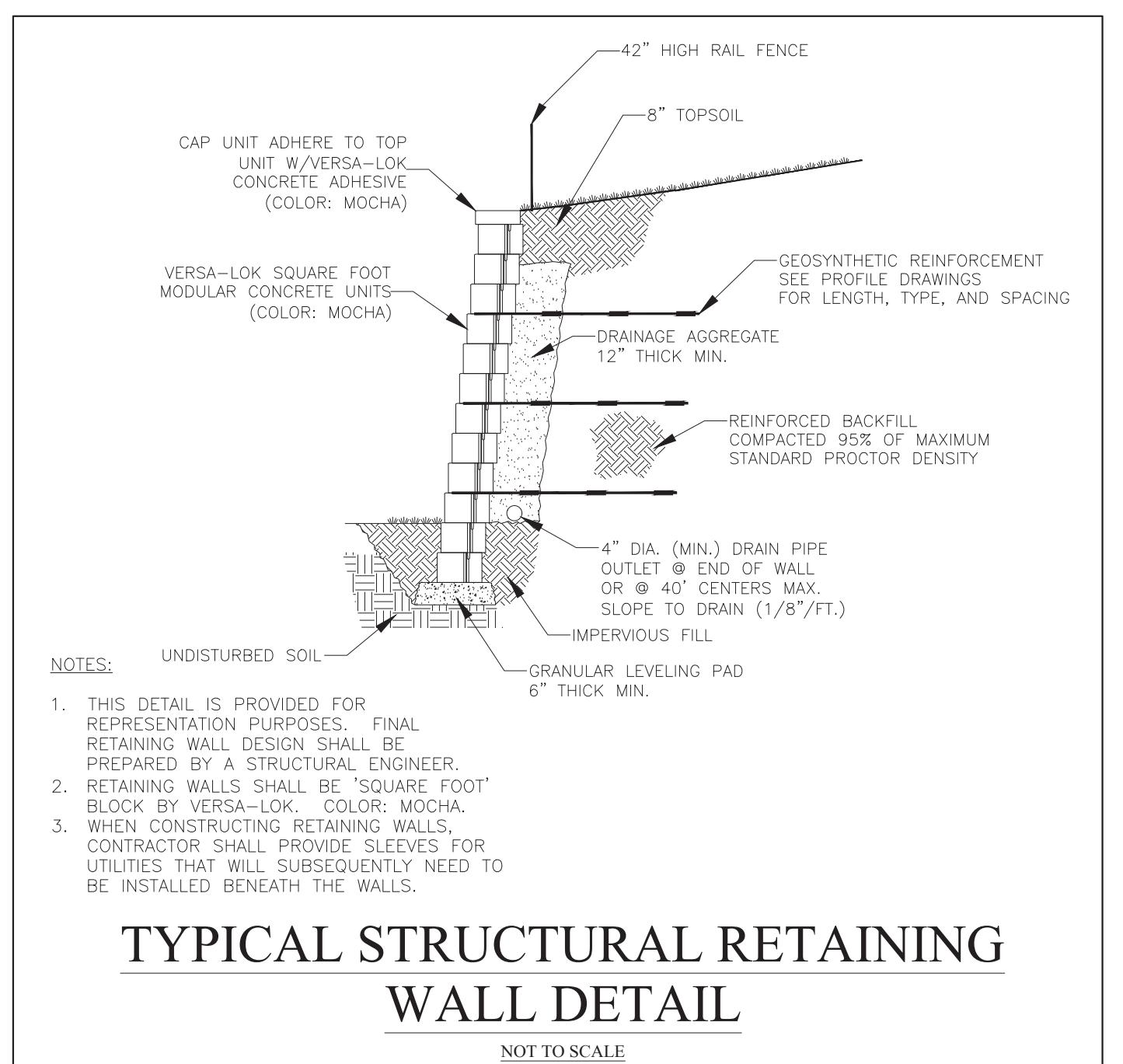
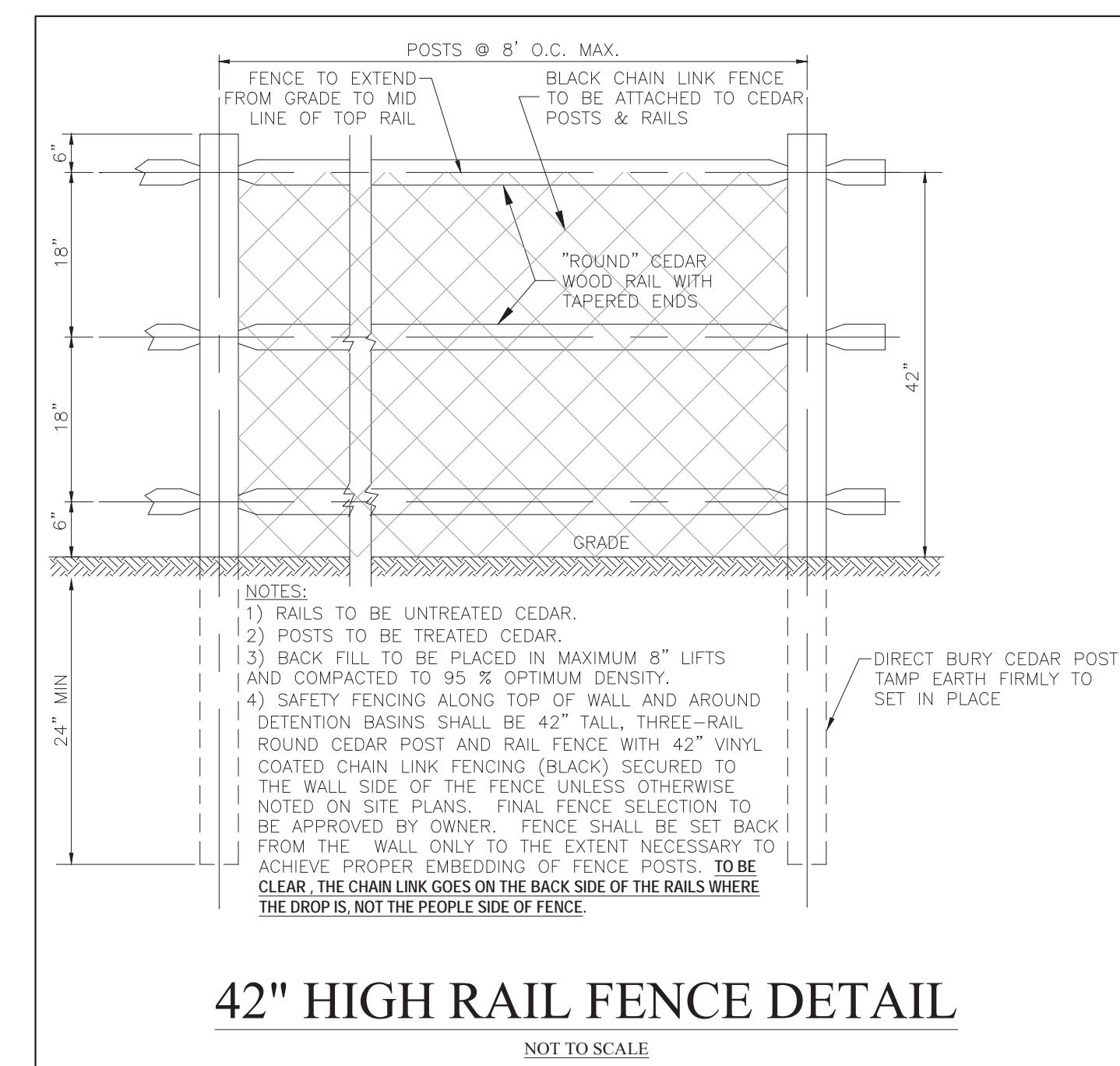
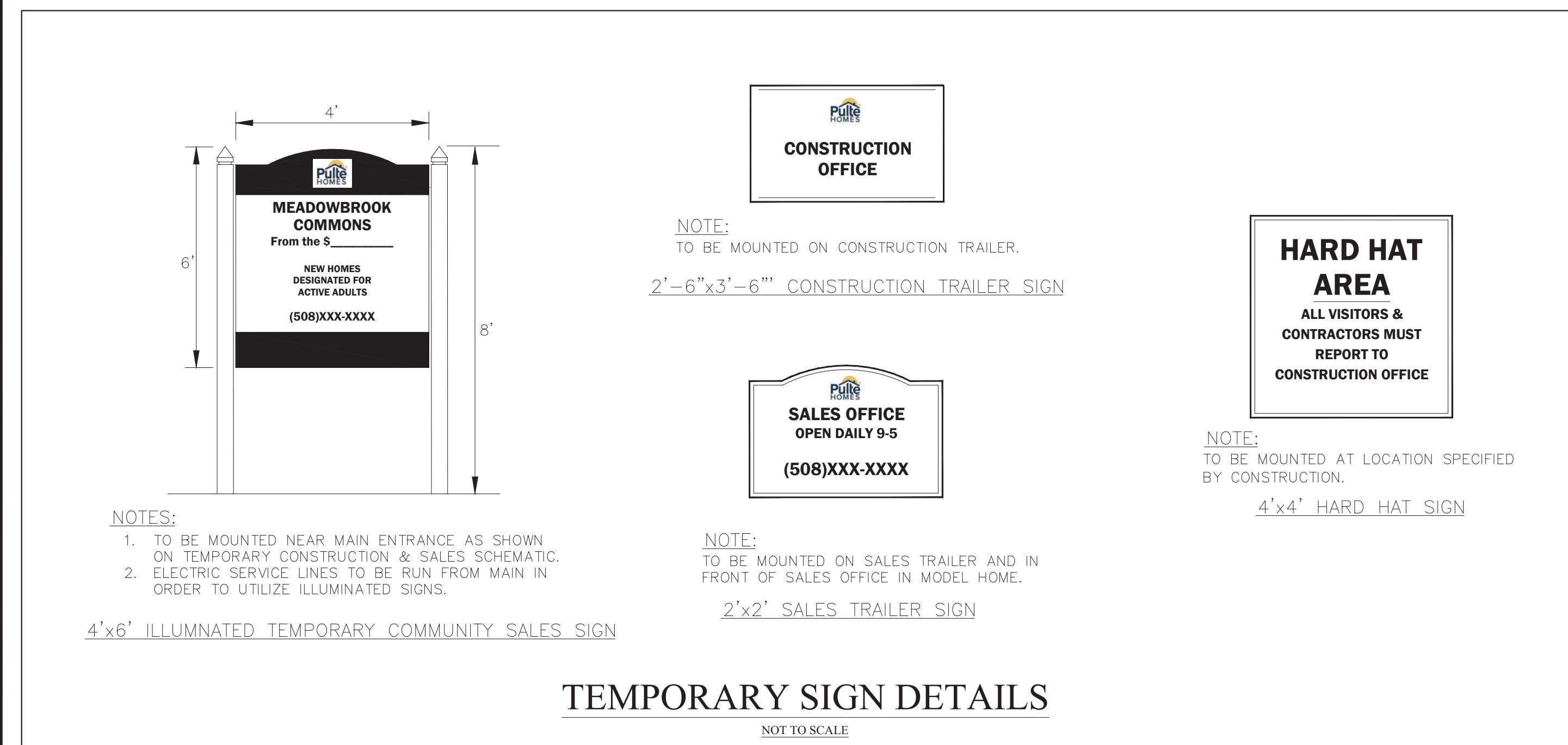
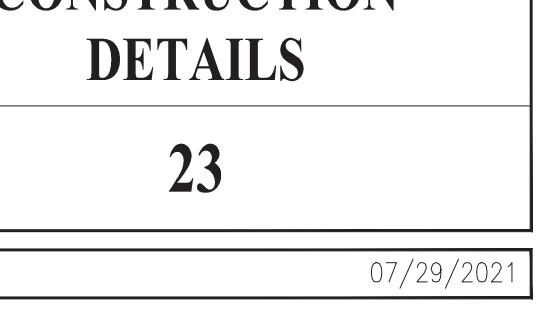
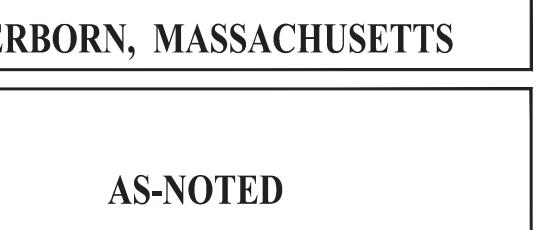
