



TOWN OF SHERBORN  
DEPARTMENT OF PUBLIC WORKS  
7 BUTLER STREET, SHERBORN, MA 01770  
508-651-7878

February 16, 2021

Sherborn Zoning Board of Appeals  
19 Washington Street  
Sherborn, MA 01770

Dear ZBA Members,

As Director of Sherborn's Department of Public Works, responsible for Town's roadway infrastructure and related traffic and safety issues, I have concerns regarding the use of Powder House Lane as the sole access to the proposed development of 41 North Main.

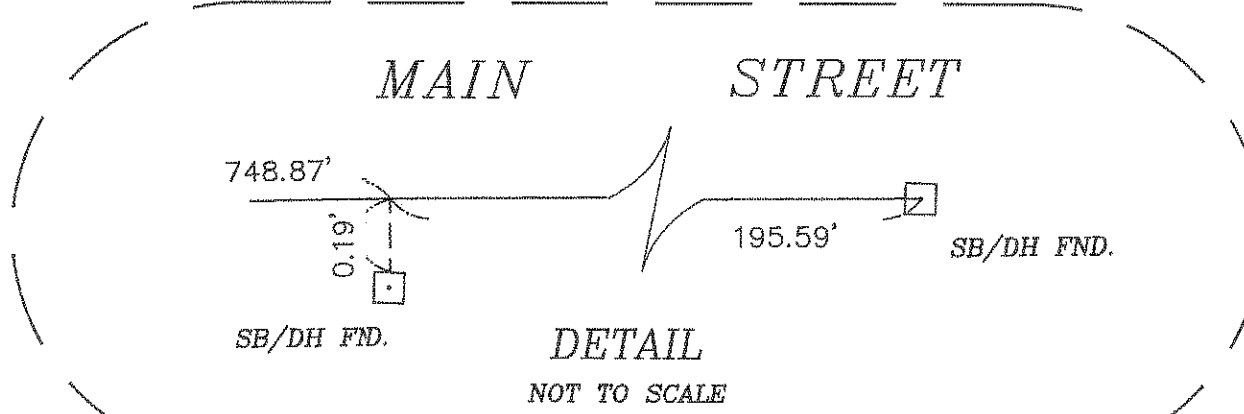
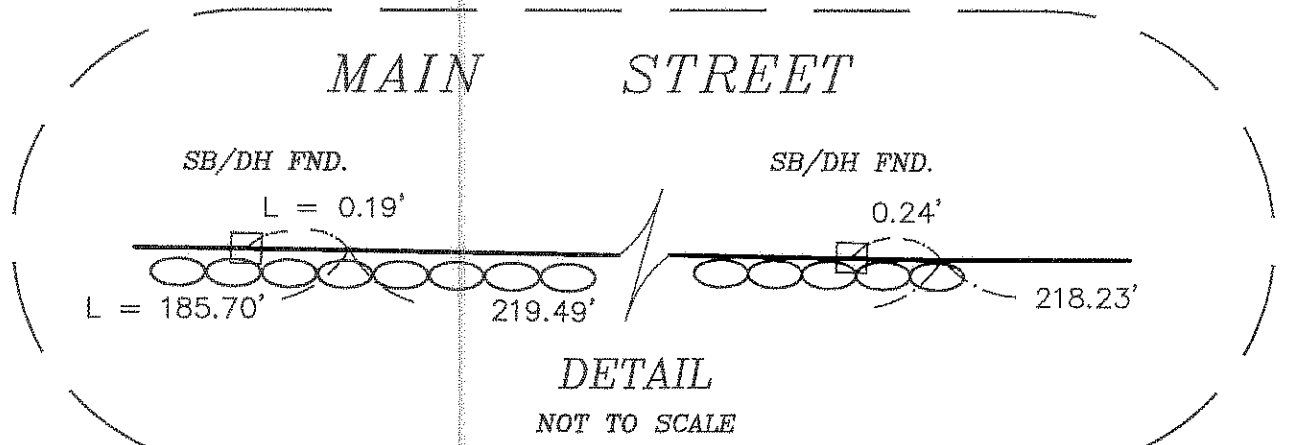
While the width of Powerhouse Lane is a public 50' right-of-way as noted in attached Plan Book 2000 page 142, the entering and exiting of vehicles from Powderhouse onto this portion of North Main Street, comprised of merged state routes 16 and 27, has long been identified as a challenge. Several hundred yards north of Powderhouse lane the two state routes split at an intersection with 27 continuing north into Natick Center and 16 heads east as Eliot Street and is also the entrance for cars and buses accessing Pine Hill Elementary School. Also at intersection is a currently used entrance to existing residences at 41 North Main.

