

SITE DEVELOPMENT PLANS FOR THE PINES RESIDENCES

41 NORTH MAIN STREET SHERBORN, MA 01770

OWNER/APPLICANT:
BARSKY ESTATE REALTY TRUST
23 HUNTING LANE
SHERBORN, MA 01770

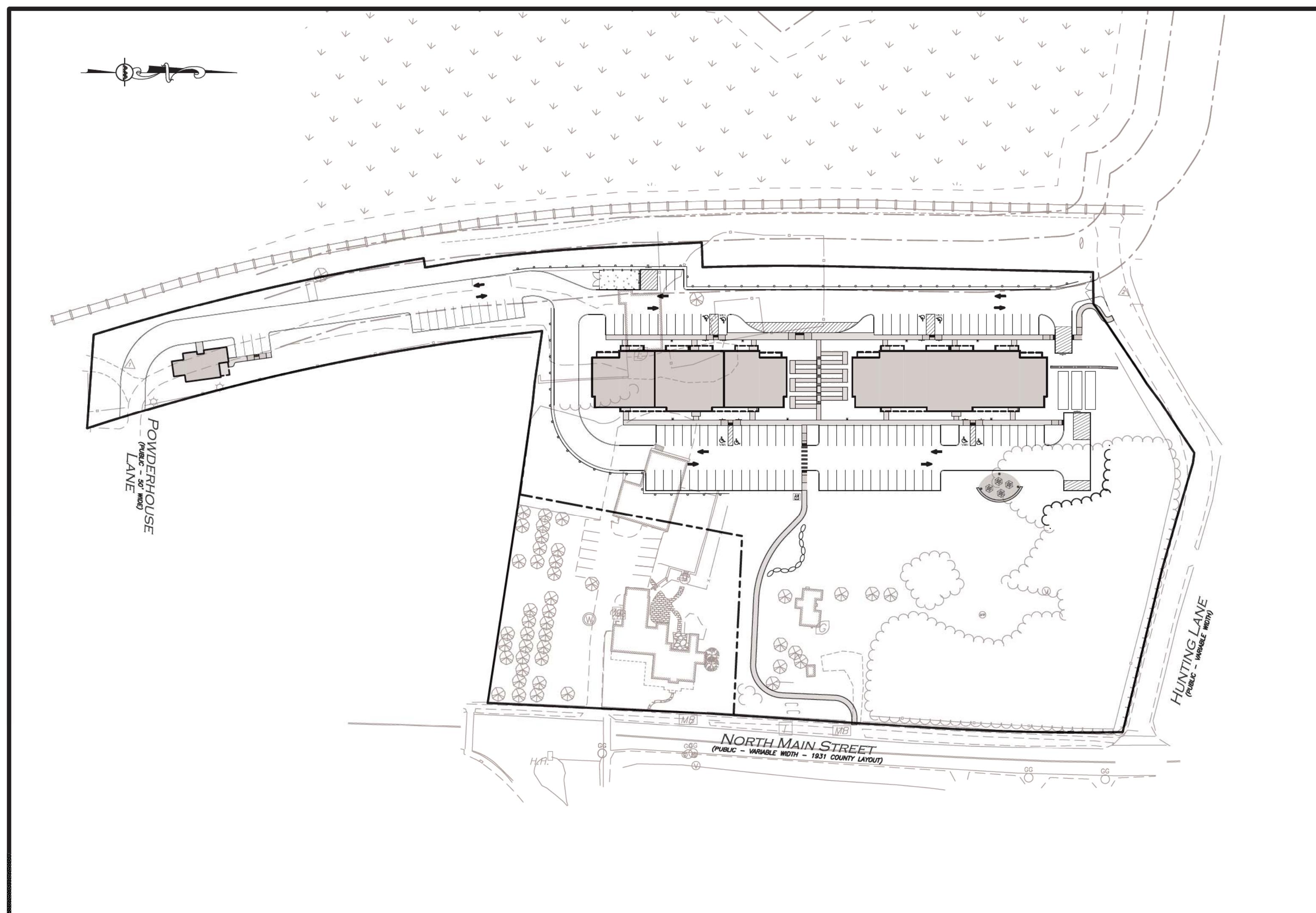
SITE ENGINEER & LAND SURVEYOR:
ALLEN & MAJOR ASSOCIATES, INC.
100 COMMERCE WAY
WOBURN, MA 01801

40B CONSULTANT
LDS CONSULTING GROUP, LLC
233 NEEDHAM STREET
NEWTON, MA 02464

ARCHITECT:
DREAM COLLABORATIVE
31 ST. JAMES AVENUE, 6TH FLOOR
BOSTON, MA 02116

TRAFFIC ENGINEER:
VANASSE & ASSOCIATES INC
35 NEW ENGLAND BUSINESS CENTER DR.
SUITE 140
ANDOVER, MA 01810

WASTEWATER & DRINKING WATER ENGINEER:
ONSITE ENGINEERING, INC.
279 EAST CENTRAL STREET, PMB 241
FRANKLIN, MA 02038



LIST OF DRAWINGS			
DRAWING TITLE	SHEET NO.	ISSUED	REVISED
EXISTING CONDITIONS	V-101	09-01-20	-
BY-RIGHT SUBMISSION PLAN	C-101	10-01-20	-
LAYOUT & MATERIALS PLAN	C-102	10-01-20	-
GRADING & DRAINAGE PLAN	C-103	10-01-20	-
UTILITIES PLAN	C-104	10-01-20	-
DETAILS	C-501	10-01-20	-
DETAILS	C-502	10-01-20	-
DETAILS	C-503	10-01-20	-
DETAILS	C-504	10-01-20	-
DETAILS	C-505	10-01-20	-
DETAILS	C-506	10-01-20	-



PROFESSIONAL ENGINEER FOR
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100 COMMERCE WAY, SUITE 5

WOBURN, MA 01801

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FAX: (781) 935-2896

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ISSUED FOR ZBA APPLICATION: OCTOBER 1, 2020

R:\PROJECTS\2513-01A\CMIL\DRAWINGS\CURRENT\C-2513-01A_COVER SHEET.DWG

WE HEREBY CERTIFY THAT:

THIS PLAN IS THE RESULT OF AN ACTUAL ON THE GROUND SURVEY PERFORMED ON OR BETWEEN JULY 11, 2018 AND JULY 16, 2018. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS DATED JANUARY 1, 1978 AND REVISED JANUARY 12, 1988.

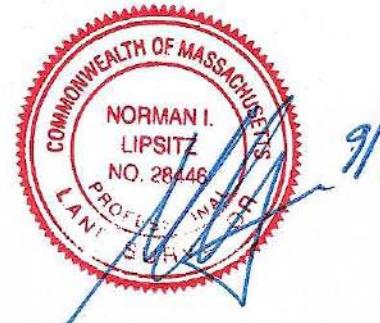
ACCORDING TO DEEDS AND PLANS OF RECORD, THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIP, AND THE LINES OF THE STREETS OR WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS AND WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR THE DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

THE ABOVE CERTIFICATION IS INTENDED TO MEET REGISTRY OF DEEDS REQUIREMENTS FOR THE RECORDING OF PLANS AND IS NOT A CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE SHOWN ACCORDING TO CURRENT TOWN OF SHERBORN ASSESSOR'S INFORMATION.

THE ABOVE IS CERTIFIED TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF.

ALLEN & MAJOR ASSOCIATES, INC.

Sept 14, 2020
PROFESSIONAL LAND SURVEYOR FOR
ALLEN & MAJOR ASSOCIATES, INC.



LOCUS REFERENCES

-RECORD OWNER: BARKS ESTATE REALTY TRUST
-TOWN OF SHERBORN ASSESSORS MAP 11, LOTS 41 & 43
-DEED BOOK 68954, PAGE 354

PLAN REFERENCES

-1931 COUNTY LAYOUT OF NORTH MAIN STREET
-PLAN 201 OF 1940
-PLAN 1038 OF 1963
-PLAN 427 OF 1981
-PLAN 1330 OF 1981

NOTES

1. NORTH ARROW IS BASED ON MASSACHUSETTS GRID COORDINATE SYSTEM (MAINLAND ZONE) (NAD 83).
2. BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM MIDDLESEX (SOUTH) REGISTRY OF DEEDS IN CAMBRIDGE, MA.
3. VERTICAL DATUM IS NAVD 88.
4. CONTOUR INTERVAL IS ONE FOOT (1').