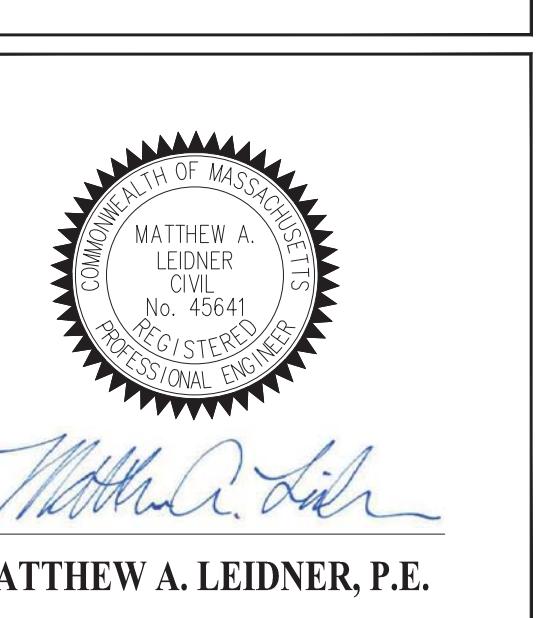
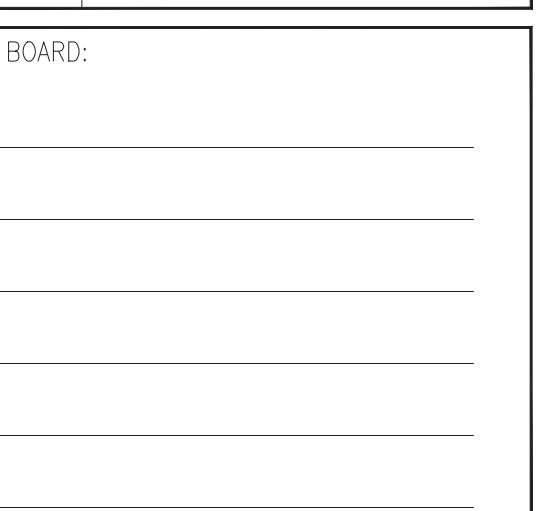
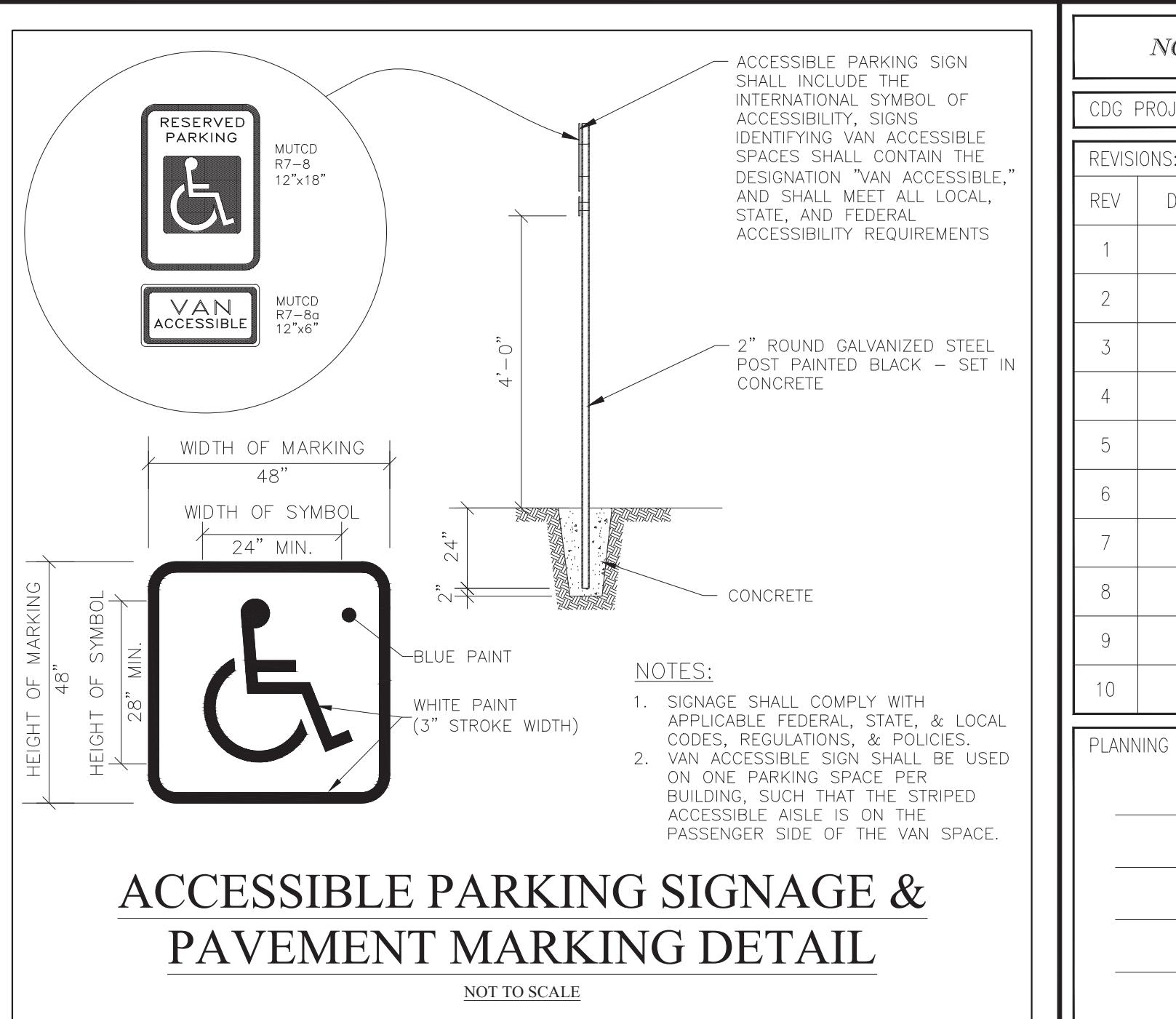
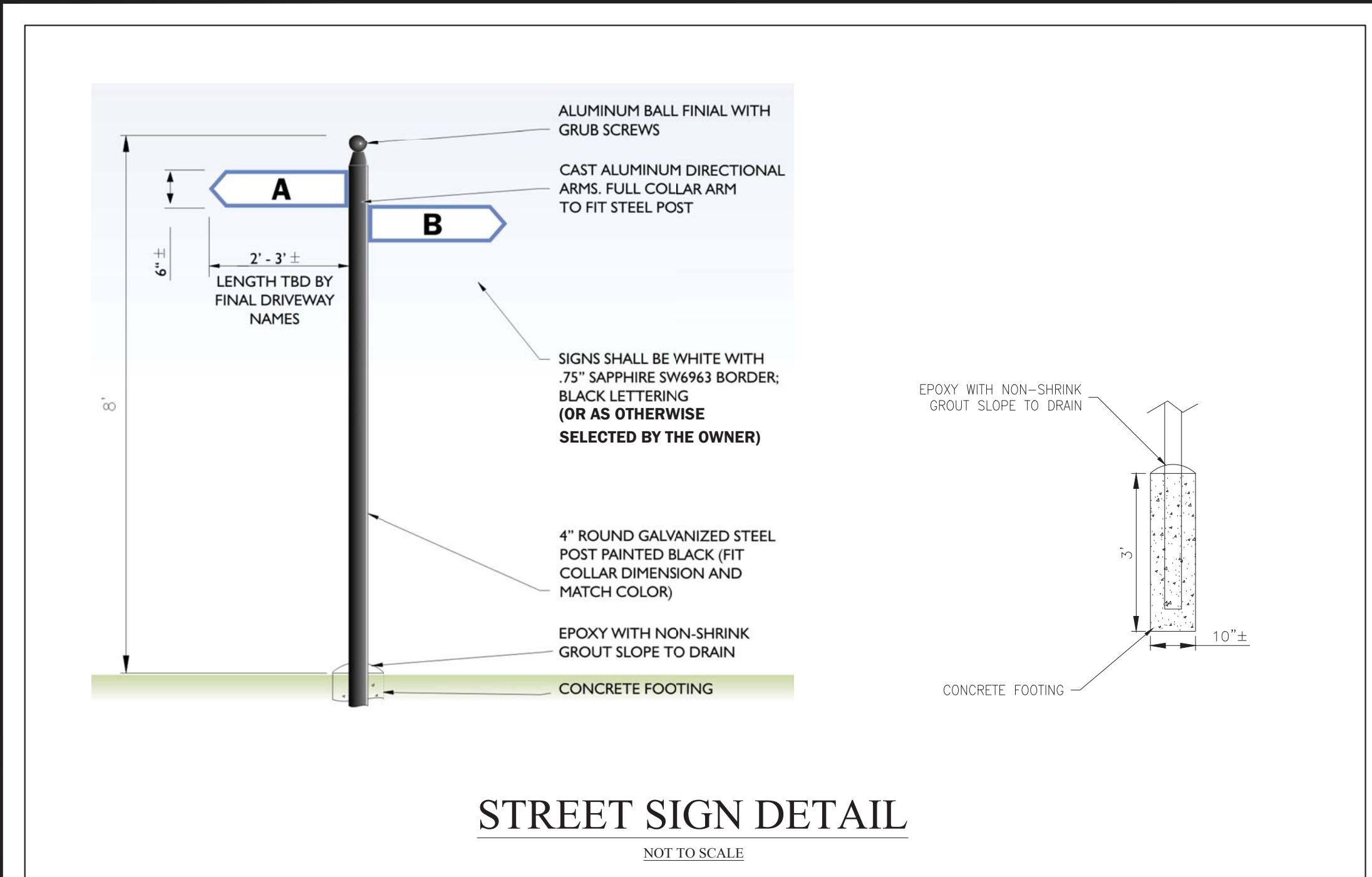
PROJECT:
MEADOWBROOK COMMONS
84 & 104 COOLIDGE STREET
SHERBORN, MASSACHUSETTS