In 2017 Sherborn worked with Green International as part of Tier 2 Complete Streets project to identify and prioritize roadway improvements for both vehicle and pedestrian safety. Attached is a slide from the 2017 presentation to Sherborn's Select Board showing potential improvements to the Eliot Street intersection. As design infrastructure details related to 61A concerns are not finalized, my department has not reviewed all traffic safety concerns in depth. This letter is to highlight a long-standing concern for traffic circulation at this particular point in town center.

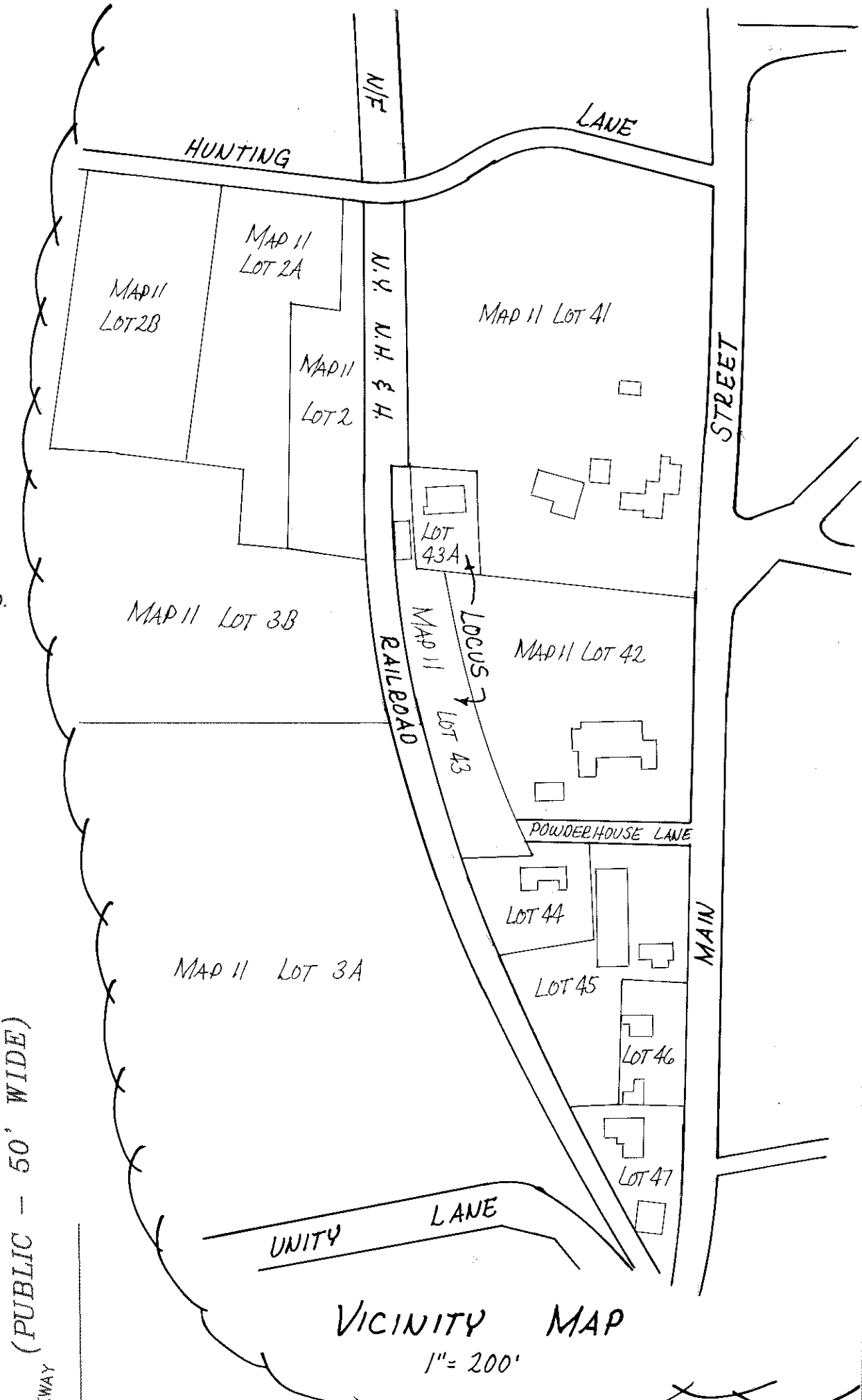
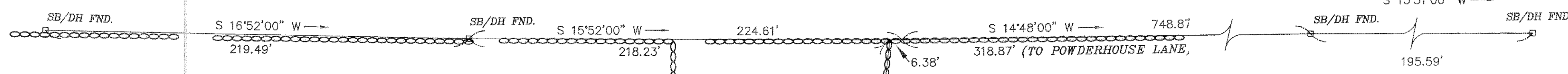
Regards,