FOR REGISTRY USE ONLY

BENCHMARK SUMMARY

TBM #	DESCRIPTION	ELEV.
▲	RAILROAD SPIKE SET IN UTILITY POLE	175.46
▲	RAILROAD SPIKE SET IN UTILITY POLE	173.33

LEGEND

DRILL HOLE (DH)	◎
STONE BOUND (SB)	□
IRON PIPE (IP)	○
SEPTIC COVER	◎
MISC. MANHOLE (MH)	◎
CATCH BASIN (CB)	□
UTILITY POLE	□
UTILITY POLE W/LIGHT	□
GUY WIRE	□
GAS GATE	□
INVERT (INV)	□
LIGHT	□
TRAFFIC MAST	□
AIR CONDITIONER	□
IRRIGATION CONTROL VALVE	□
TELEPHONE BOX	□
SIGN	□
VENT	□
MAILBOX	□
TREE	□
BRICK	□
LANDSCAPED AREA (LSA)	□
FLAGSTONE WALK	□
BUILDING	---
BUILDING OVERHANG	---
1' CONTOUR	---
5' CONTOUR	---
PROPERTY LINE	---
ABUTTERS LINE	---
STONE WALL	---
CONCRETE RETAINING WALL	---
TREE LINE	---
EDGE OF PAVEMENT	---
EDGE OF GRAVEL	---
EDGE OF BRICK	---
CURB	---
CHAIN LINK FENCE	---
STOCKADE FENCE	---
VINYL FENCE	---
OVERHEAD WIRES	---
FINISHED FLOOR ELEVATION	---
BITUMINOUS	---
CONCRETE	---
GRANITE	---
FOUND	---
NOW OR FORMERLY	---
BOOK	---
PAGE	---
FFE	---
BIT.	---
CONC.	---
GRAN.	---
FND	---
N/F	---
BK.	---
PG.	---

REV DATE DESCRIPTION
APPLICANT/OWNER:

BARKS ESTATE REALTY TRUST
23 HUNTING LANE
SHERBORN, MA 01770

PROJECT:

41-43 NORTH MAIN STREET
SHERBORN, MA

PROJECT NO. 2513-01 DATE: 09/01/2020

SCALE: 1" = 40' DWG. NAME: S-2513-01

DRAFTED BY: AJR CHECKED BY: NIL

PREPARED BY:



ALLEN & MAJOR
ASSOCIATES, INC.

civil & structural engineering • land surveying
environmental consulting • landscape architecture

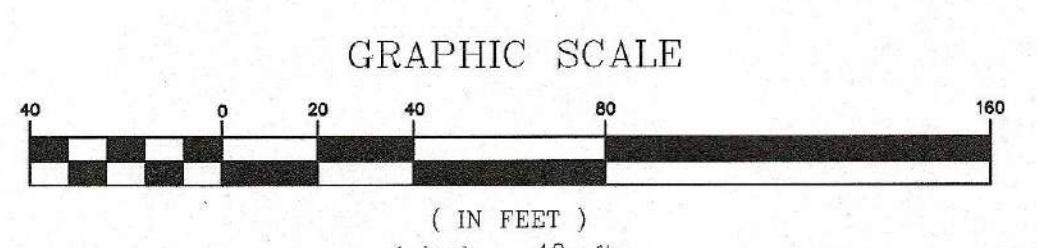
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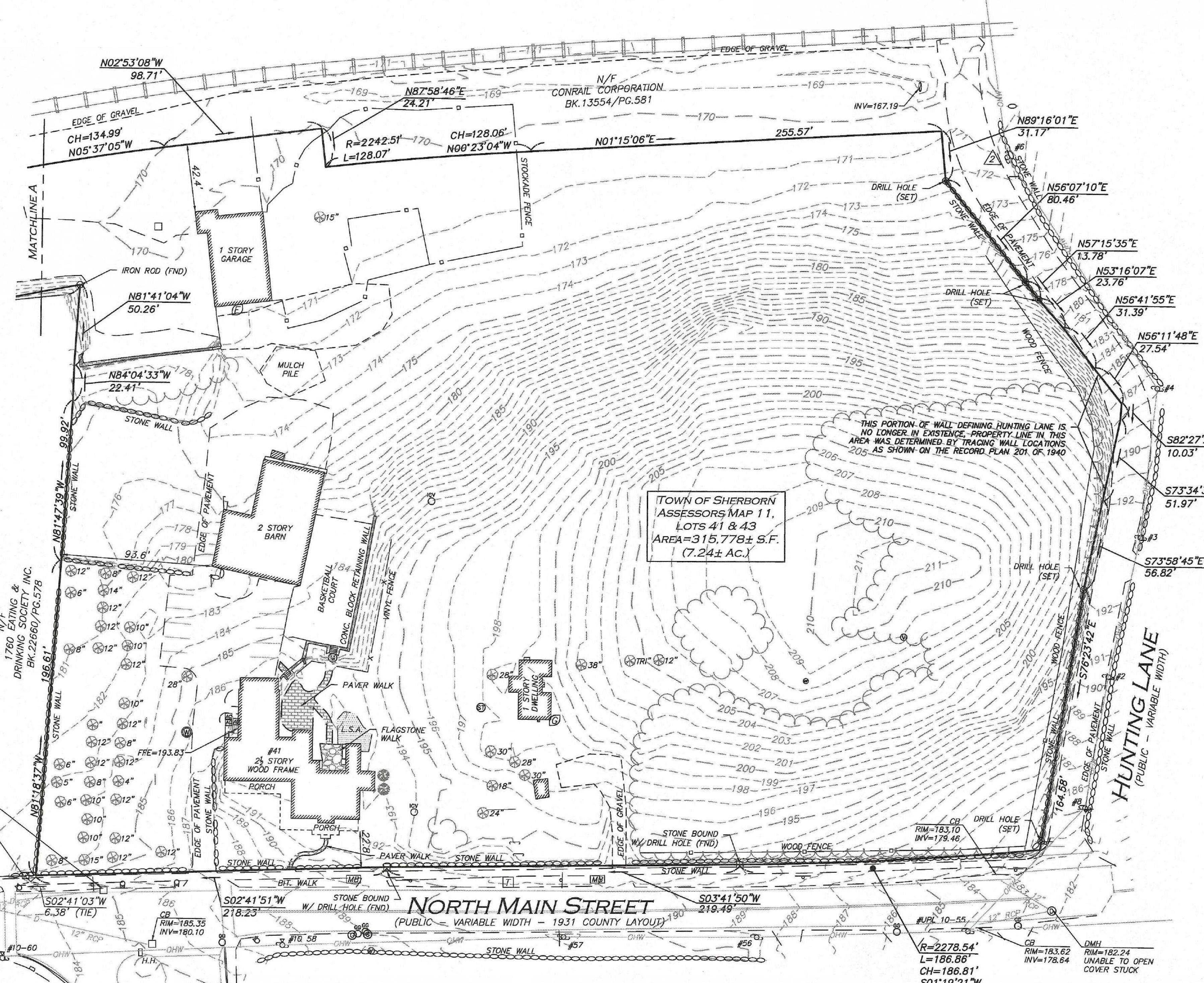
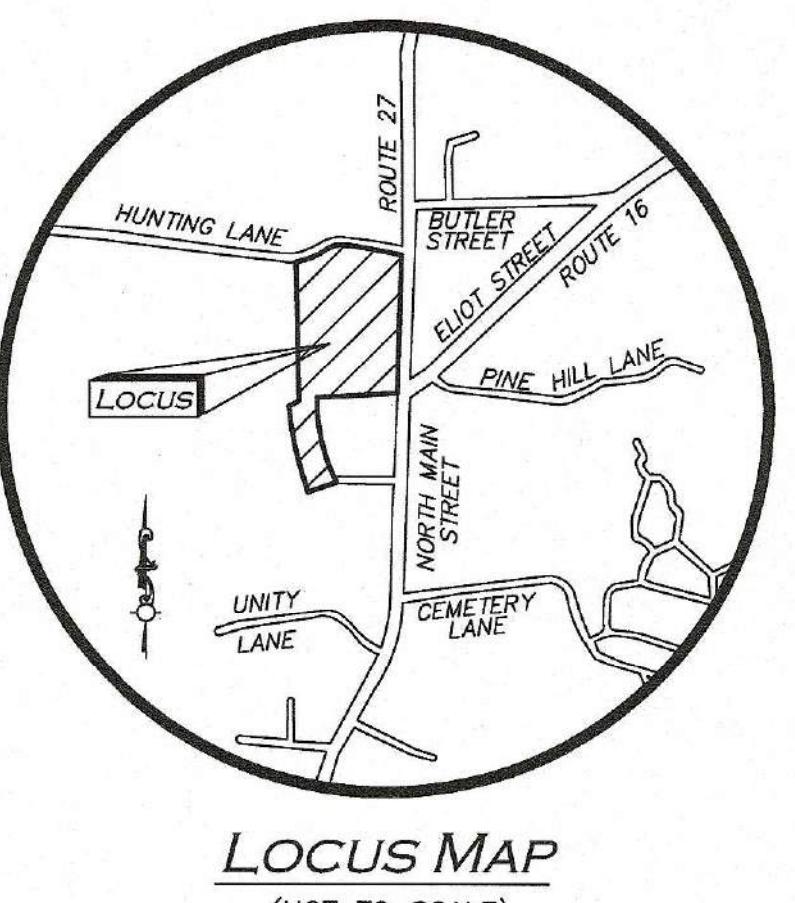
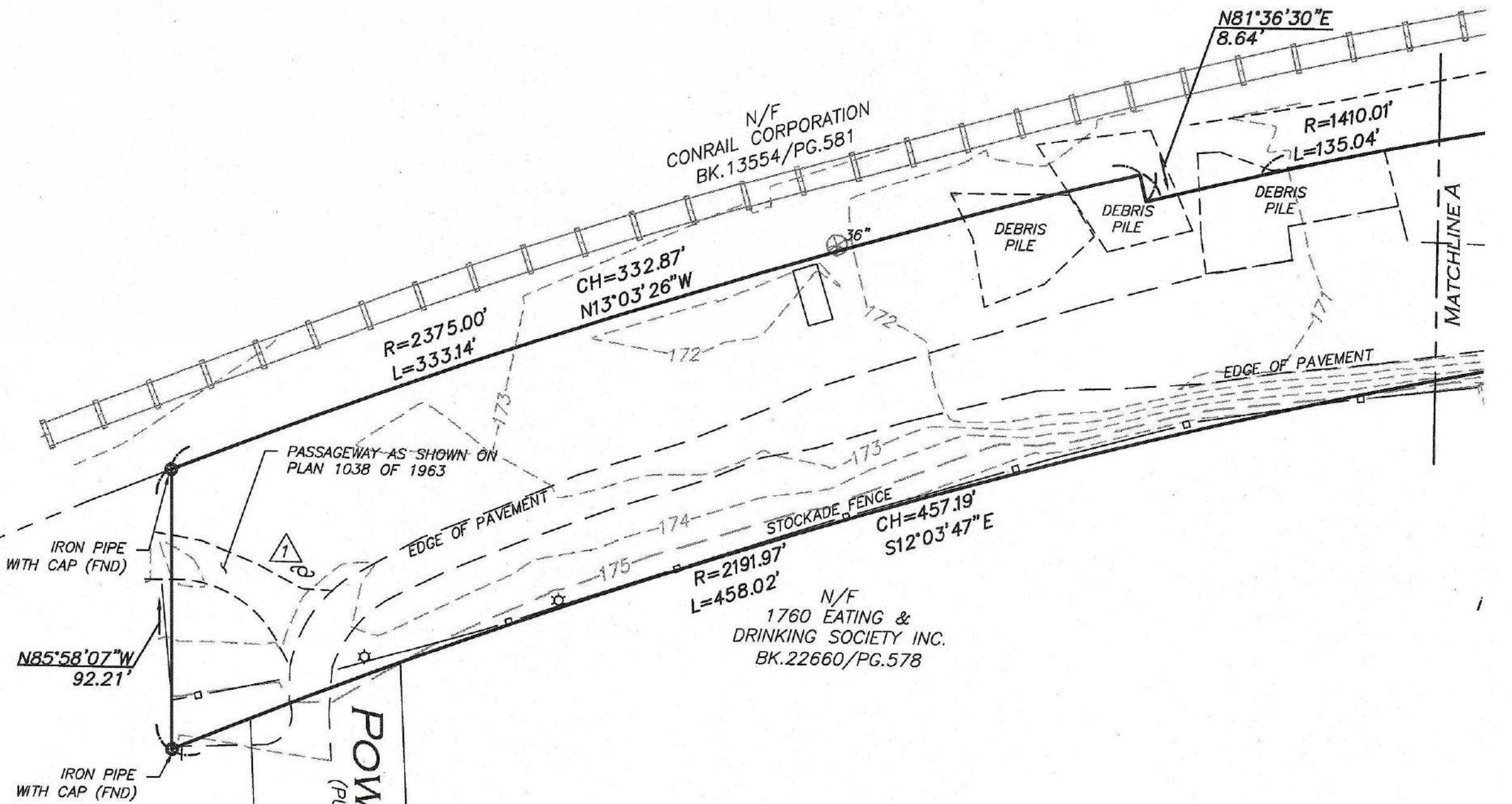
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DRAWING TITLE: EXISTING CONDITIONS SHEET NO. V-101