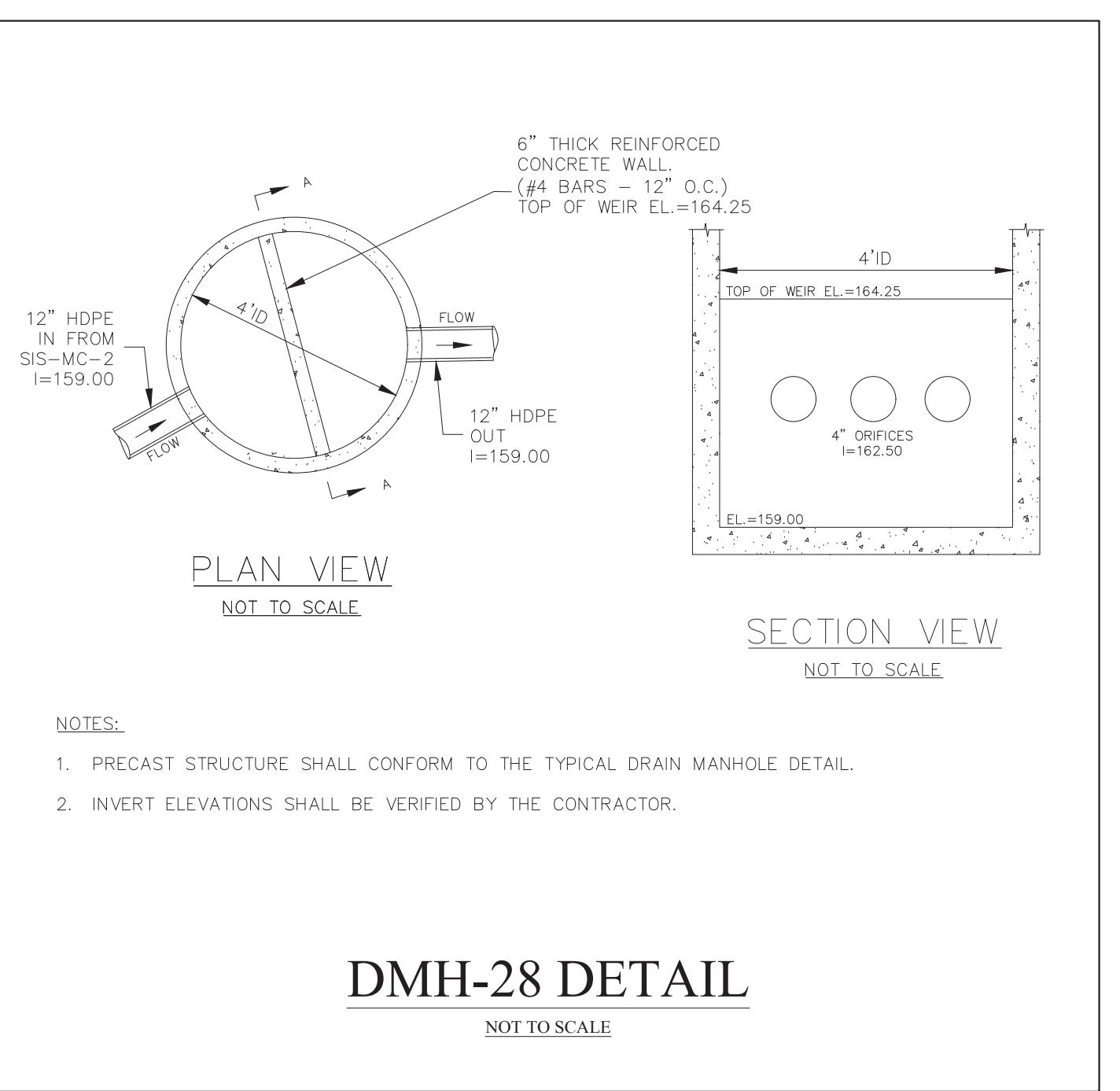
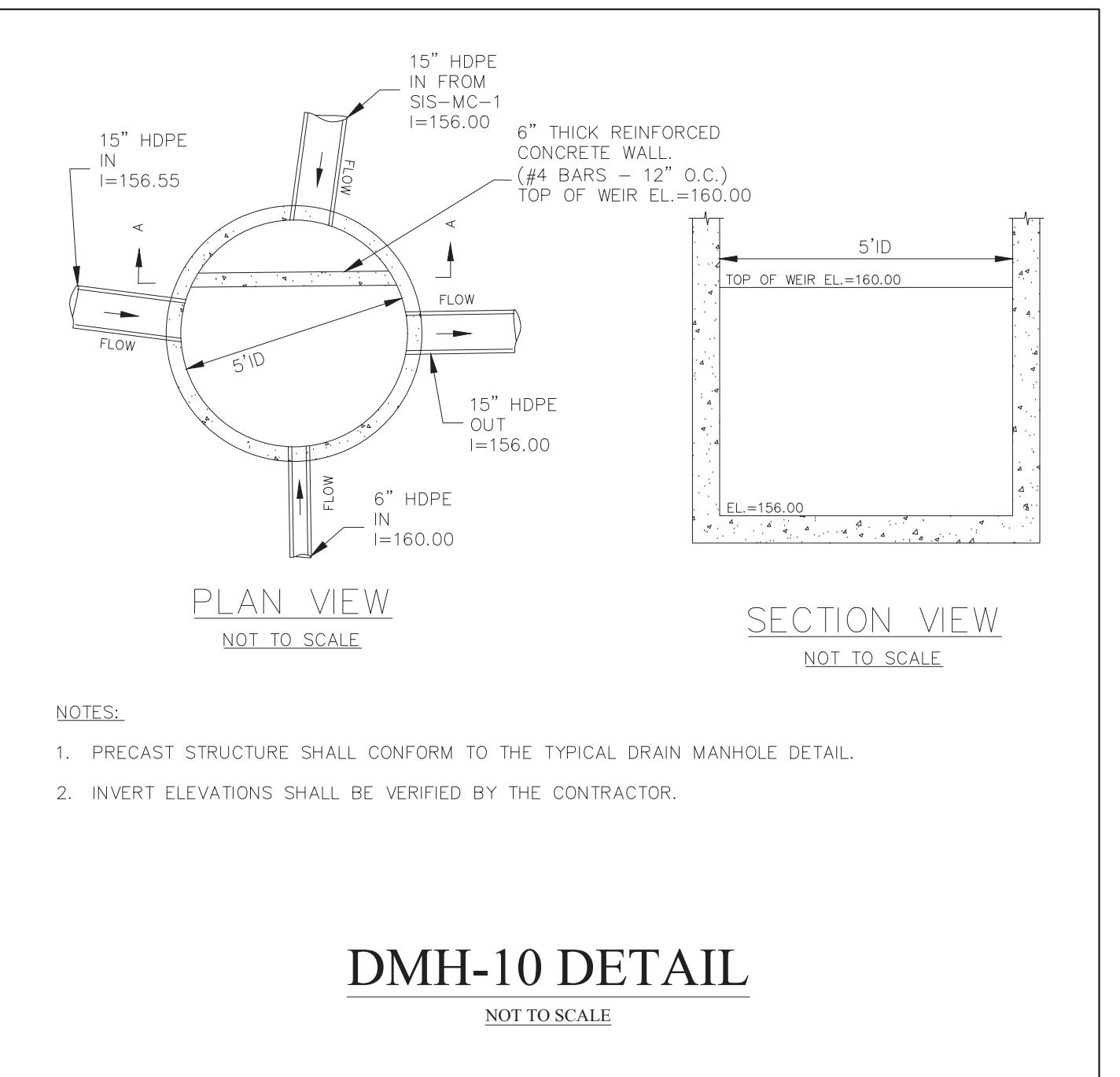
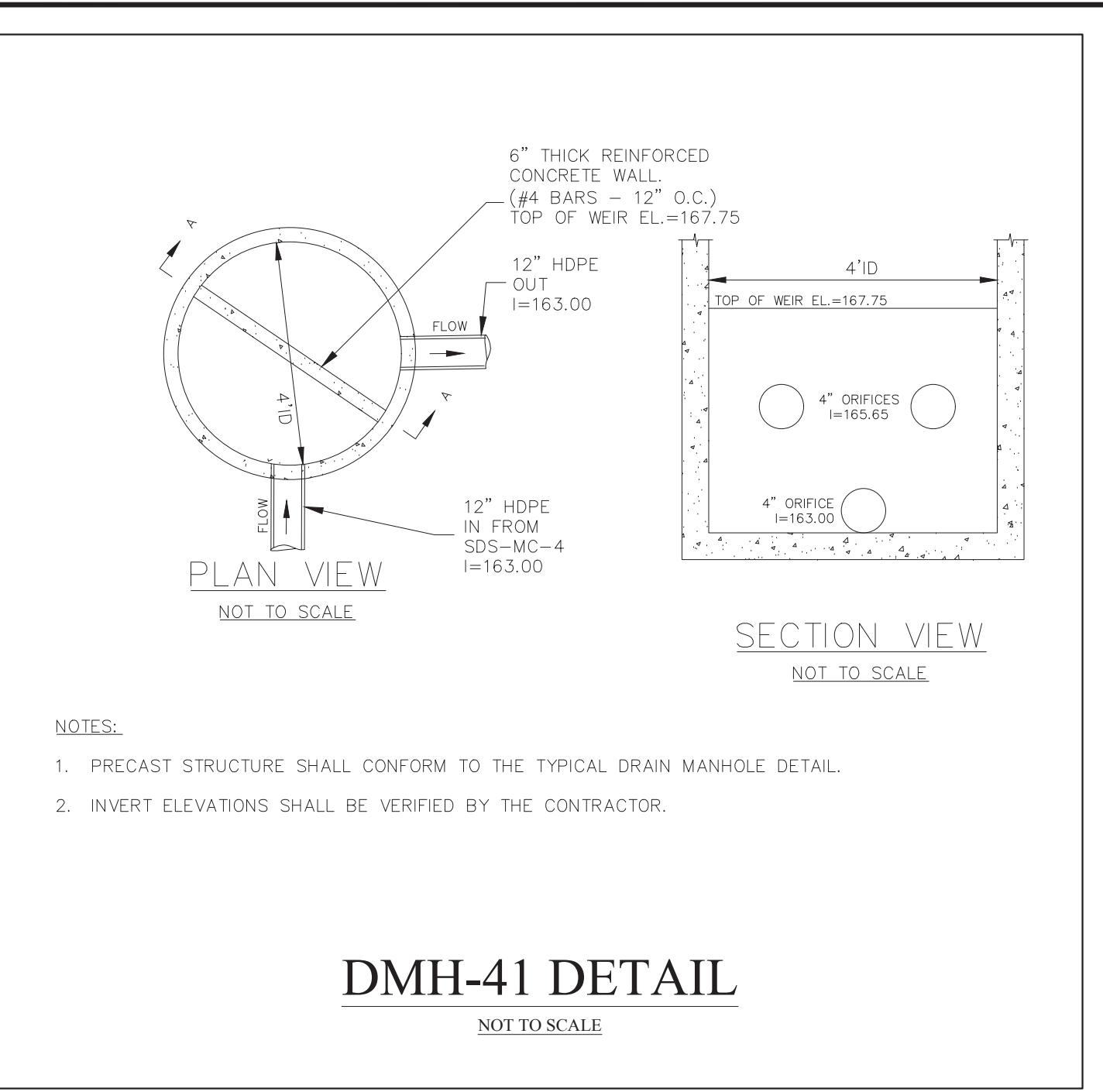