A handwritten signature in blue ink, appearing to read "Sean Killeen".

Sean Killeen  
Director of Public Works/ Facilities Manager



MAIN STREET (1931 COUNTY LAYOUT PUBLIC VARIABLE WIDTH) STREET



- NOTES:**
- SUBJECT PARCEL IS SHOWN AS ASSESSORS SHEET 11, LOT 43 & 43A, RECORD TITLE FROM BOOK 29312, PAGE 66.
  - THIS PLAN IS THE RESULT OF AN ON-GROUND SURVEY PERFORMED BY METROWEST ENGINEERING, INC. UTILITY LOCATIONS ARE BASED ON FIELD OBSERVATIONS, AVAILABLE RECORDS AND INFORMATION. METROWEST ENGINEERING, INC. DOES NOT WARRANT LOCATION, CHARACTER NOR ELEVATIONS OF ALL UNDERGROUND UTILITIES NOR THE LOCATION NOR CHARACTER OF SURFACE IMPROVEMENTS THE OBSERVATION OF WHICH WAS OBTAINED AT THE TIME OF THE SURVEY. THE SURVEY WAS PERFORMED IN FEBRUARY, 1998.
  - THIS PARCEL IS SUBJECT TO EASEMENTS AND RIGHTS OF WAY RESERVED IN BOOK 6348, PAGE 314, BOOK 7919, PAGE 183, BOOK 9278, PAGE 97 AND BOOK 10314, PAGE 518. THIS PARCEL HAS THE BENEFIT OF A SPECIAL PERMIT RECORDED IN BOOK 15290, PAGE 159.
  - THE PURPOSE OF THIS PLAN IS TO COMBINE TWO ASSESSOR'S LOTS, HELD IN COMMON OWNERSHIP, INTO ONE PARCEL.