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ZONING SUMMARY TABLE RESIDENTIAL A (RA) DISTRICT

ITEM	REQUIRED	PROPOSED MAP 11 LOT 41A
MINIMUM LOT AREA	1 ACRE	6.24 ACRE
MINIMUM FRONTAGE	150 FEET	347±FT (MAIN ST) 491±FT (HUNTING LN)
MINIMUM LOT WIDTH	150 FEET ¹	276 FEET
MINIMUM LOT DEPTH	N/A	N/A
MINIMUM FRONT SETBACK	60 FEET	301.0 FT (MAIN ST) 67.2 FT (HUNTING LN)
MINIMUM SIDE SETBACK	30 FEET	52.1 FEET
MINIMUM REAR SETBACK	30 FEET	N/A
MAXIMUM HEIGHT (STORIES)	2.5	3 (LOWSIDE)* 2.5 (HIGHSIDE)
MAXIMUM HEIGHT (FEET)	35	>35*
MAXIMUM LOT COVERAGE	N/A	N/A

OFF-STREET PARKING SUMMARY TABLE

USE	CALCULATION	MIN. REQUIRED	PROPOSED
MULTI-FAMILY 60 UNITS	1.75 SPACES PER UNIT 60 UNITS * 1.75 = 105	105	118
	TOTAL	105	118

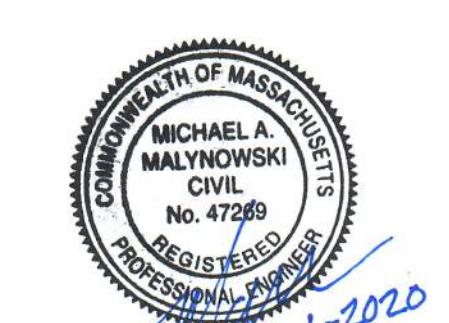
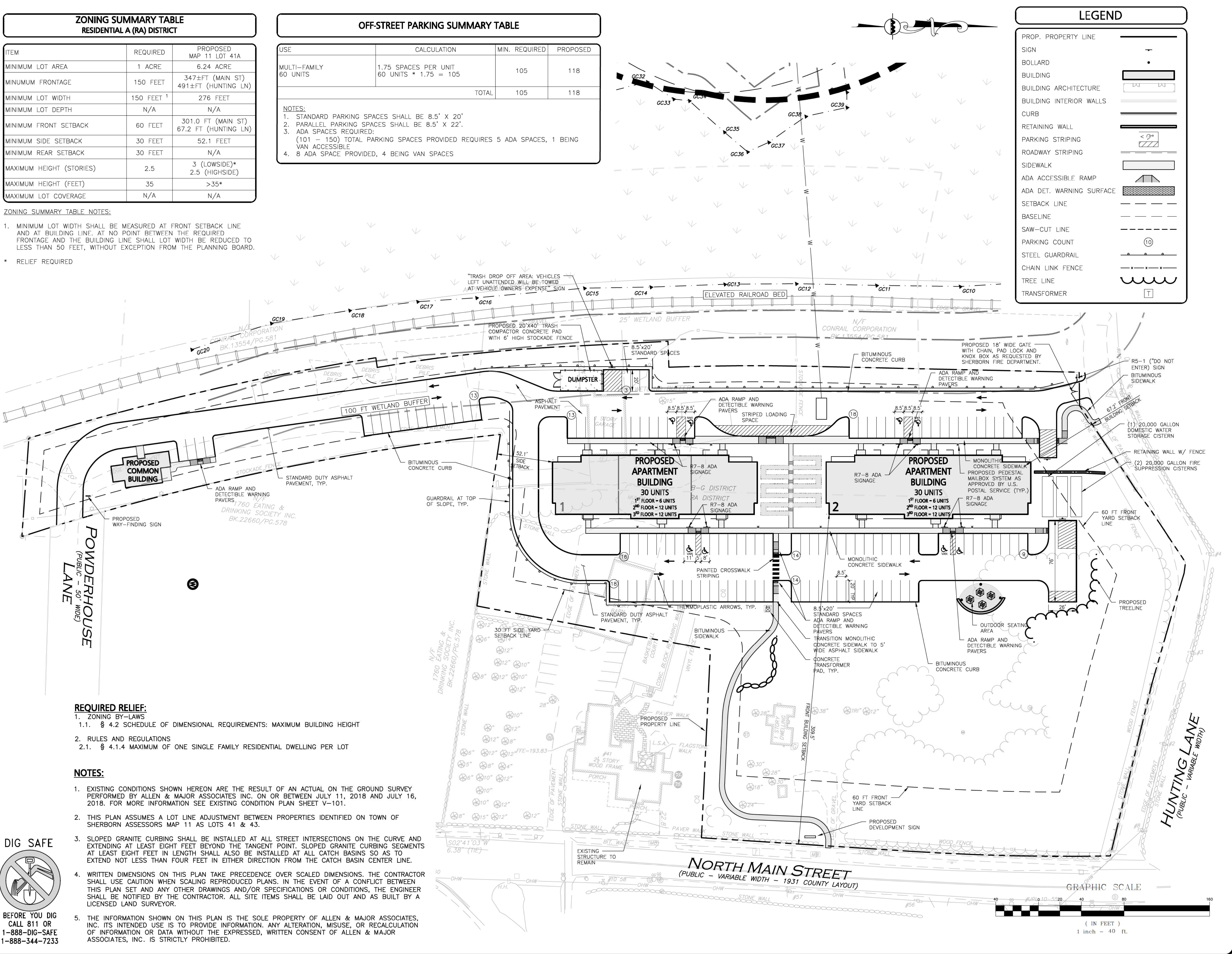
NOTES:

1. STANDARD PARKING SPACES SHALL BE 8.5' X 20'
2. PARALLEL PARKING SPACES SHALL BE 8.5' X 22'.
3. ADA SPACES REQUIRED:
(101 – 150) TOTAL PARKING SPACES PROVIDED REQUIRES 5 ADA SPACES, 1 BEING VAN ACCESSIBLE
4. 8 ADA SPACE PROVIDED, 4 BEING VAN SPACES

ZONING SUMMARY TABLE NOTES:

1. MINIMUM LOT WIDTH SHALL BE MEASURED AT FRONT SETBACK LINE AND AT BUILDING LINE. AT NO POINT BETWEEN THE REQUIRED FRONTAGE AND THE BUILDING LINE SHALL LOT WIDTH BE REDUCED TO LESS THAN 50 FEET, WITHOUT EXCEPTION FROM THE PLANNING BOARD

* RELIEF REQUIRED



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

	10-01-2020	ISSUED FOR ZBA APPLICATION
	05-21-2020	MISCELLANEOUS REVISIONS
	01-21-2020	MISCELLANEOUS REVISIONS
/	DATE	DESCRIPTION

CANT\OWNER:
BARSKY ESTATE REALTY TRUST
23 HUNTING LANE
SHERBORN, MA 01770

JECT:
**THE PINES
RESIDENCES**
41 NORTH MAIN STREET
SHERBORN, MA

JECT NO.	2513-01A	DATE:	11-14-19
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LE:	1" = 30'	DWG. NAME:	C2513-01A
GNED BY:	ARM	CHECKED BY:	MAM

ARED BY:

THE MOUNTAIN

ALLEN & MAIER

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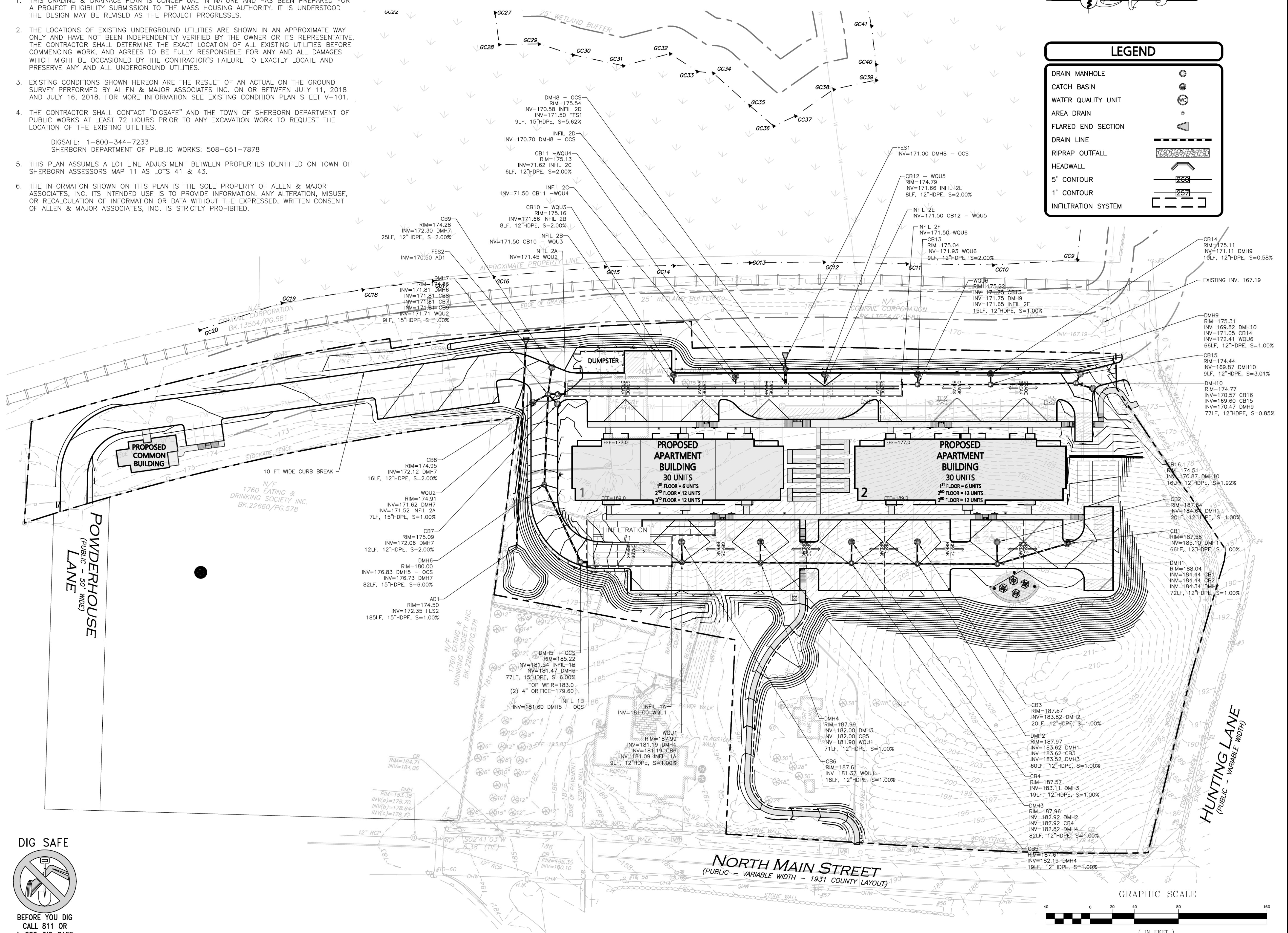
SWING TITLE:	SHEET No.
LAYOUT & MATERIALS PLAN	C-102

NOTES:

1. THIS GRADING & DRAINAGE PLAN IS CONCEPTUAL IN NATURE AND HAS BEEN PREPARED FOR A PROJECT ELIGIBILITY SUBMISSION TO THE MASS HOUSING AUTHORITY. IT IS UNDERSTOOD THE DESIGN MAY BE REVISED AS THE PROJECT PROGRESSES.
2. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
3. EXISTING CONDITIONS SHOWN HEREON ARE THE RESULT OF AN ACTUAL ON THE GROUND SURVEY PERFORMED BY ALLEN & MAJOR ASSOCIATES INC. ON OR BETWEEN JULY 11, 2018 AND JULY 16, 2018. FOR MORE INFORMATION SEE EXISTING CONDITION PLAN SHEET V-101.
4. THE CONTRACTOR SHALL CONTACT "DIGSAFE" AND THE TOWN OF SHERBORN DEPARTMENT OF PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST THE LOCATION OF THE EXISTING UTILITIES.

DIGSAFE: 1-800-344-7233
SHERBORN DEPARTMENT OF PUBLIC WORKS: 508-651-7878

5. THIS PLAN ASSUMES A LOT LINE ADJUSTMENT BETWEEN PROPERTIES IDENTIFIED ON TOWN OF SHERBORN ASSESSORS MAP 11 AS LOTS 41 & 43.
6. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION, ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.



BEFORE YOU DIG
CALL 811 OR
1-888-DIG-SAFE
1-888-344-7233



LEGEND

DRAIN MANHOLE	○
CATCH BASIN	○
WATER QUALITY UNIT	WQ
AREA DRAIN	●
FLARED END SECTION	▲
DRAIN LINE	—
RIPRAP OUTFALL	████████
HEADWALL	█
5' CONTOUR	—
1' CONTOUR	—
INFILTRATION SYSTEM	□



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

3	10-01-2020	ISSUED FOR ZBA APPLICATION
△	05-21-2020	MISCELLANEOUS REVISIONS
1	01-21-2020	MISCELLANEOUS REVISIONS

REV DATE DESCRIPTION
APPLICANT/OWNER:

BARSKY ESTATE REALTY TRUST
23 HUNTING LANE
SHERBORN, MA 01770

PROJECT:
THE PINES
RESIDENCES
41 NORTH MAIN STREET
SHERBORN, MA

PROJECT NO. 2513-01A DATE: 11-14-19
SCALE: 1" = 40' DWG. NAME: C2513-01A
DESIGNED BY: ARM CHECKED BY: MAM

PREPARED BY:

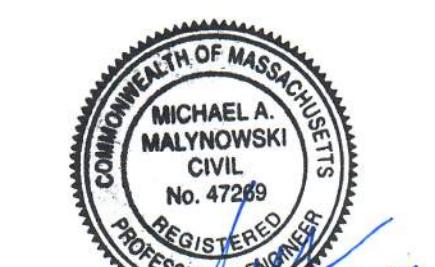
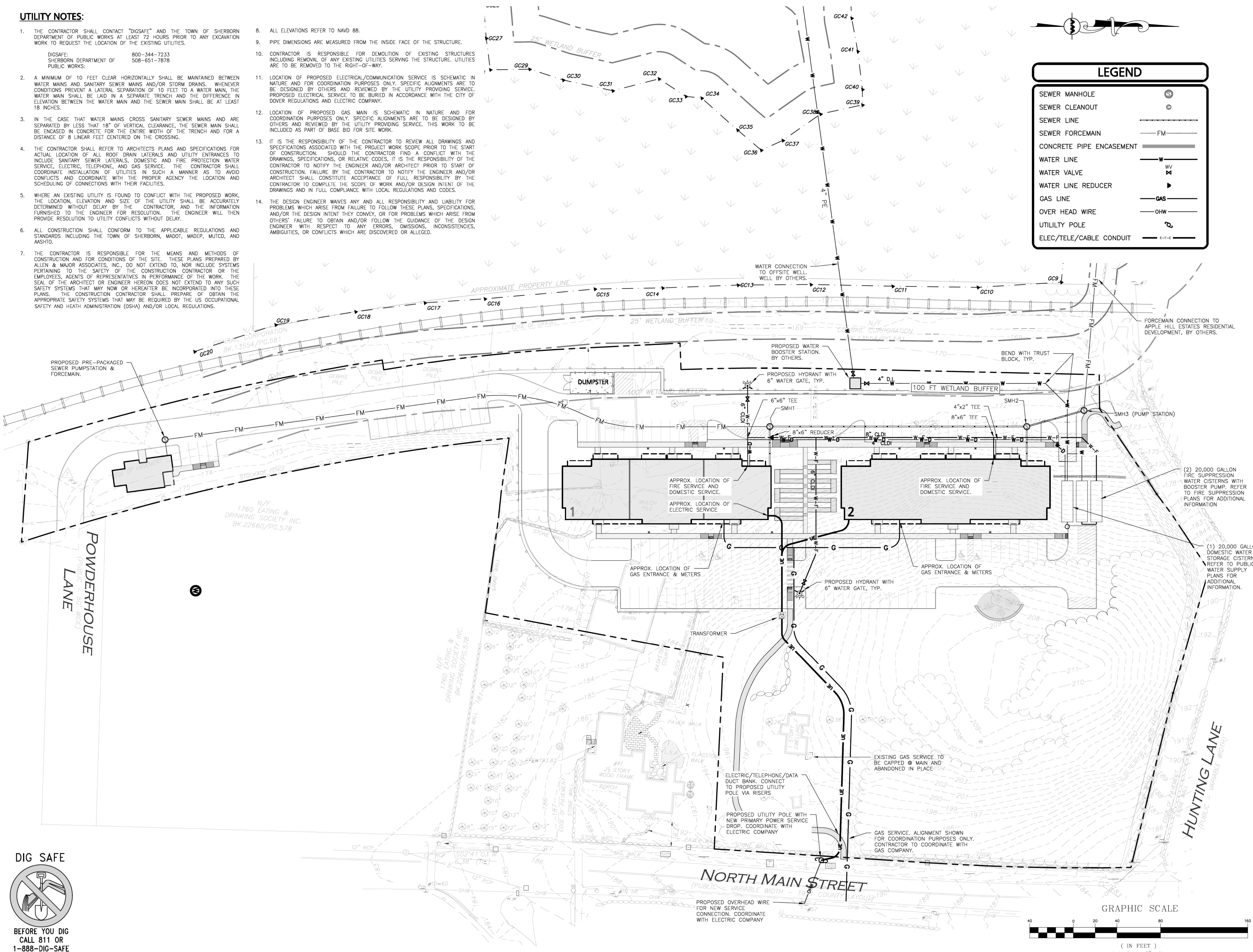
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DRAWING TITLE: GRADING & DRAINAGE PLAN SHEET NO. C-103
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UTILITY NOTES:

- THE CONTRACTOR SHALL CONTACT "DIGSAFE" AND THE TOWN OF SHERBORN DEPARTMENT OF PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST THE LOCATION OF THE EXISTING UTILITIES.
- DIGSAFE: 800-344-7233
SHERBORN DEPARTMENT OF PUBLIC WORKS: 508-651-7878
- A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN WATER MAINS AND SANITARY SEWER MAINS AND/OR STORM DRAINS. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN, THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE DIFFERENCE IN ELEVATION BETWEEN THE WATER MAIN AND THE SEWER MAIN SHALL BE AT LEAST 18 INCHES.
- IN THE CASE THAT WATER MAINS CROSS SANITARY SEWER MAINS AND ARE SEPARATED BY LESS THAN 18" OF VERTICAL CLEARANCE, THE SEWER MAIN SHALL BE ENCASED IN CONCRETE FOR THE ENTIRE WIDTH OF THE TRENCH AND FOR A DISTANCE OF 8 LINEAR FEET CENTERED ON THE CROSSING.
- THE CONTRACTOR SHALL REFER TO ARCHITECTS PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL ROOF DRAIN LATERALS AND UTILITY ENTRANCES TO INCLUDE SANITARY, SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRIC, TELEPHONE, GAS SERVICE. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND COORDINATE WITH THE PROPER AGENCY THE LOCATION AND SCHEDULING OF CONNECTIONS WITH THEIR FACILITIES.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION. THE ENGINEER WILL THEN PROVIDE RESOLUTION TO UTILITY CONFLICTS WITHOUT DELAY.
- ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE TOWN OF SHERBORN, MADOT, MADEC, MUTCD, AND AASHTO.
- THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS OF THE SITE. THESE PLANS PREPARED BY ALLEN & MAJOR ASSOCIATES, INC. DO NOT EXTEND TO, NOR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THE EMPLOYEES, AGENTS OR REPRESENTATIVES IN PERFORMANCE OF THE WORK. THE SAFETY OF THE ARCHITECT OR ENGINEER PERSON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOT OR HERETOFORE BE COORDINATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OF OBTAIN THE APPROPRIATE SAFETY SYSTEMS THAT MAY BE REQUIRED BY THE US OCCUPATIONAL SAFETY AND HEATH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- ALL ELEVATIONS REFER TO NAVD 88.
- PIPE DIMENSIONS ARE MEASURED FROM THE INSIDE FACE OF THE STRUCTURE.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE NEAREST 1/4 INCH.
- LOCATION OF PROPOSED ELECTRICAL/COMMUNICATION SERVICE IS SCHEMATIC IN NATURE AND FOR COORDINATION PURPOSES ONLY. SPECIFIC ALIGNMENTS ARE TO BE DESIGNED BY OTHERS AND REVIEWED BY THE UTILITY PROVIDING SERVICE. PROPOSED ELECTRICAL SERVICE TO BE BURIED IN ACCORDANCE WITH THE CITY OF DOVER REGULATIONS AND ELECTRIC COMPANY.
- LOCATION OF PROPOSED GAS MAIN IS SCHEMATIC IN NATURE AND FOR COORDINATION PURPOSES ONLY. SPECIFIC ALIGNMENTS ARE TO BE DESIGNED BY OTHERS AND REVIEWED BY THE UTILITY PROVIDING SERVICE. THIS WORK TO BE INCLUDED AS PART OF BASE BID FOR SITE WORK.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR NOT REVIEW THE DRAWINGS, SPECIFICATIONS OR RELATED CODES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT PRIOR TO START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AND/OR DESIGN INTENT OF THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
- THE DESIGN ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND/OR THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE GUIDANCE OF THE DESIGN ENGINEER WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE DISCOVERED OR ALLEGED.