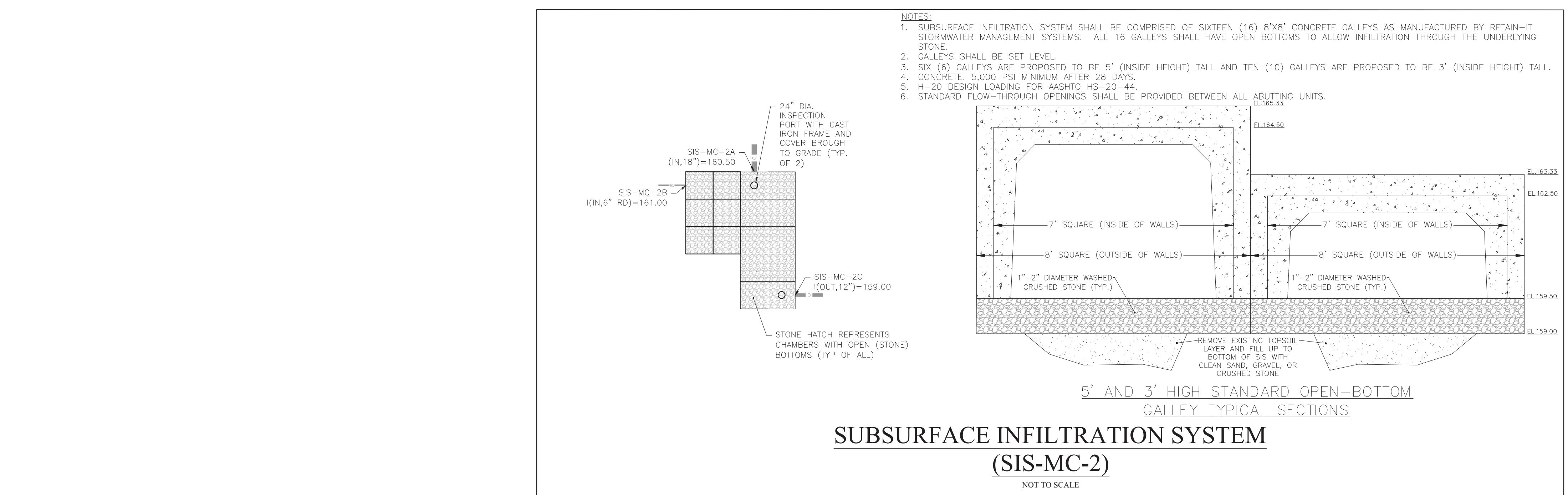
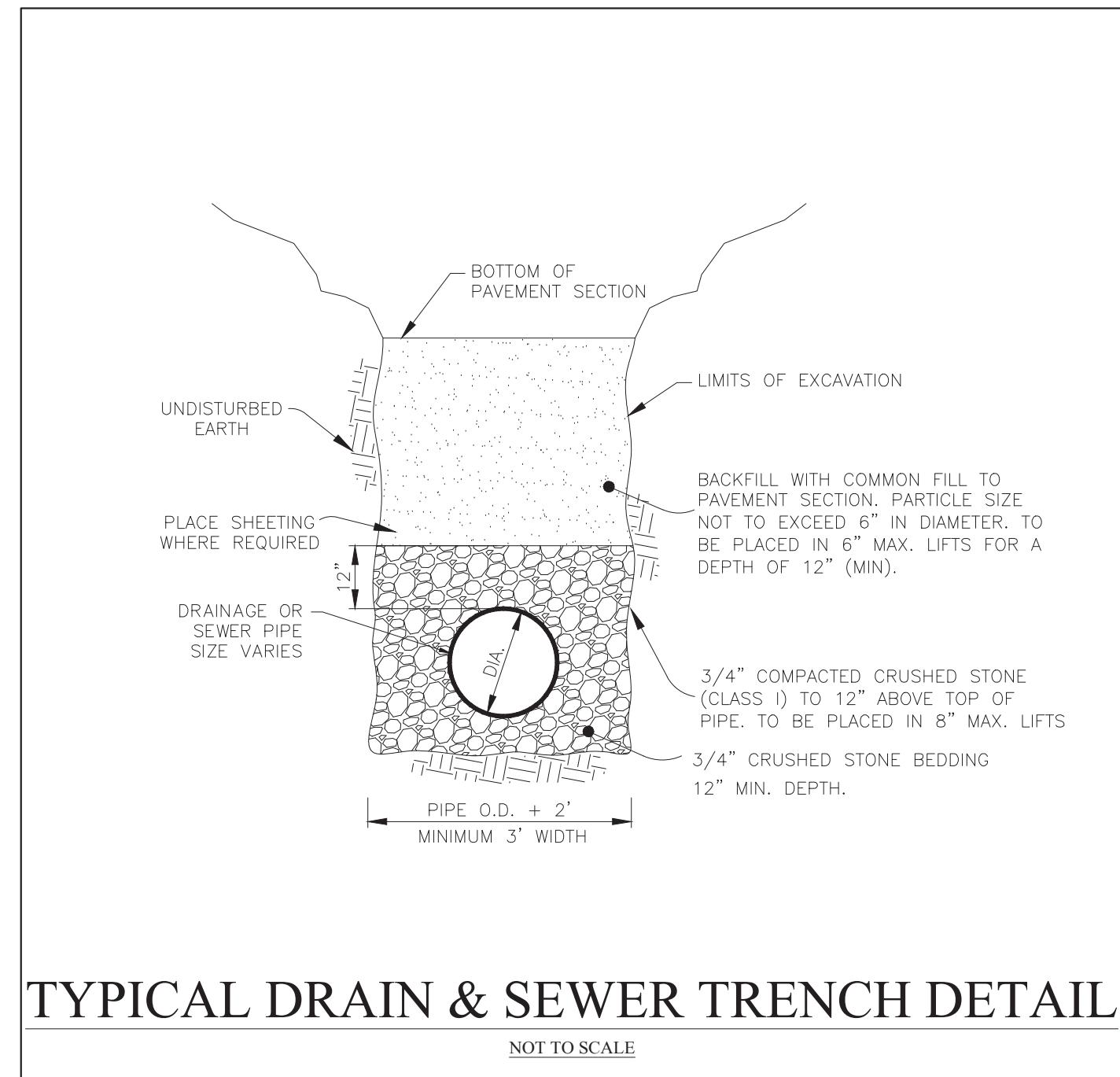
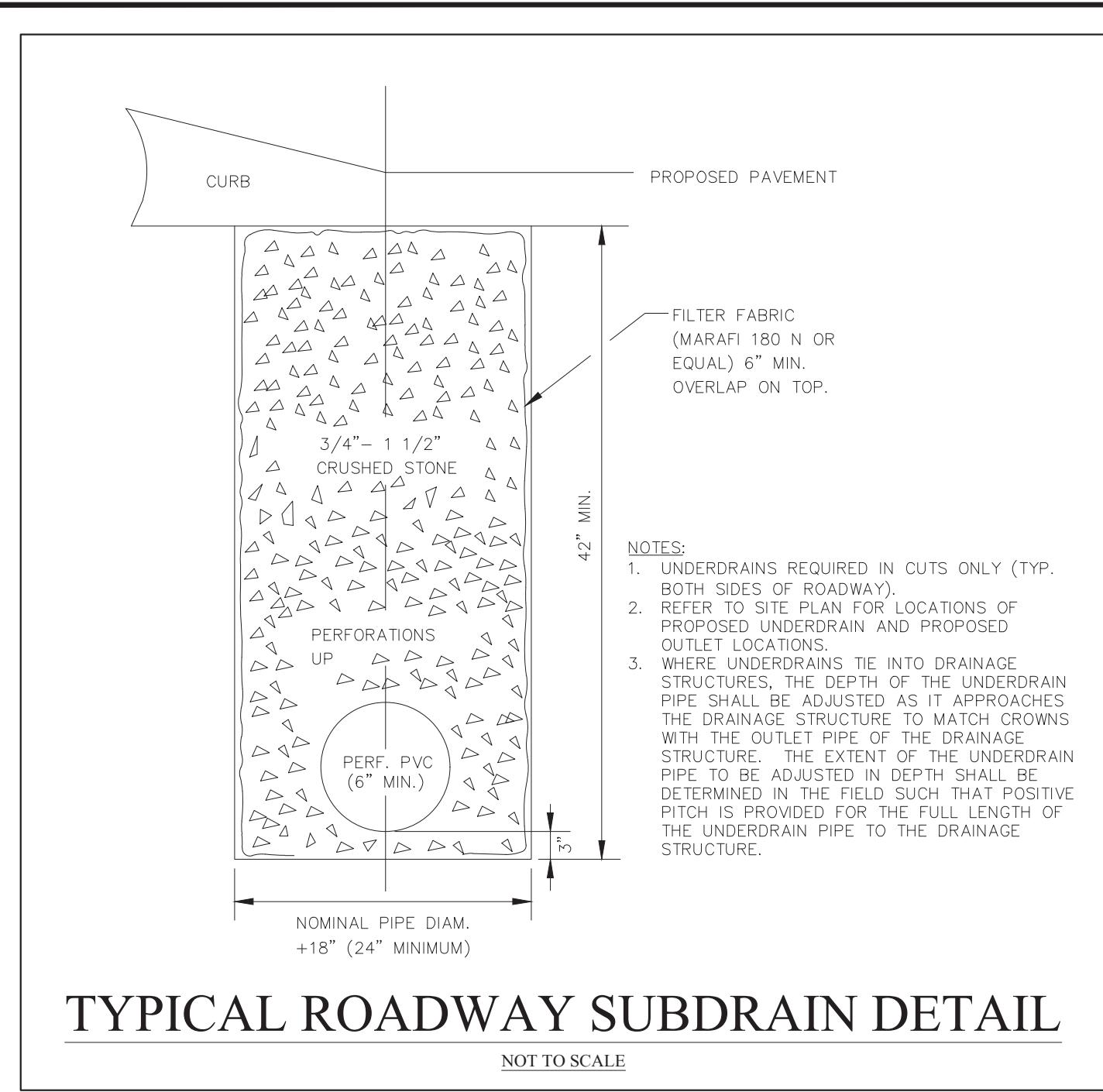
SCALE:
AS-NOTED