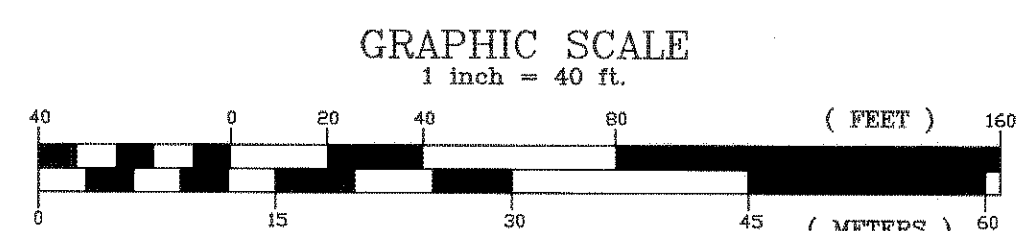
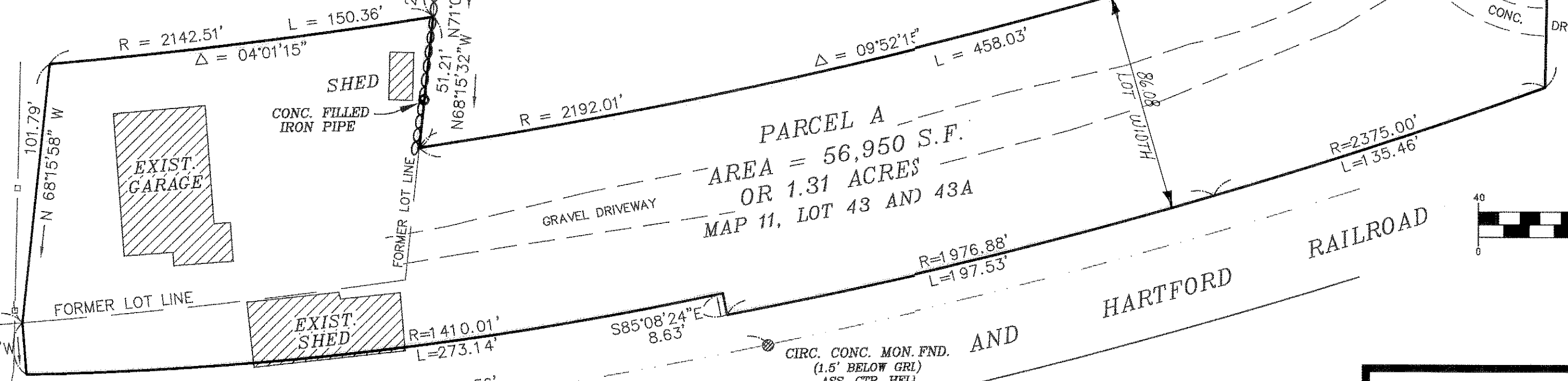
- LEGEND**
- BERM
  - DRAIN CATCH BASIN
  - DRAIN LINE
  - DRAIN MANHOLE
  - DRAIN OUTFALL
  - ELECTRIC LINE
  - ENCROACHMENT NOTE
  - FENCE
  - GAS LINE
  - GAS GATE
  - CURB
  - GUARD POST
  - HANDICAP PARKING SPACE
  - HYDRANT
  - LIGHTPOST
  - NUMBER OF PARKING SPACES
  - OBSERVATION WELL
  - PAVEMENT EDGE
  - SEWER LINE
  - SIGN
  - SEWER MANHOLE
  - TELEPHONE MANHOLE
  - TELEPHONE LINE
  - UTILITY MANHOLE
  - UTILITY POLE
  - WATER GATE
  - WATER LINE

**ZONING:**  
**BUSINESS G**  
 MINIMUM AREA= NOT APPLICABLE  
 MINIMUM FRONTAGE= 100 FEET  
 SETBACKS:  
 FRONT YARD= 100 FEET  
 SIDE YARD= 15 FEET  
 REAR YARD= NOT APPLICABLE  
 MAXIMUM HEIGHT= 35 FEET OR 2.5 STORIES  
 MINIMUM LOT WIDTH= 100 FEET  
 MAXIMUM LOT COVERAGE= 0.33

N/F  
 KENT A. FITZPATRICK  
 MAP 11, LOT 41  
 DEED BK. 24867, PG. 145

N/F  
 1760 EATING & DRINKING SOCIETY  
 MAP 11, LOT 42  
 DEED BK. 22660, PG. 578  
 (SHERBORN INN)

N/F  
 MURRAY W. RANDALL  
 MAP 11, LOT 44



SHERBORN PLANNING BOARD  
 APPROVAL UNDER SUBDIVISION CONTROL LAW NOT REQUIRED

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 DATE: 1/12/00

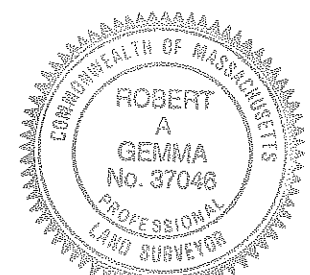
**REFERENCES**

- MIDDLESEX COUNTY REGISTRY OF DEEDS
- DEEDS:  
 BOOK 14479, PAGE 130  
 BOOK 24867, PAGE 145
- PLANS:  
 PLAN 427 OF 1981  
 PLAN 661 OF 1981  
 PLAN 1330 OF 1981  
 PLAN 1038 OF 1983  
 PLAN 201 OF 1940

PLAN BOOK 419, PLAN #1  
 PLAN BOOK 153, PLAN #13  
 RAILROAD VALUATION MAP V.7 31/18

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED IN ACCORDANCE WITH THE PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.