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

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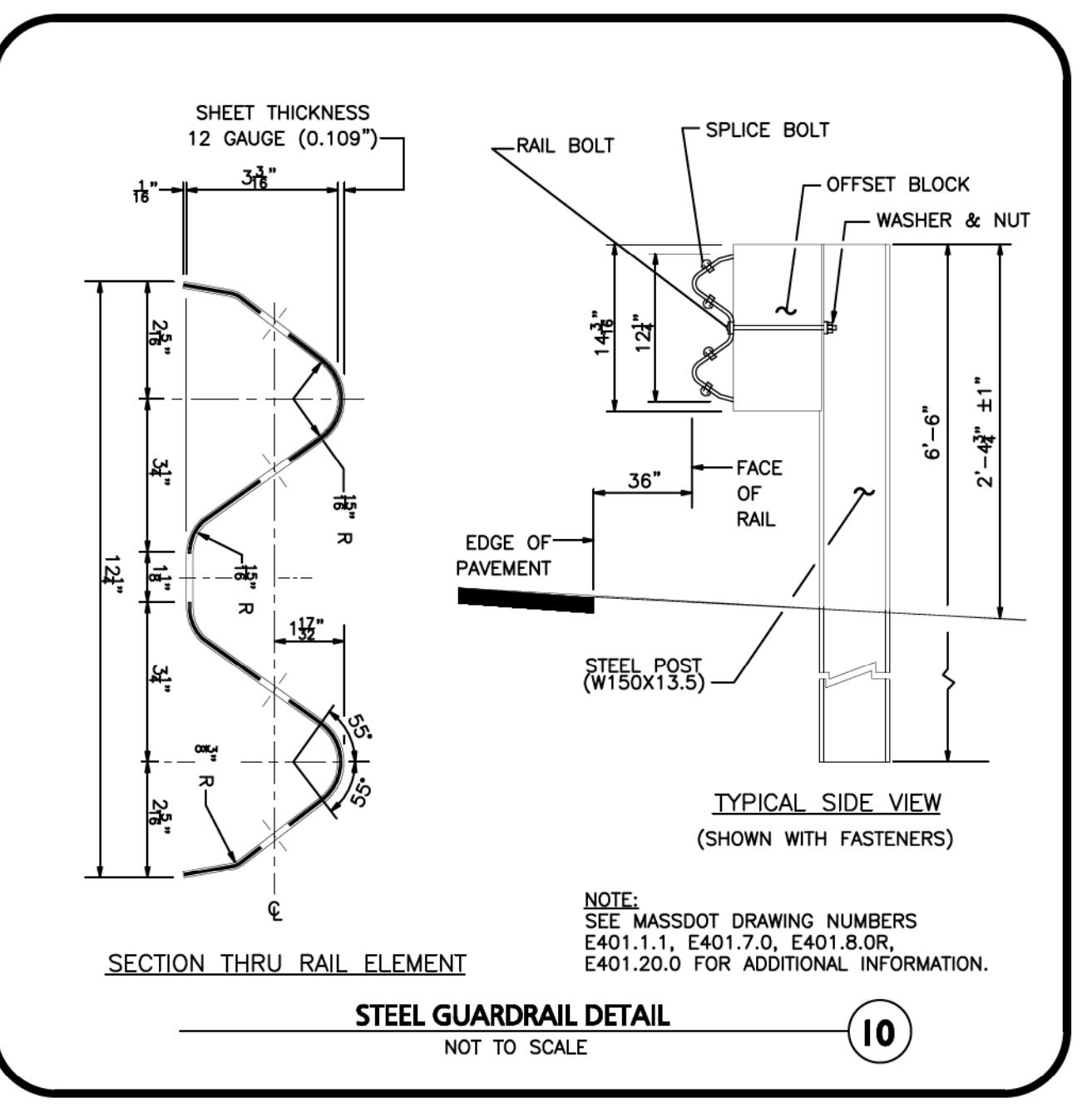