SHEET:
CONSTRUCTION DETAILS

22

DATE: 07/29/2021





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PLANNING BOARD:

SEAL:

MATTHEW A. LEIDNER, P.E.

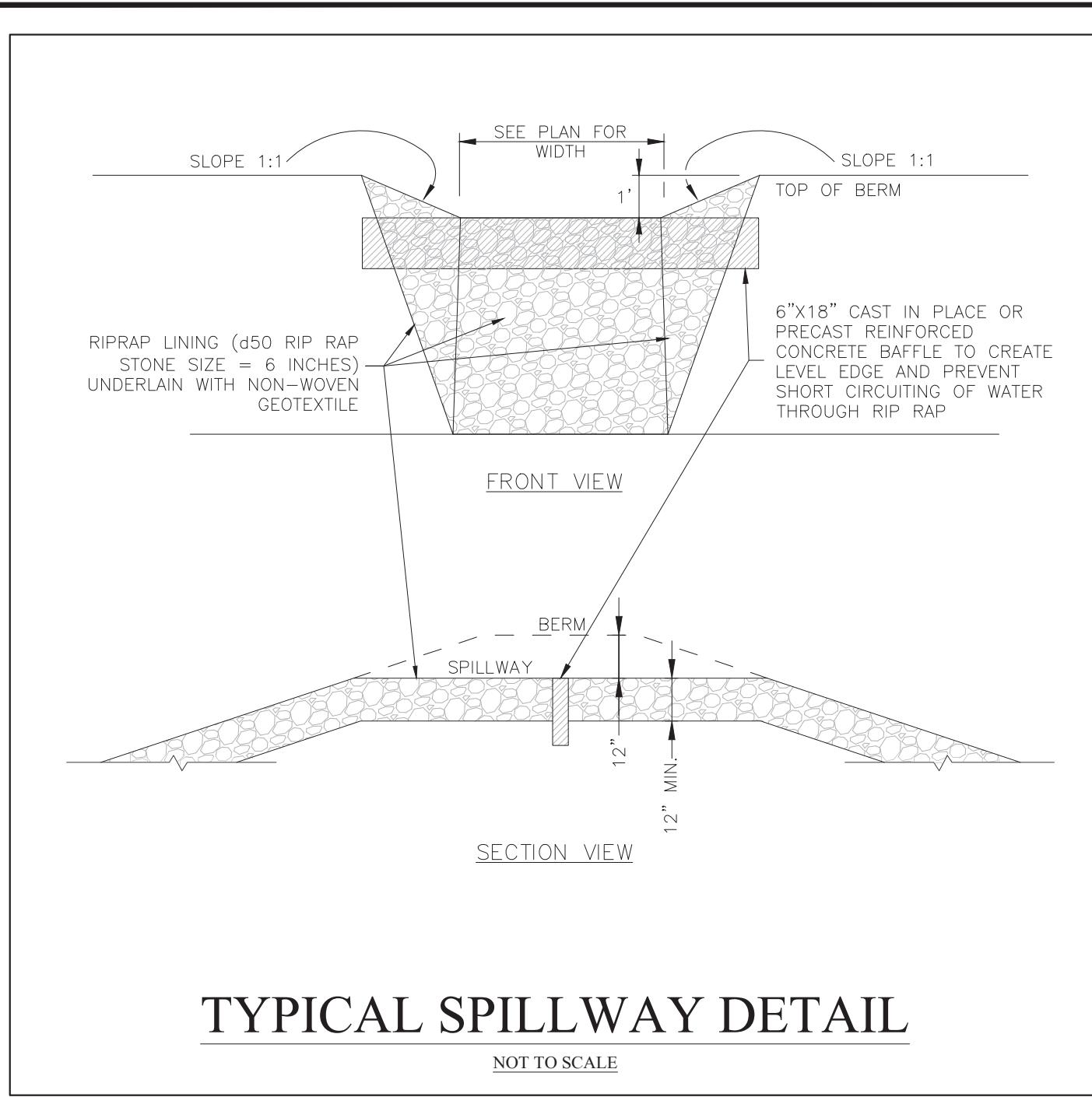
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115 FLANDERS ROAD
SUITE 200
WESTBOROUGH, MA 01581
www.pulte.com

PROJECT:
MEADOWBROOK COMMONS
84 & 104 COOLIDGE STREET
SHERBORN, MASSACHUSETTS

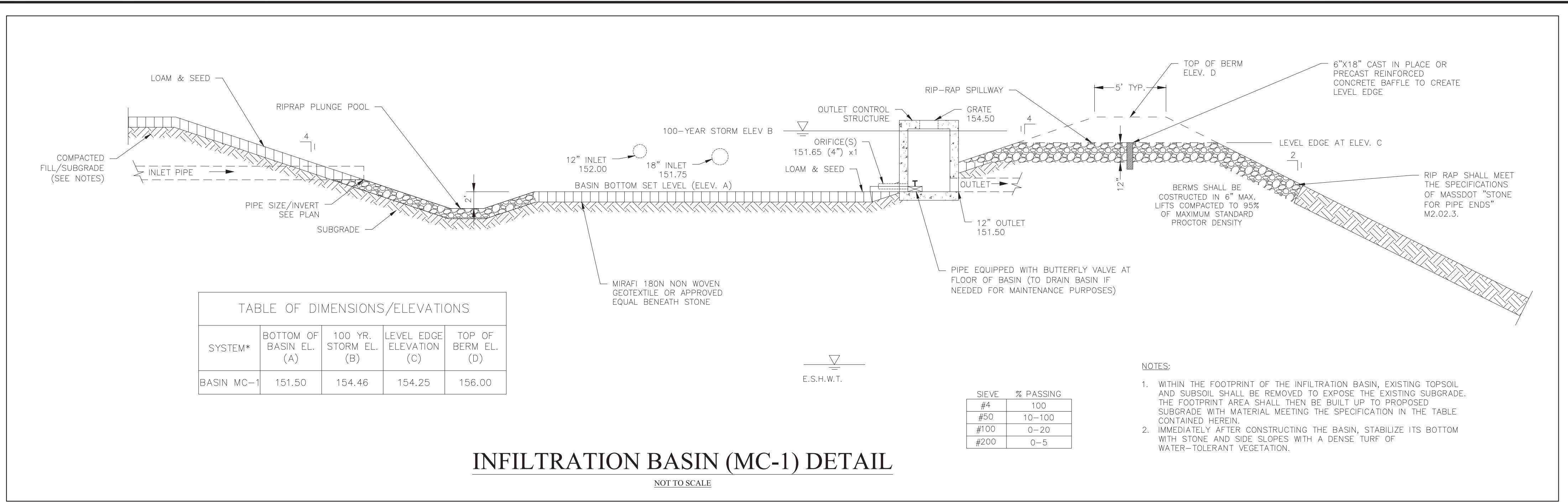
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AS-NOTED

SHEET:
CONSTRUCTION DETAILS
25
DATE: 07/29/2021



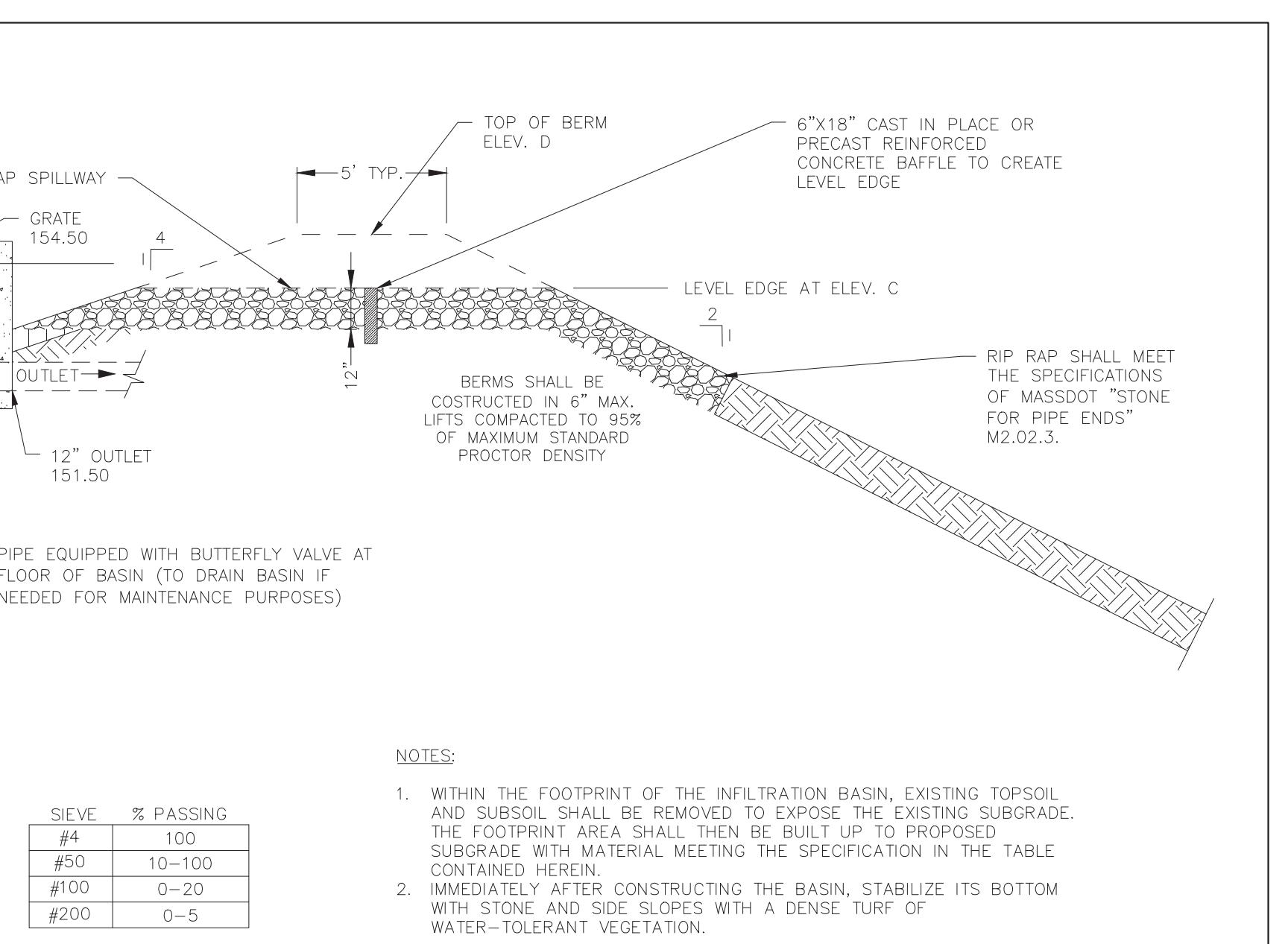
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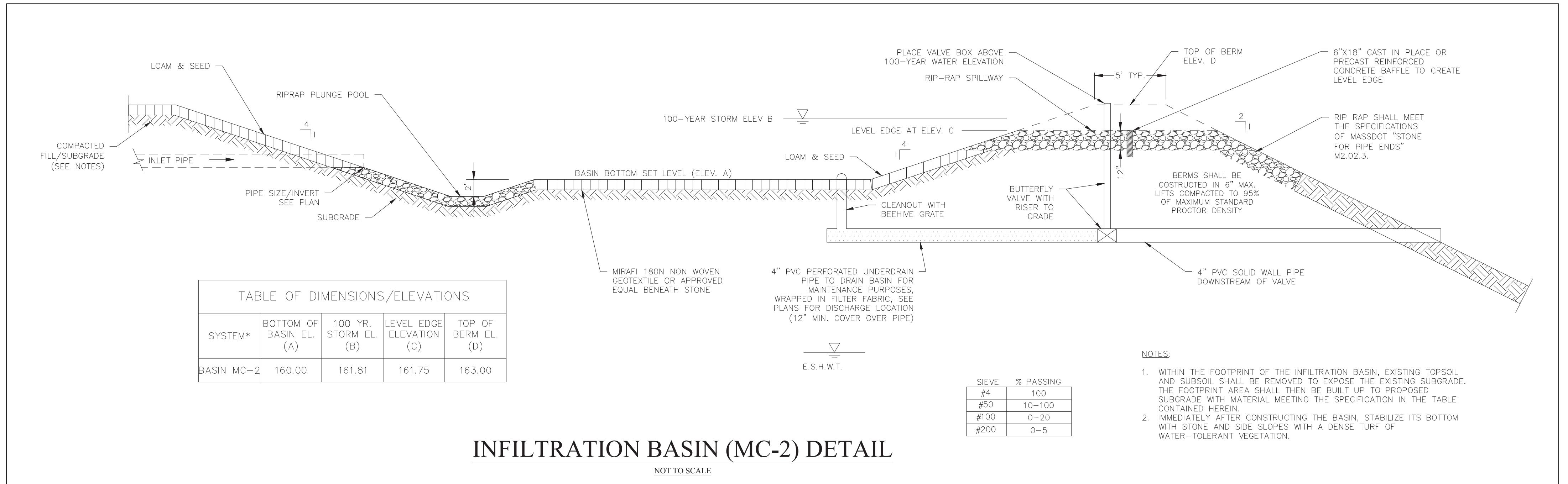
INFILTRATION BASIN (MC-1) DETAIL