\_\_\_\_\_  
 ROBERT A. GEMMA, P.L.S. # 37048 DATE 12/7/99

Middlesex Registry of Deeds,  
 Southern District  
 Cambridge, Massachusetts

Plan No. 142 of 2000  
 Rec'd 2-14 2000  
 at 12:55 p.m. Doc No. 529  
 Rec'd, Bk 31133 Page 578

Attest  
 \_\_\_\_\_  
 Register

**PLAN OF LAND**  
 IN  
 SHERBORN, MASS  
 (MIDDLESEX COUNTY)

PREPARED FOR:  
 KENT A. FITZPATRICK  
 TRUSTEE OF ORCHARD HILL TRUST  
 41 NORTH MAIN STREET  
 SHERBORN, MA 01770

PROPERTY OF:  
 ORCHARD HILL TRUST  
 6 POWDERHOUSE LANE  
 SHERBORN, MA 01770

ENGINEERS & SURVEYORS:  
**MWE** METROWEST ENGINEERING, INC.  
 75 FRANKLIN STREET  
 FRAMINGHAM, MA 01702  
 TELE.: (508)626-0063

SHEET 1 OF 1 DATE: DECEMBER 7, 1999

CALC'D BY: MDC FIELD BK: 302 CAD FILE: FITZP3  
 DRAFTER: MDC PROJECT: SHB\_NMA DWG FILE:

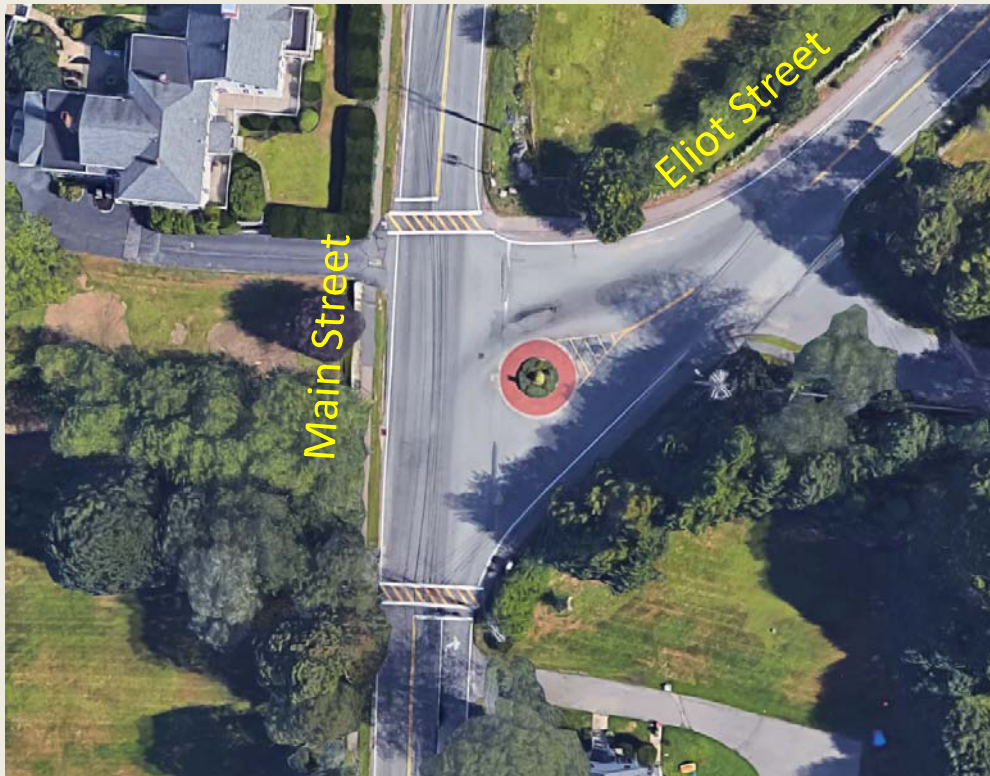
142

PL120799





# Main Street/Eliot Street Signal Replacement & Intersection Reconstruction Project



Cost Estimate: \$500,000