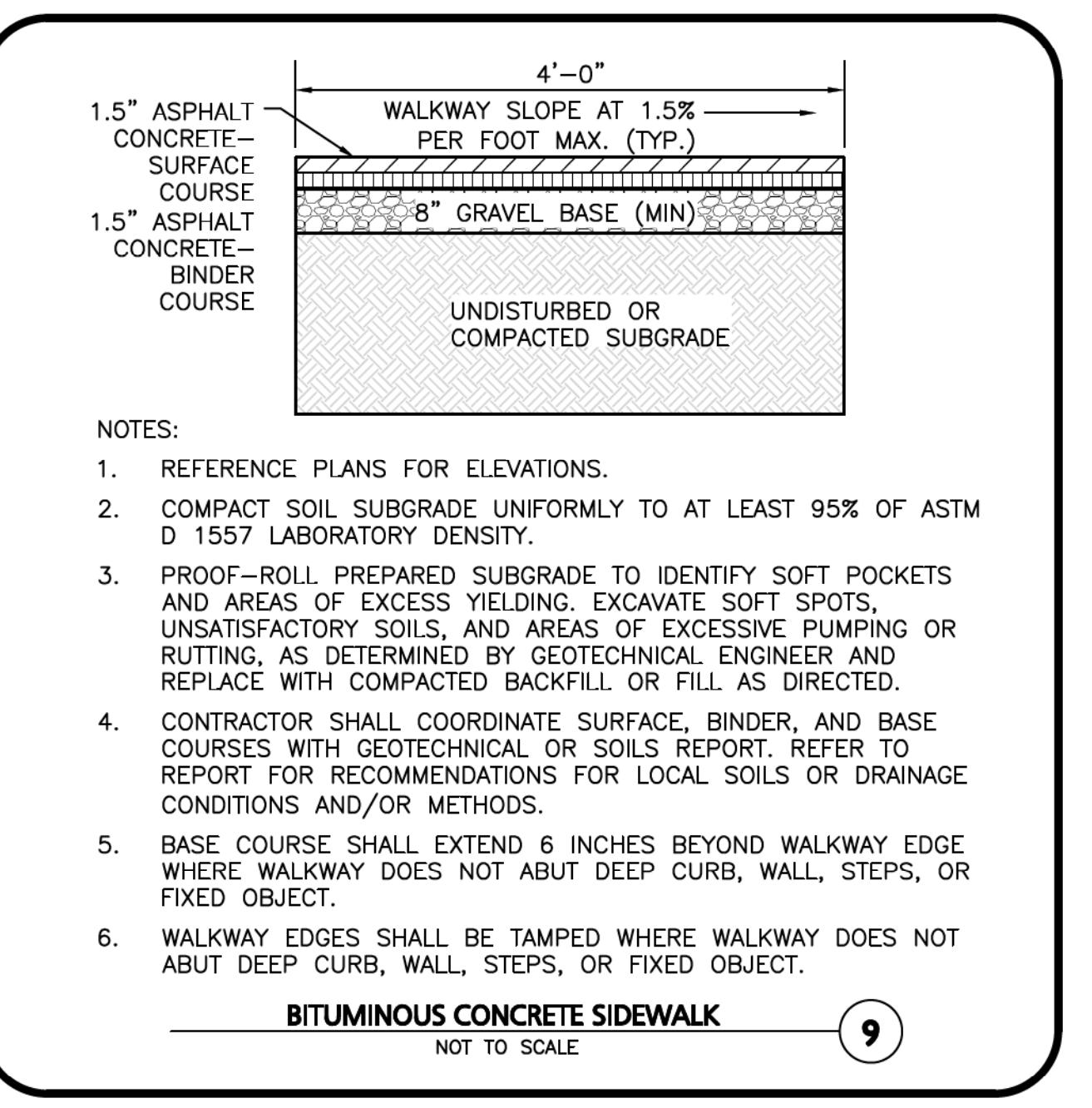
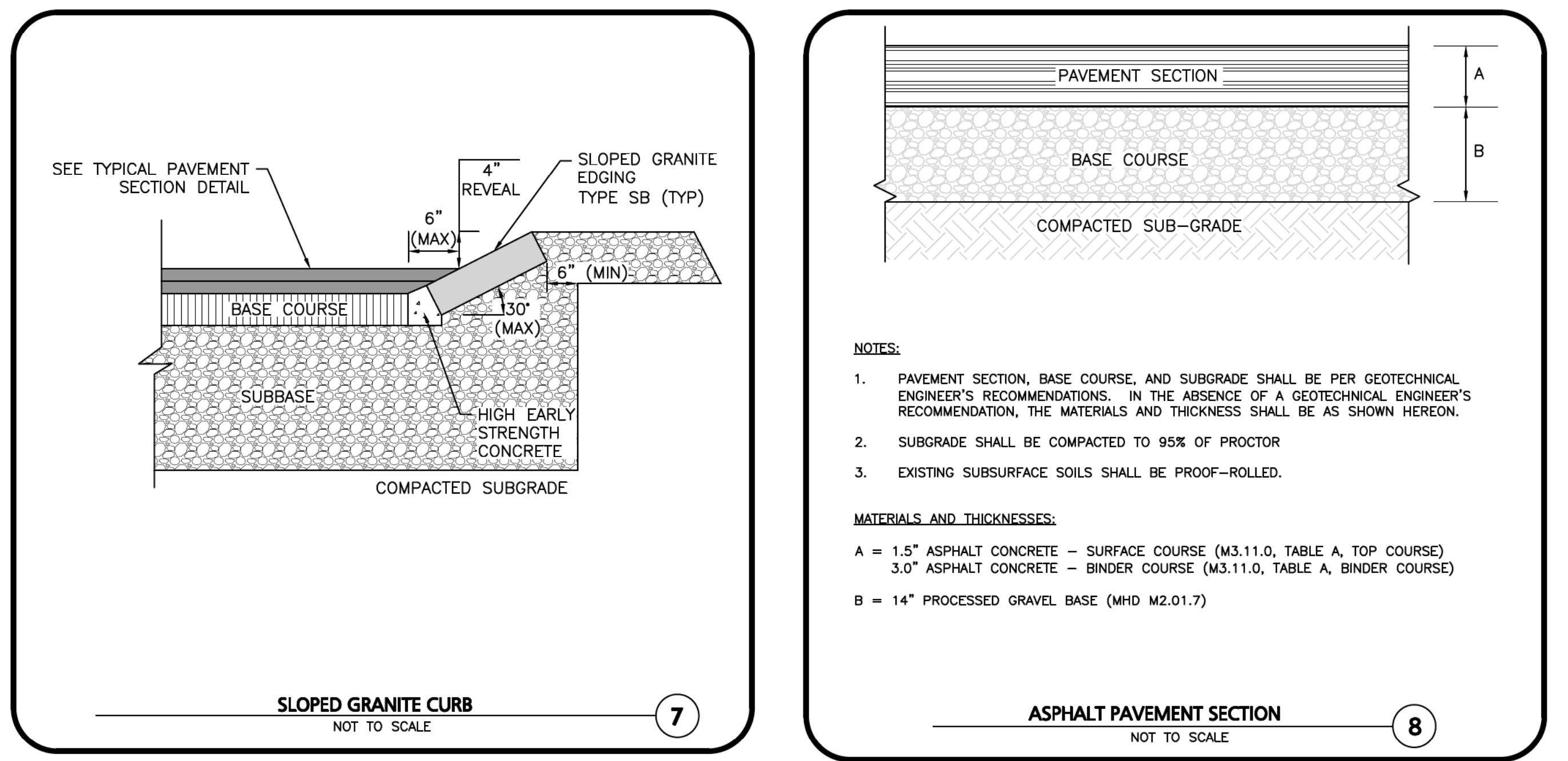
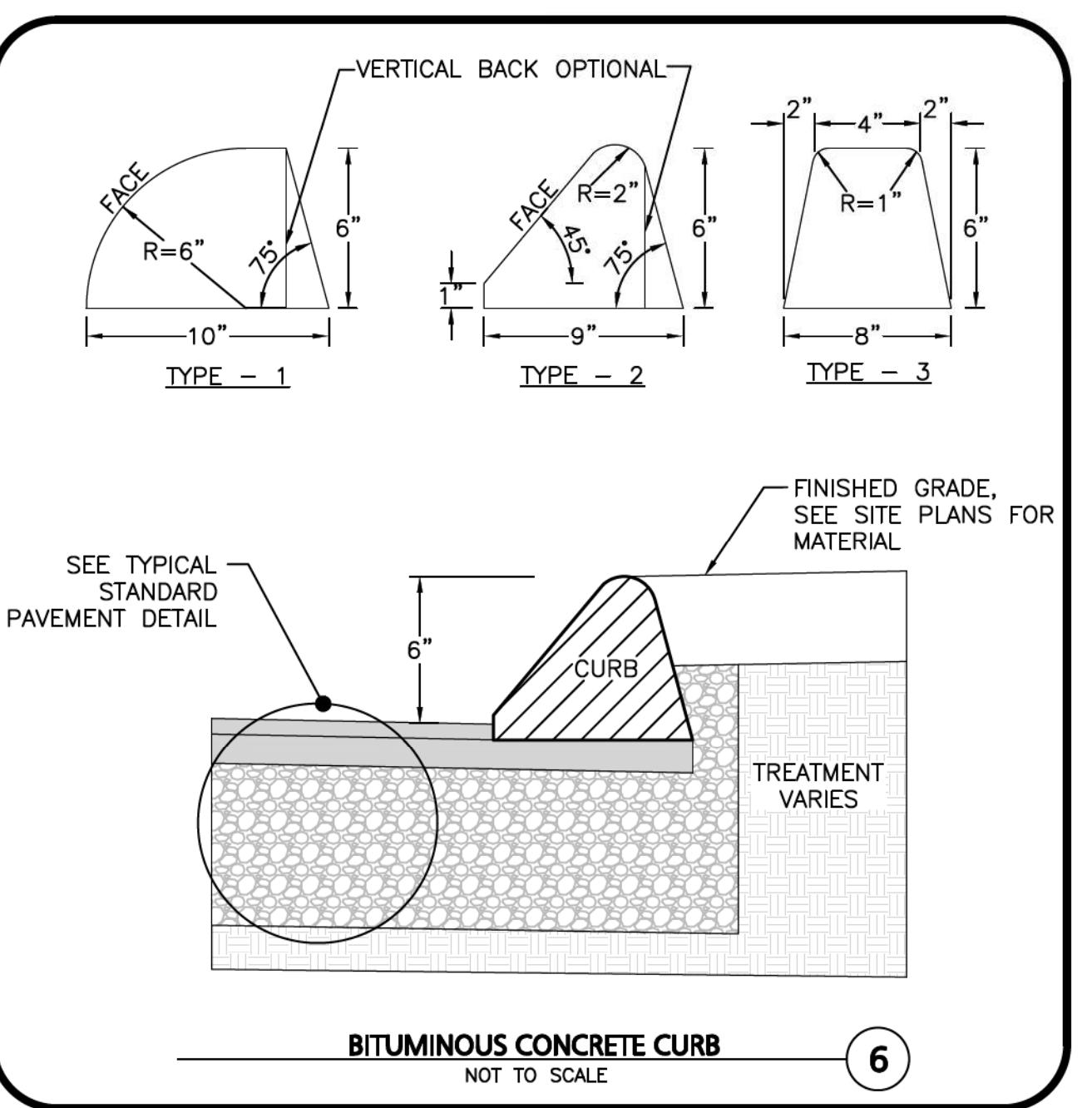