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INFILTRATION BASIN (MC-2) DETAIL

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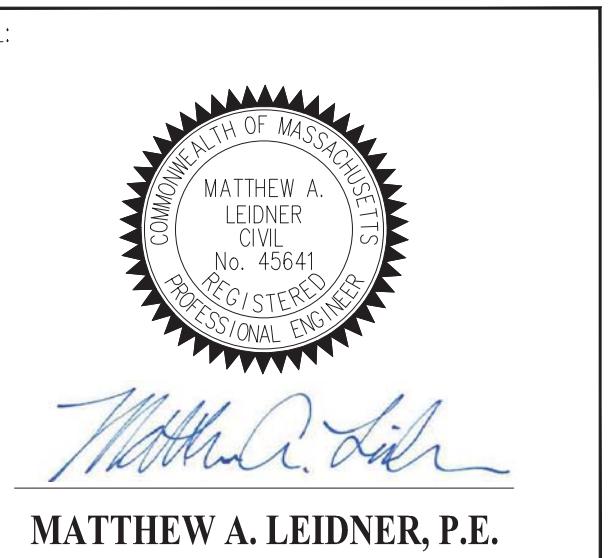


INFILTRATION BASIN (MC-3) DETAIL

NOT TO SCALE

NOT FOR CONSTRUCTION		
CDG PROJECT #: 19001		
REVISIONS:		
REV	DATE	COMMENT
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PLANNING BOARD:



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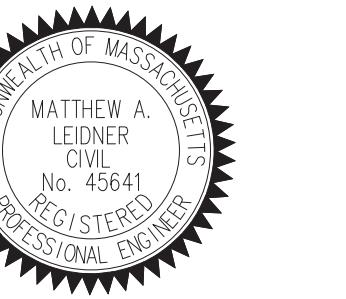
SCALE:
AS-NOTED

SECTION:
CONSTRUCTION DETAILS

CDG PROJECT #:		
19001		
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REV	DATE	COMMENT
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PLANNING BOARD:

SEAL:



MATTHEW A. LEIDNER, CIVIL REGISTERED ENGINEER
No. 45641

Matthew A. Leidner

MATTHEW A. LEIDNER, P.E.

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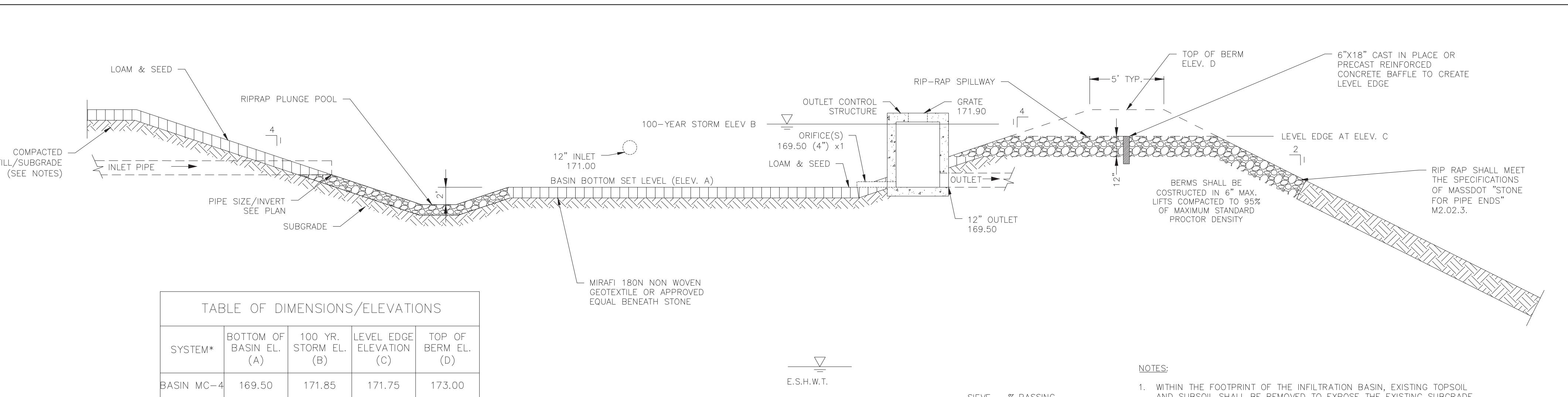
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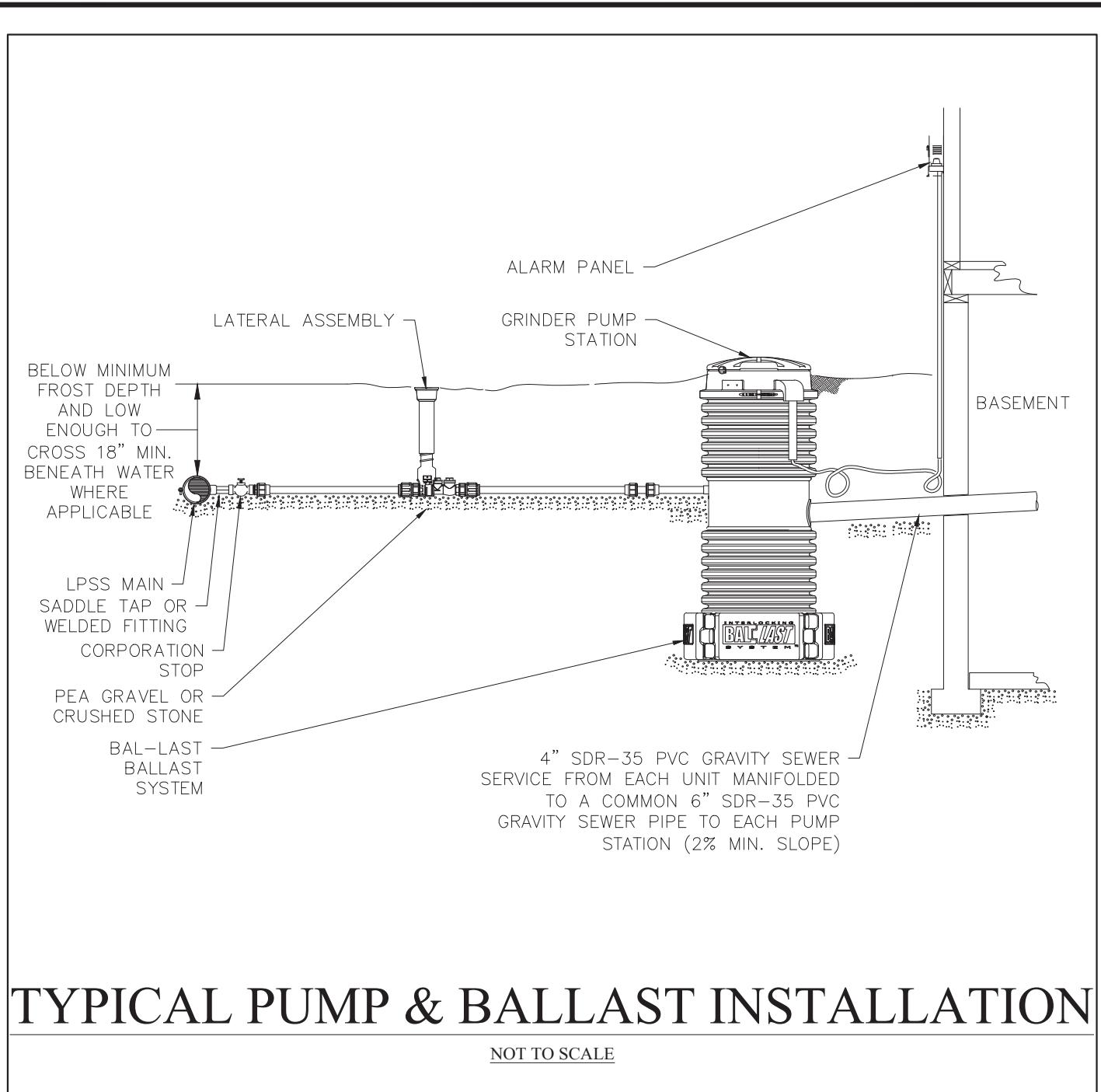
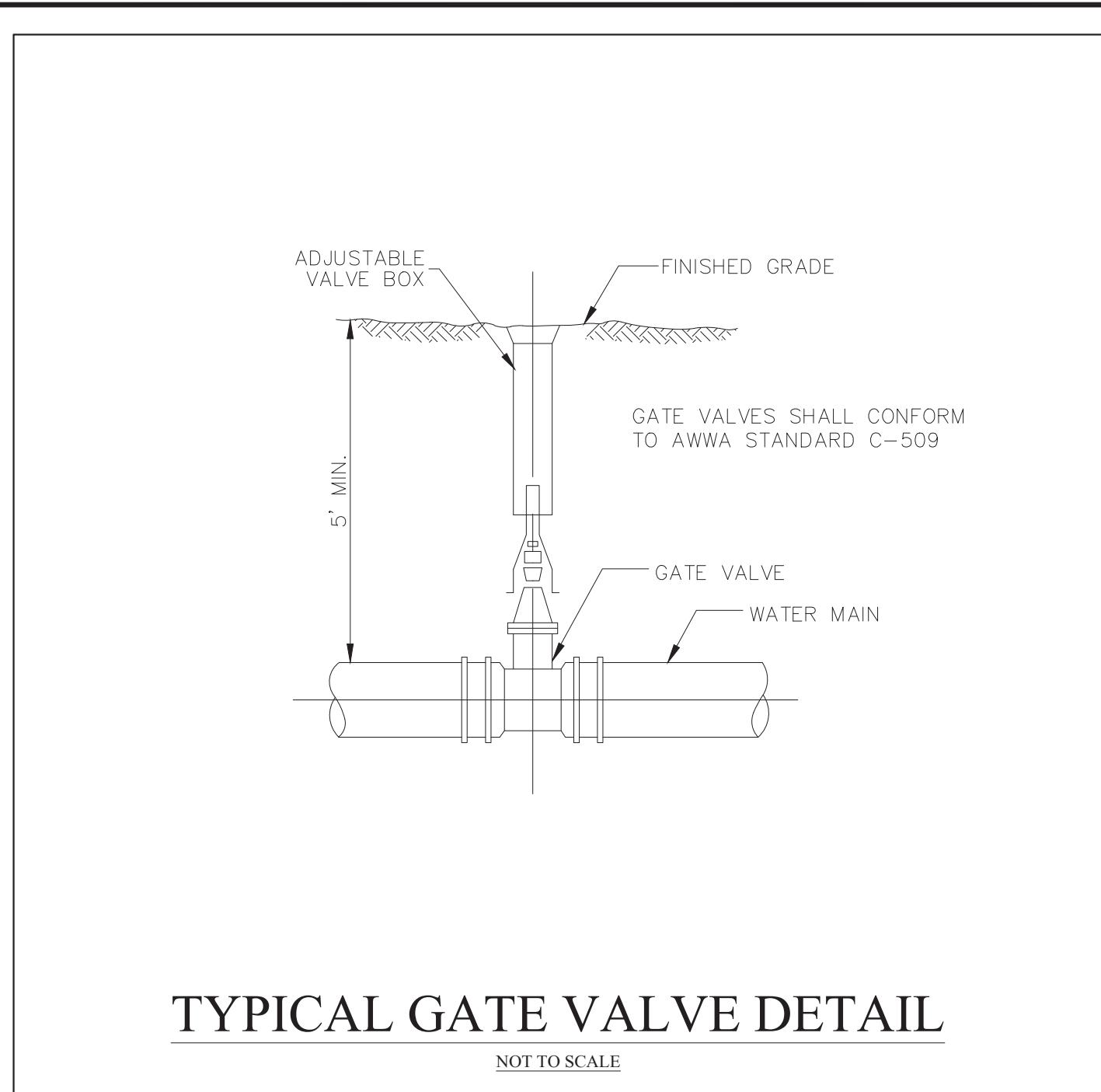
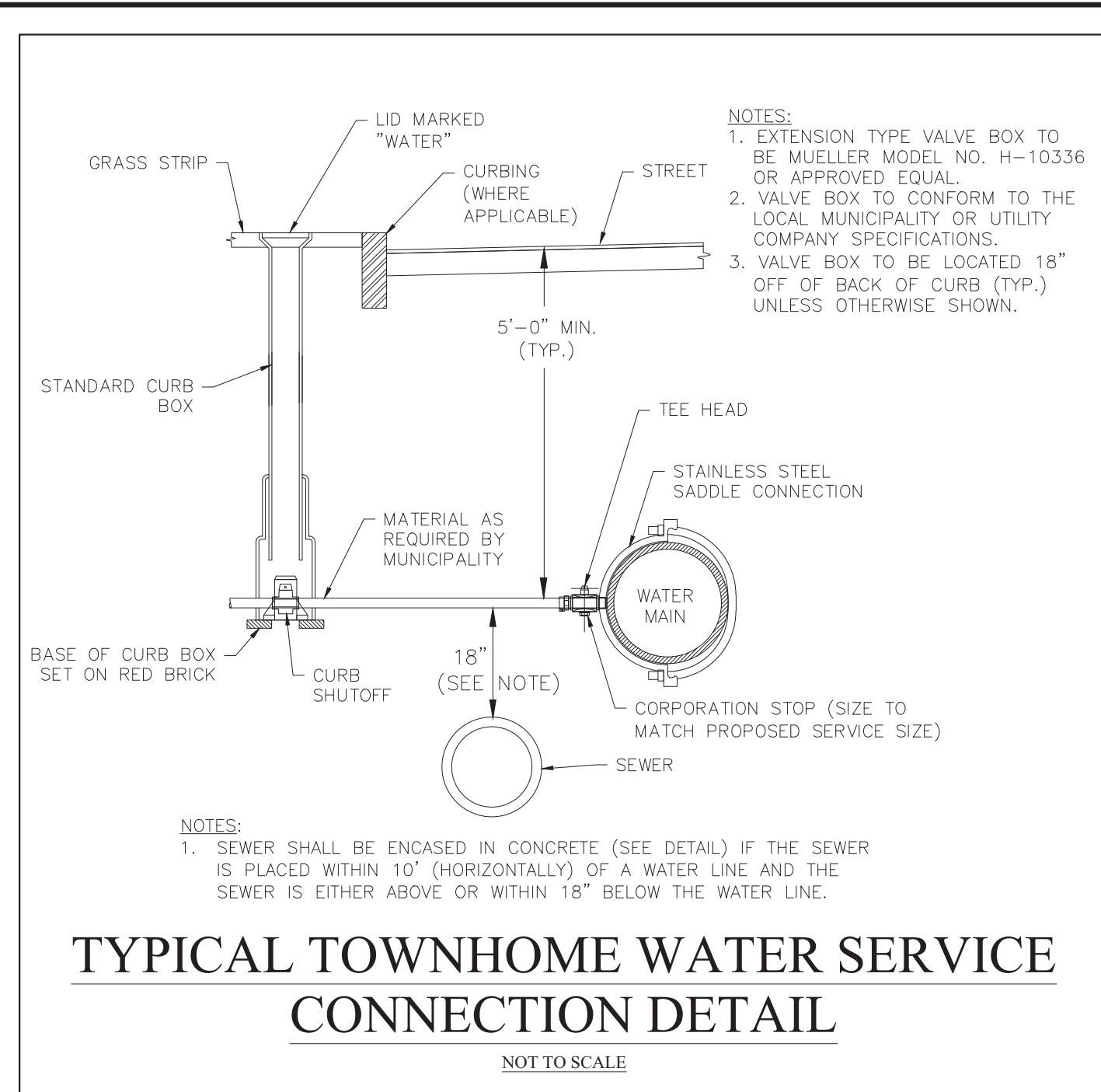
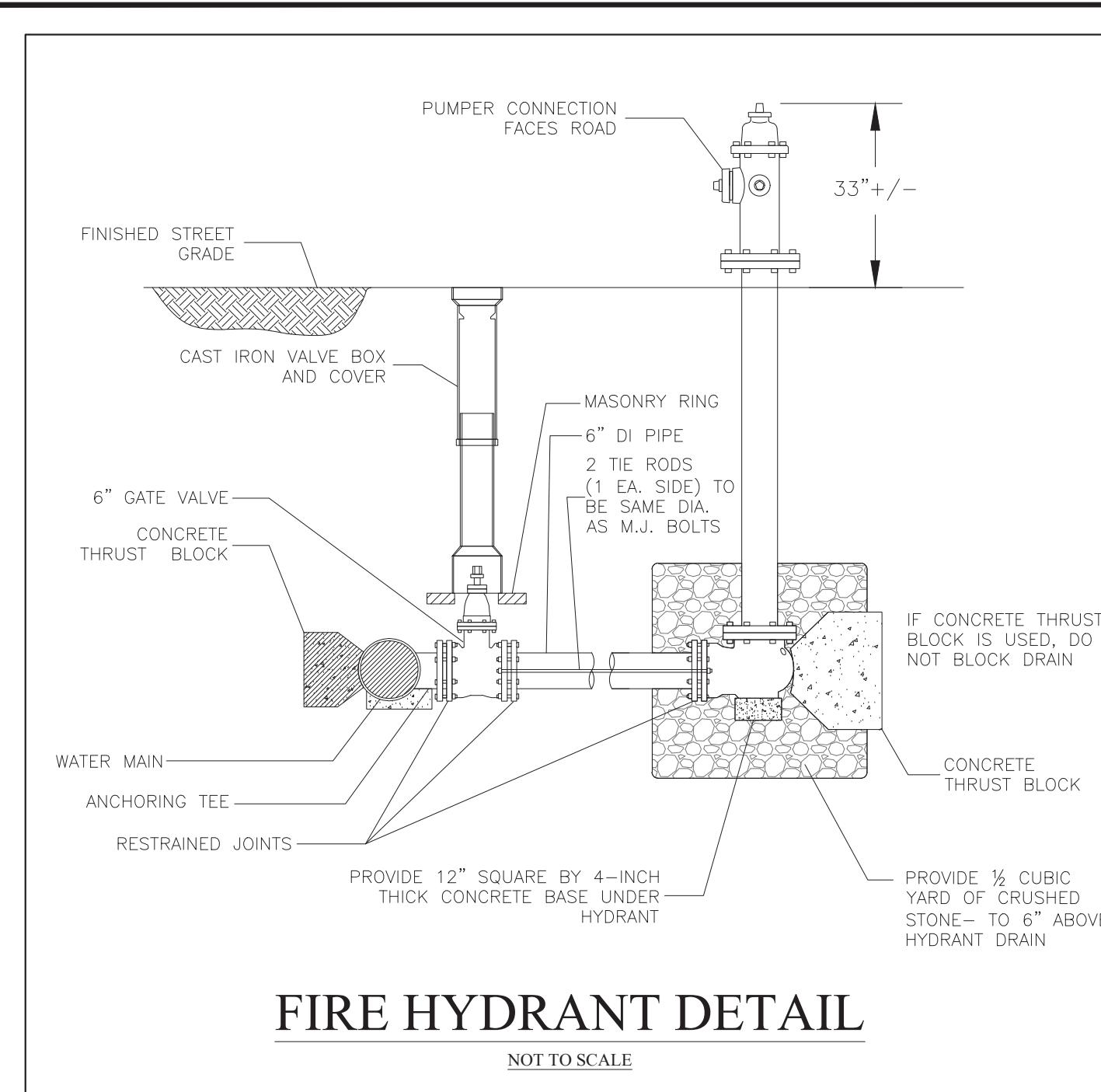
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SCALE:
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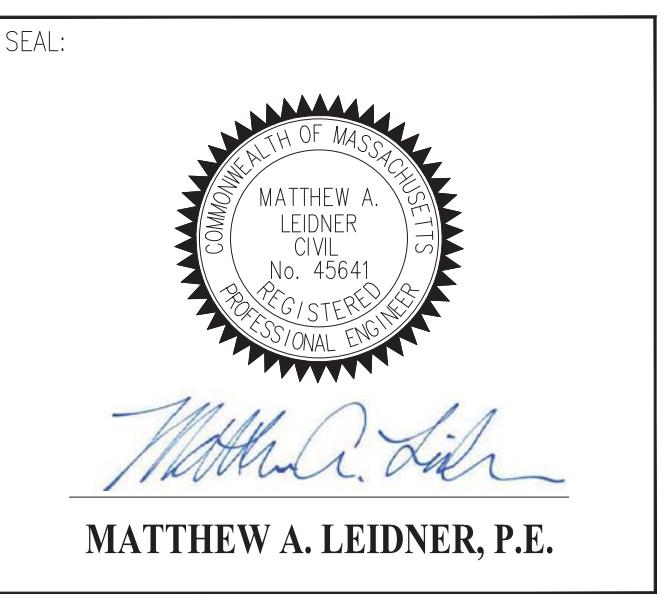
SHEET:
CONSTRUCTION DETAILS

WQU STRUCTURE	MODEL
CB-B	CONTECH CDS-2015-5
DMH-3	CONTECH CDS-1515-3
DMH-13	CONTECH CDS-1515-3
DMH-14	CONTECH CDS-2015-4
DMH-26	CONTECH CDS-2015-4
DMH-32	CONTECH CDS-2015-4
DMH-34	CONTECH CASCADE CS-4





NOT FOR CONSTRUCTION		
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PLANNING BOARD:		

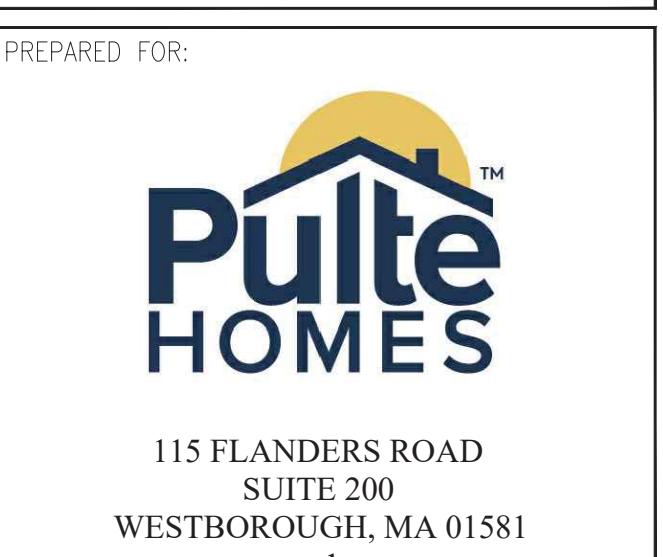
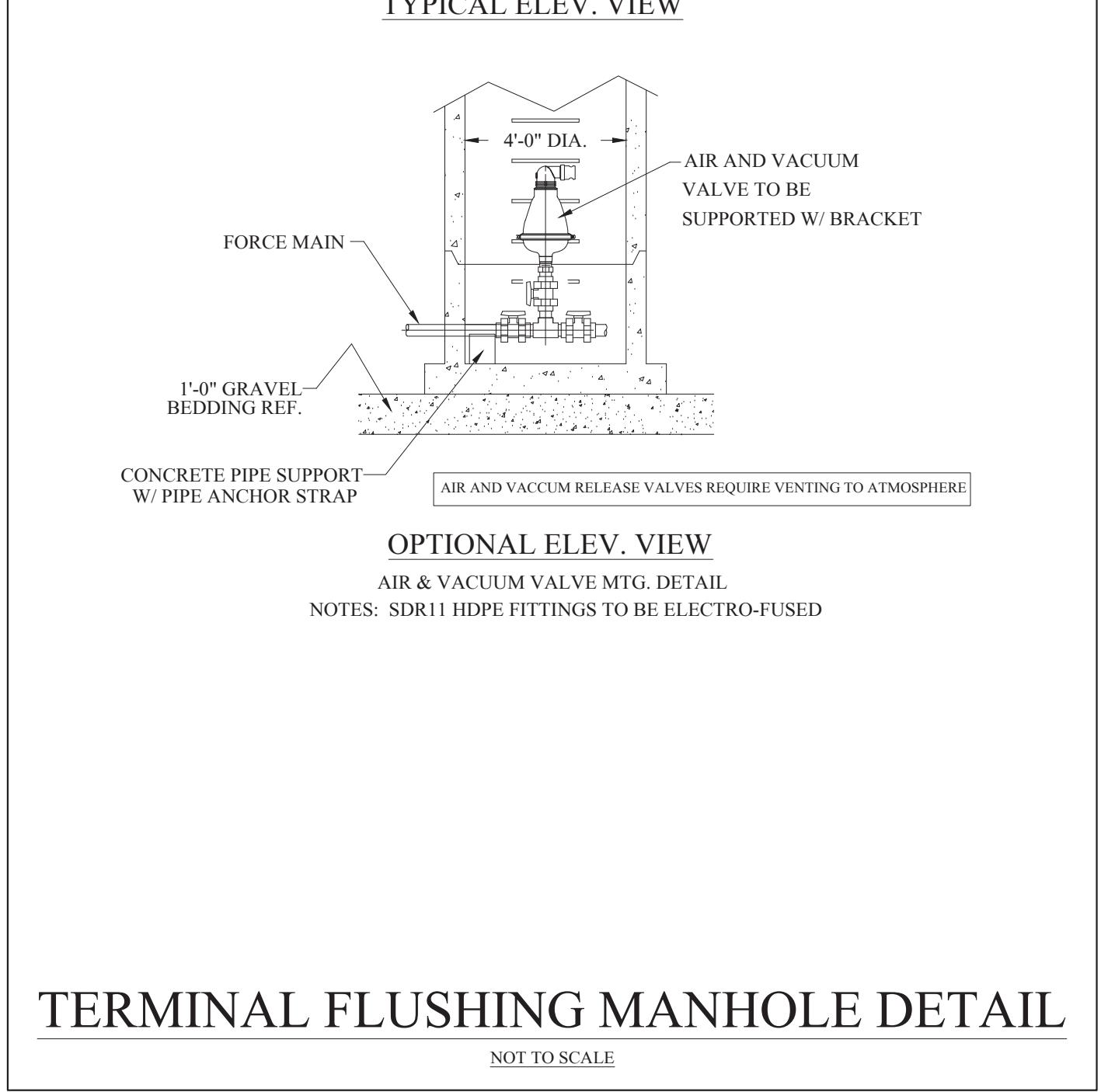
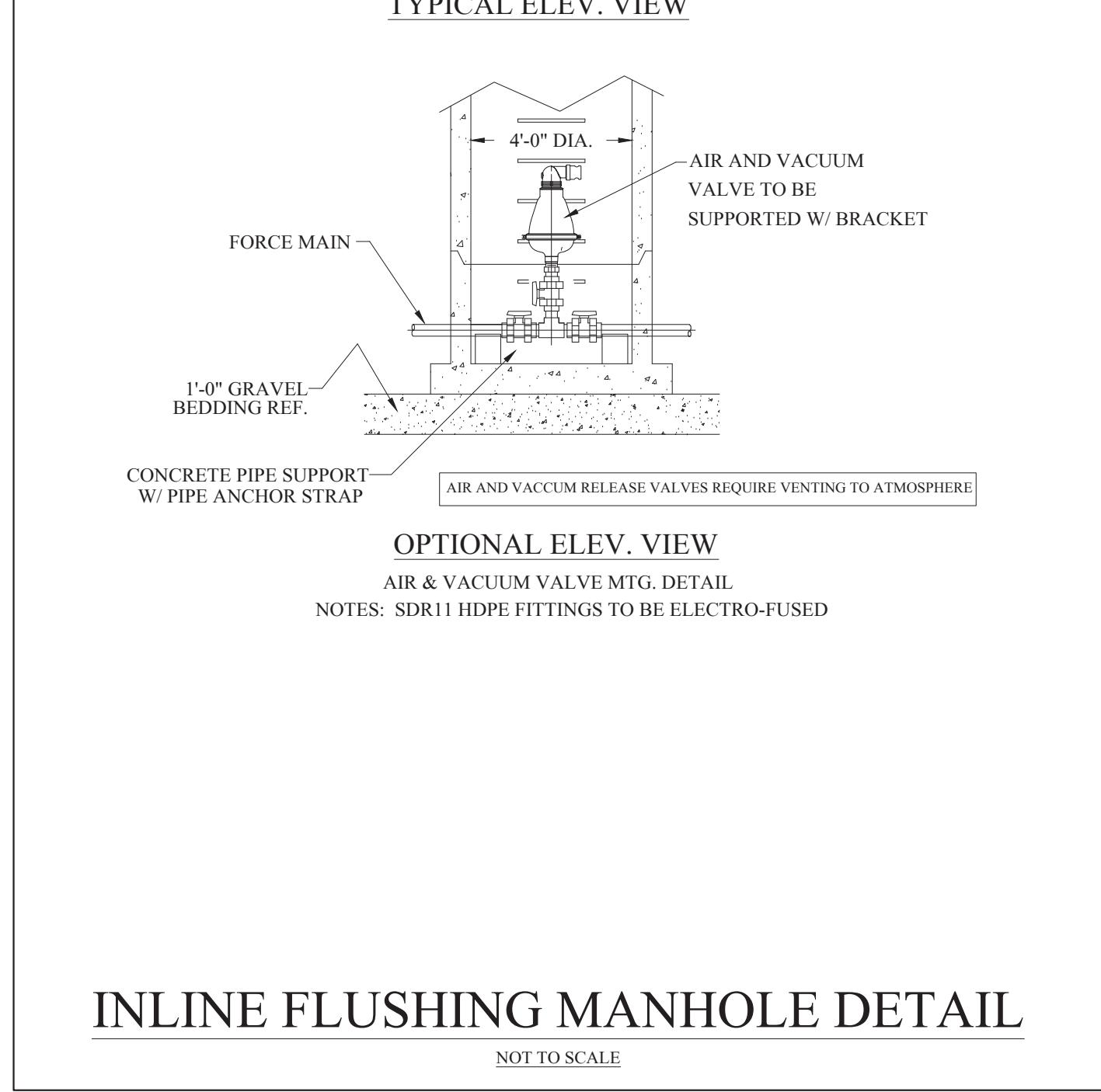
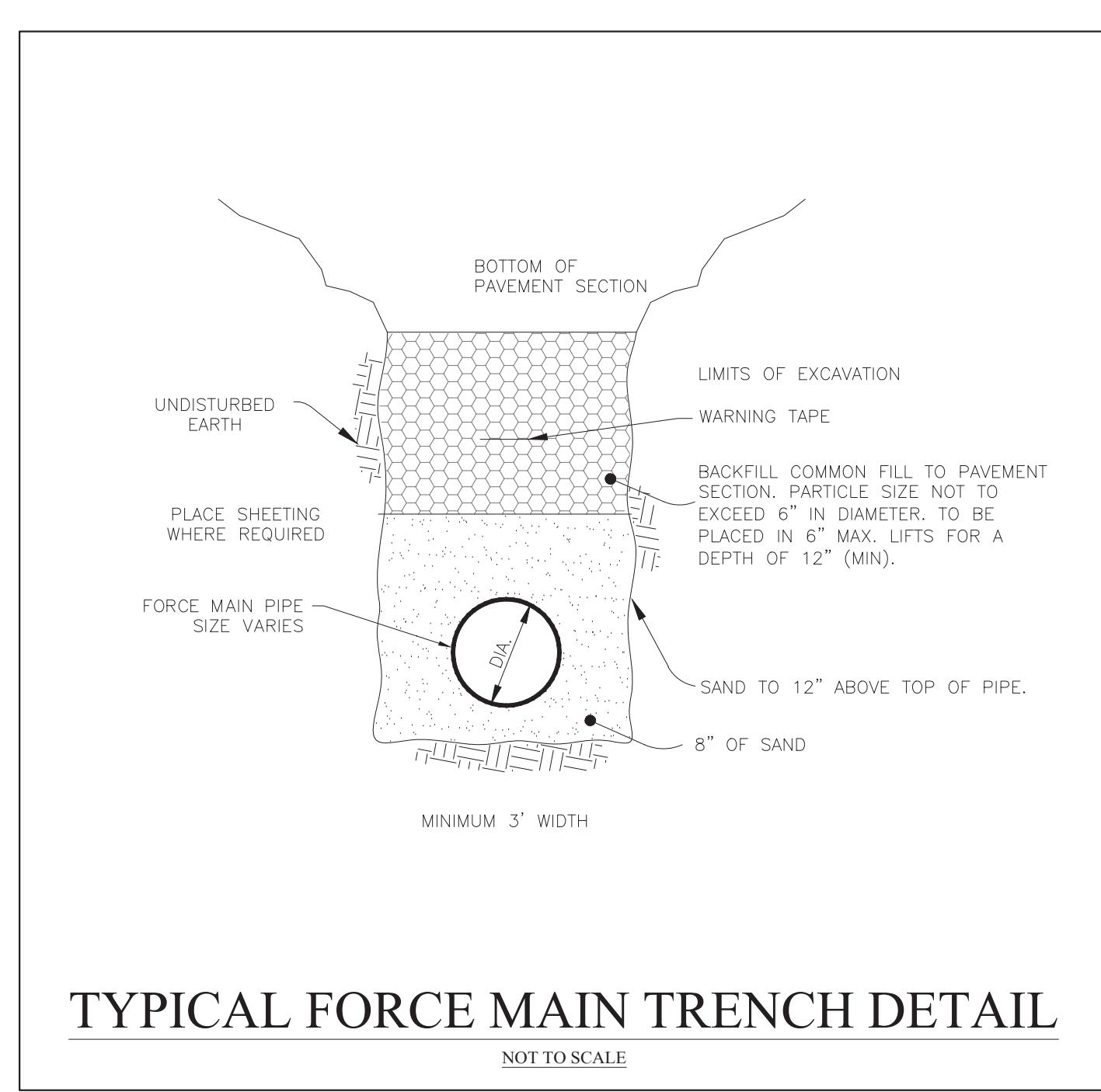
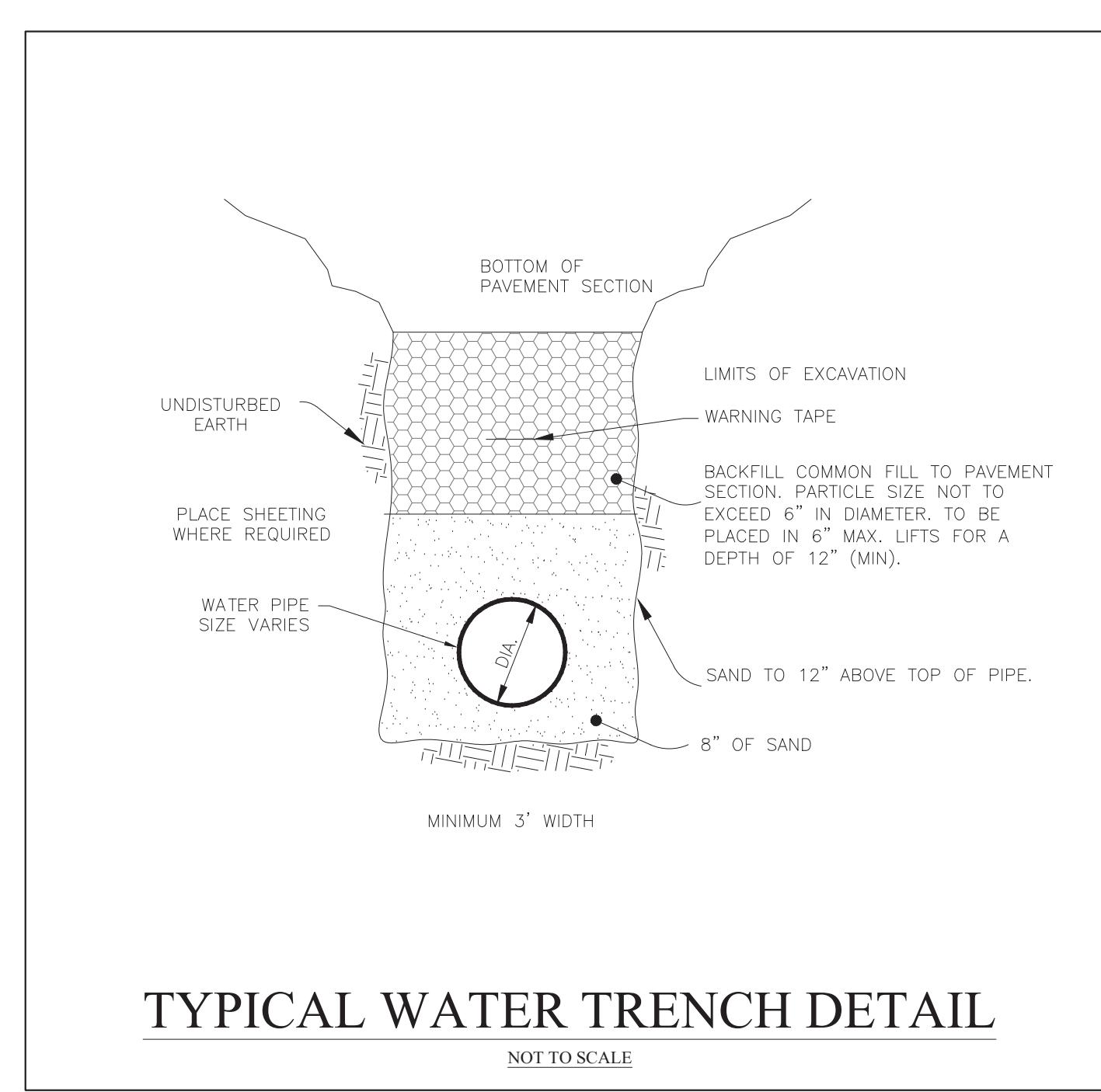
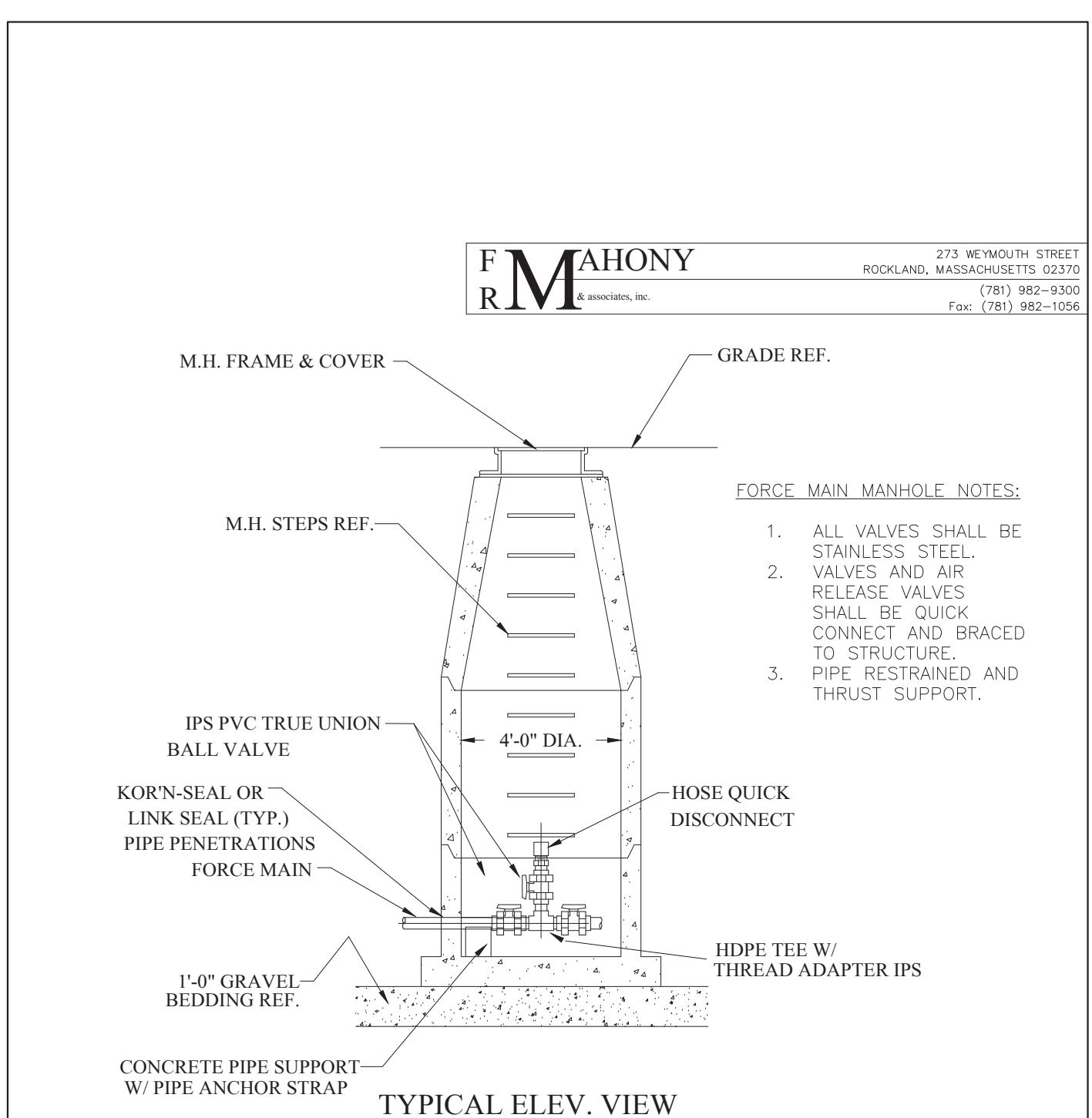
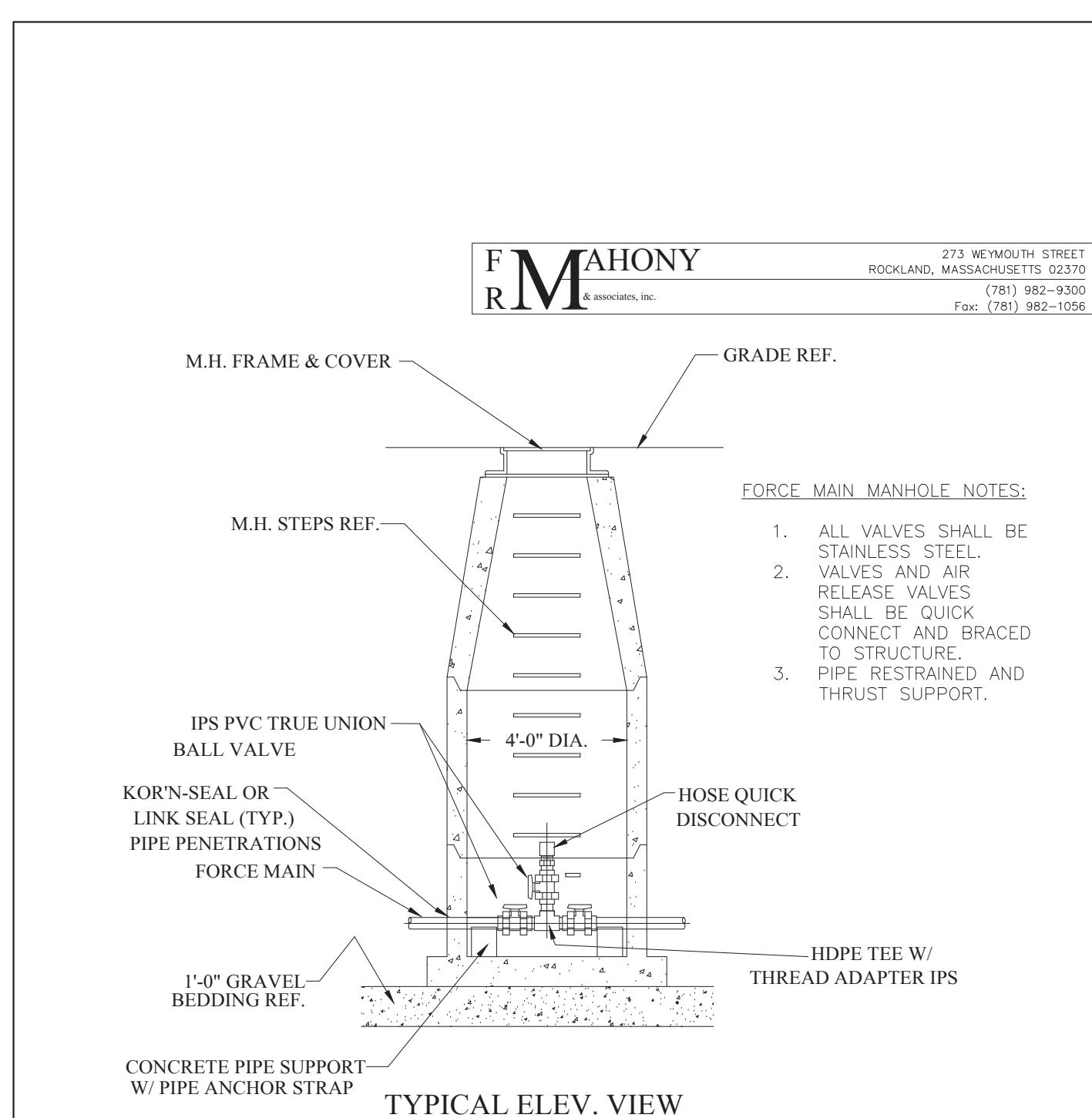
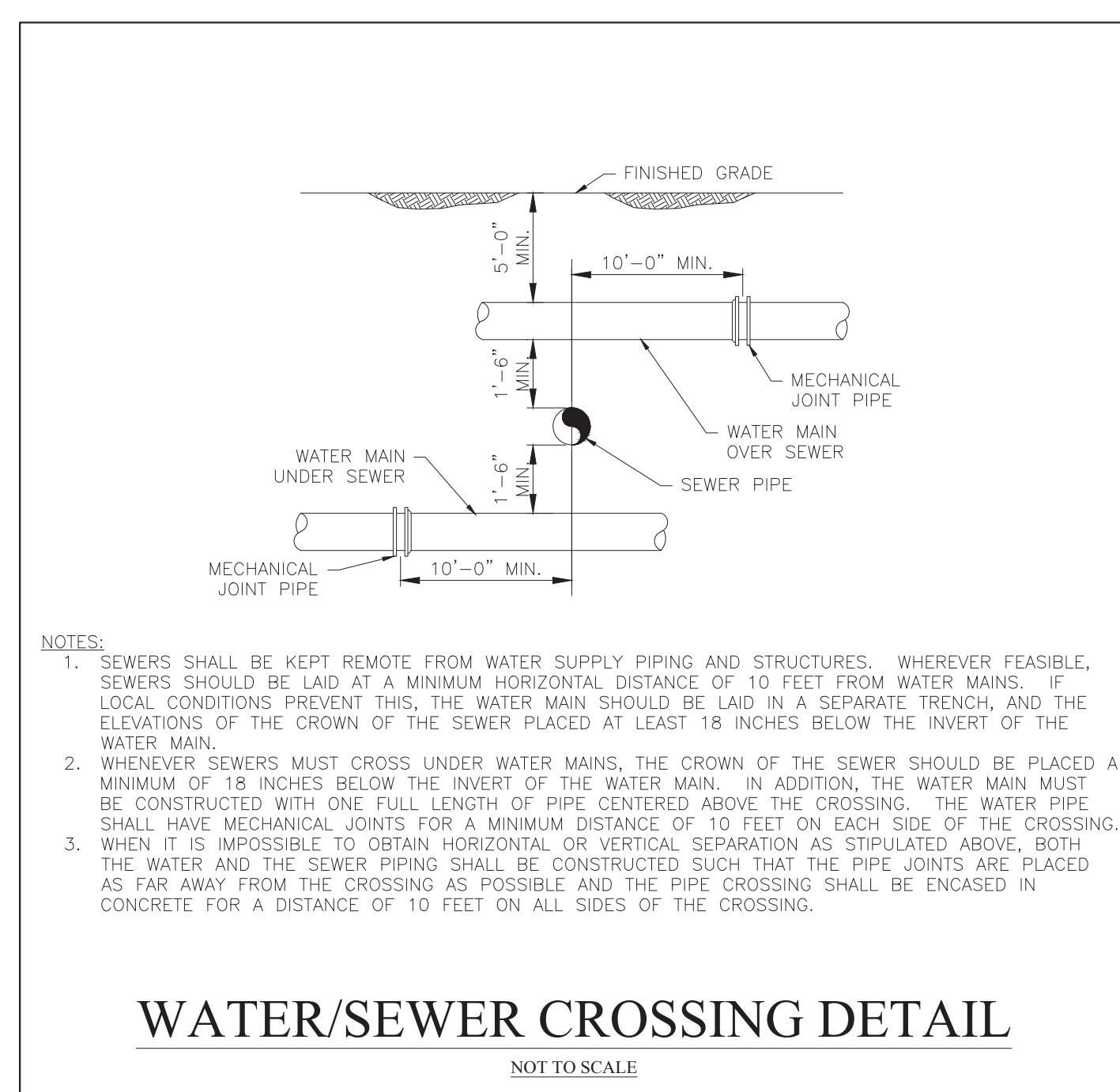
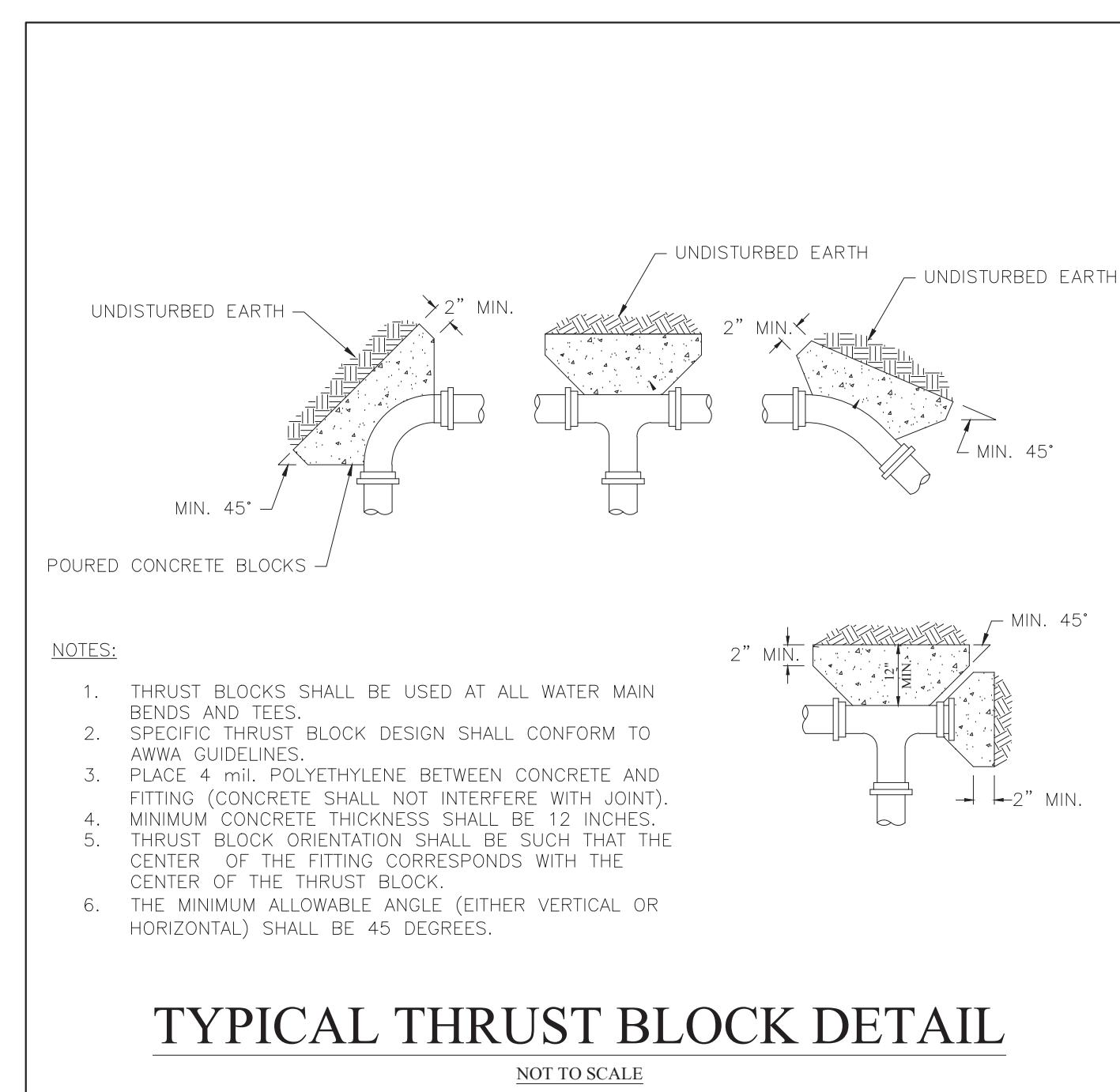


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SCALE:
AS-NOTED

SHEET:
CONSTRUCTION
DETAILS

28

DATE: 07/29/2021