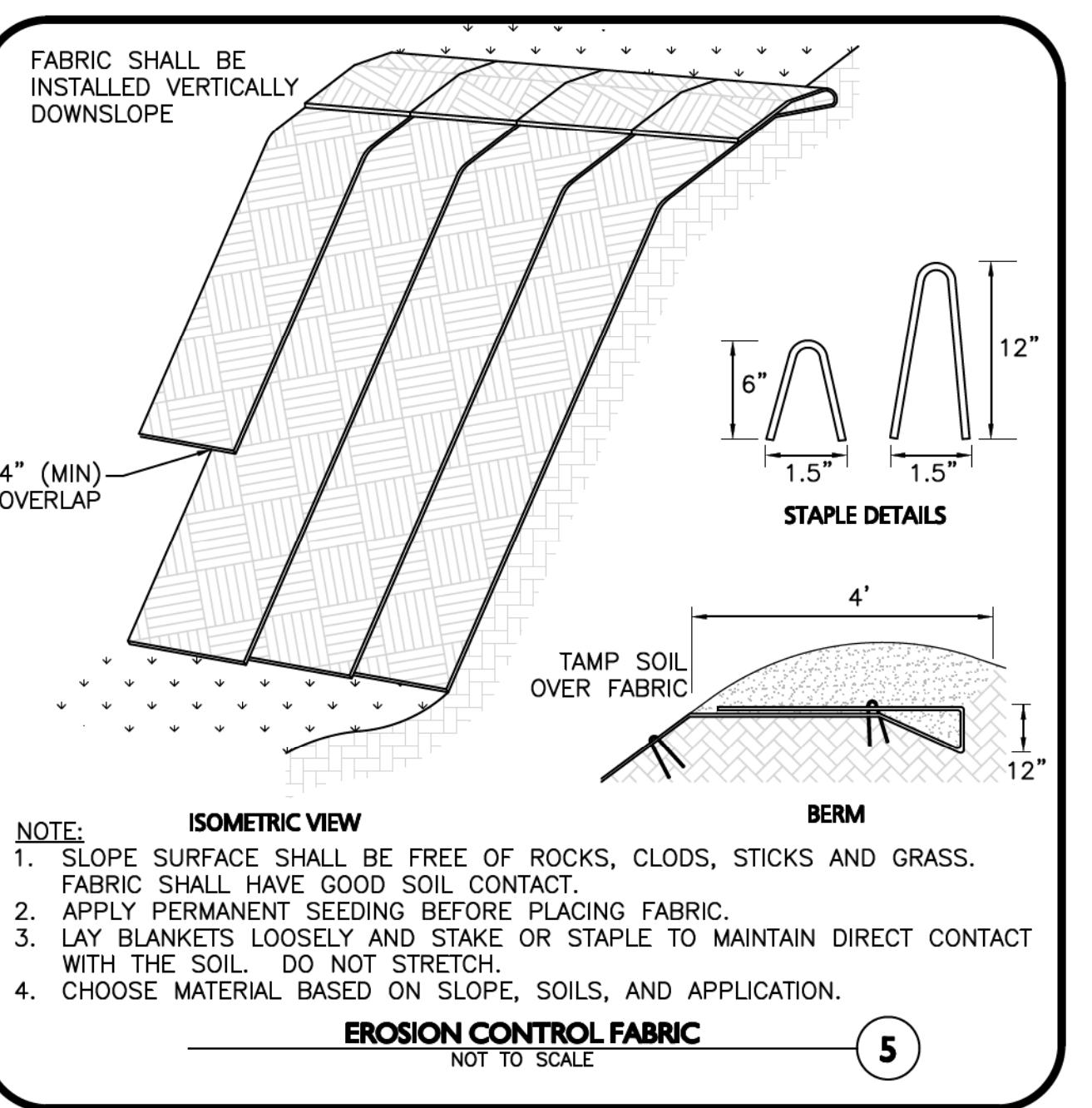
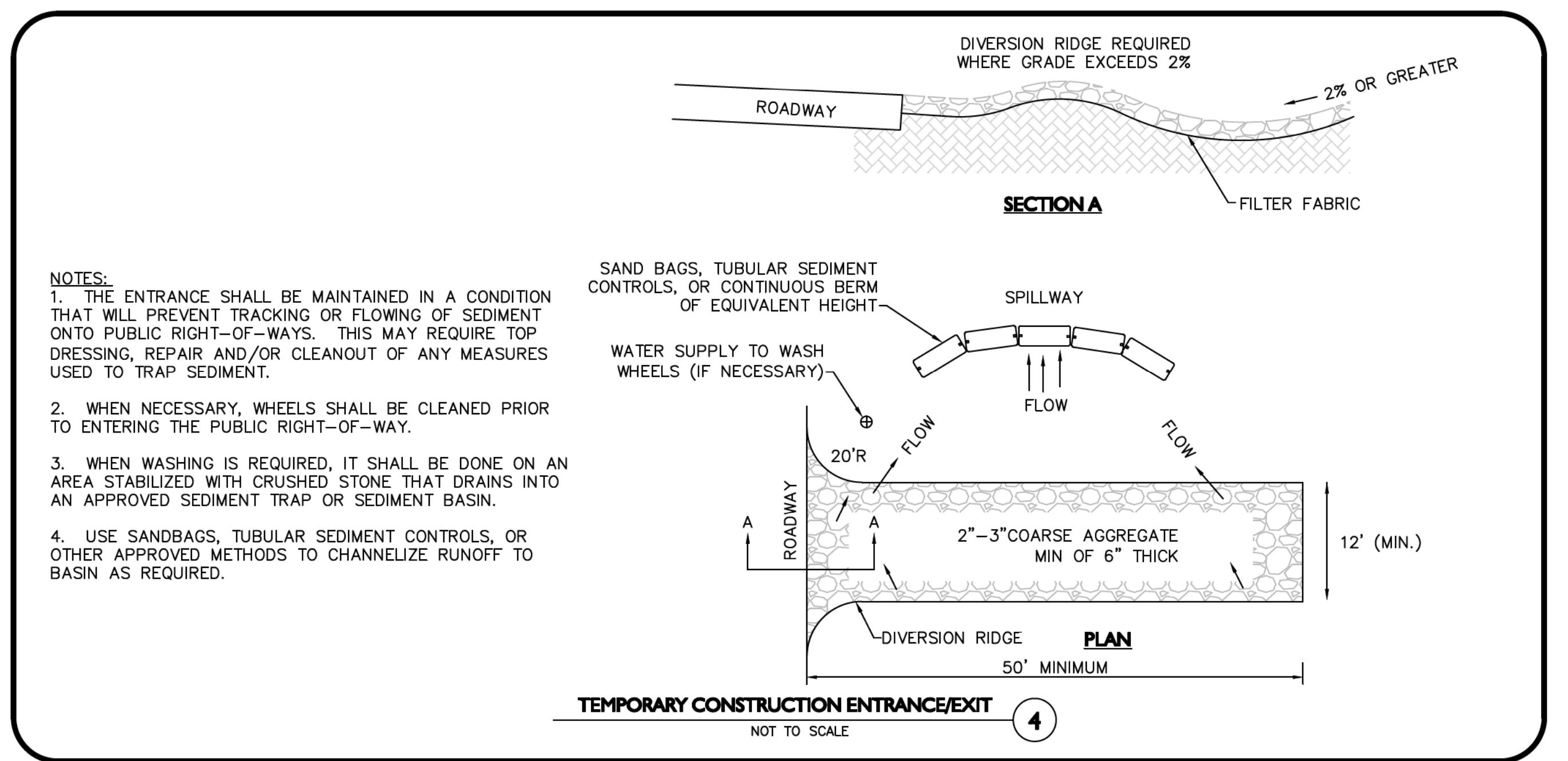
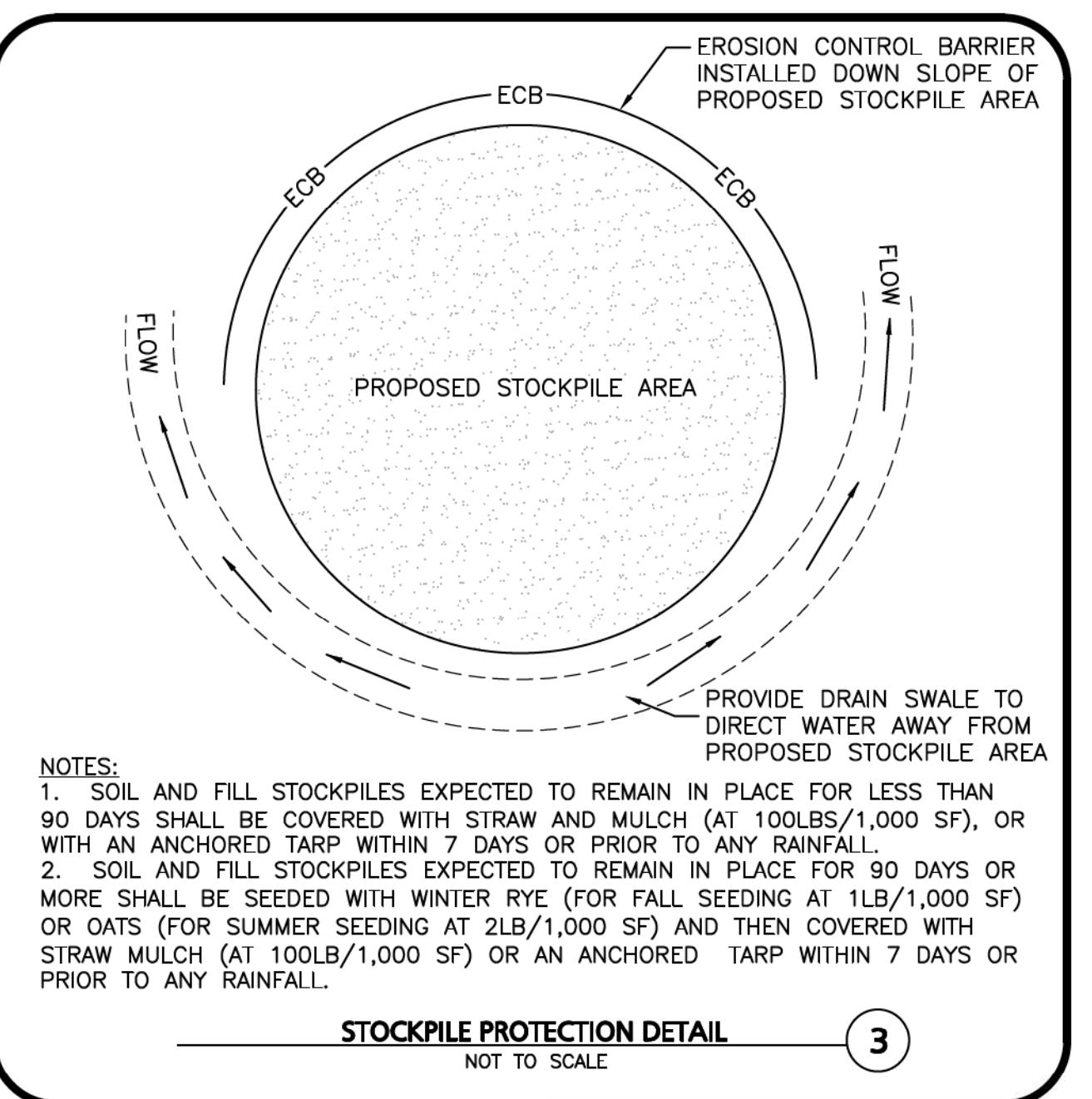
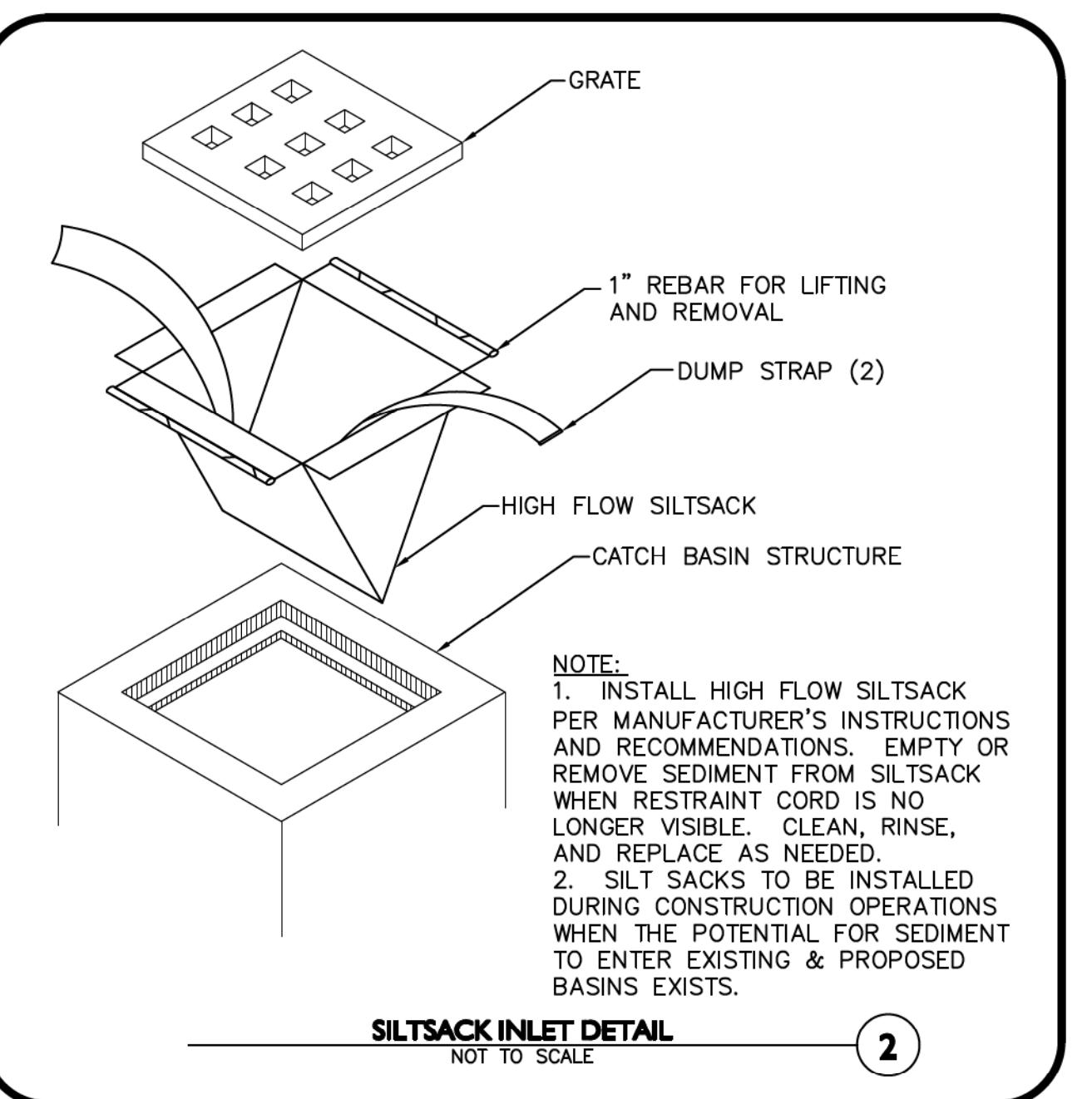
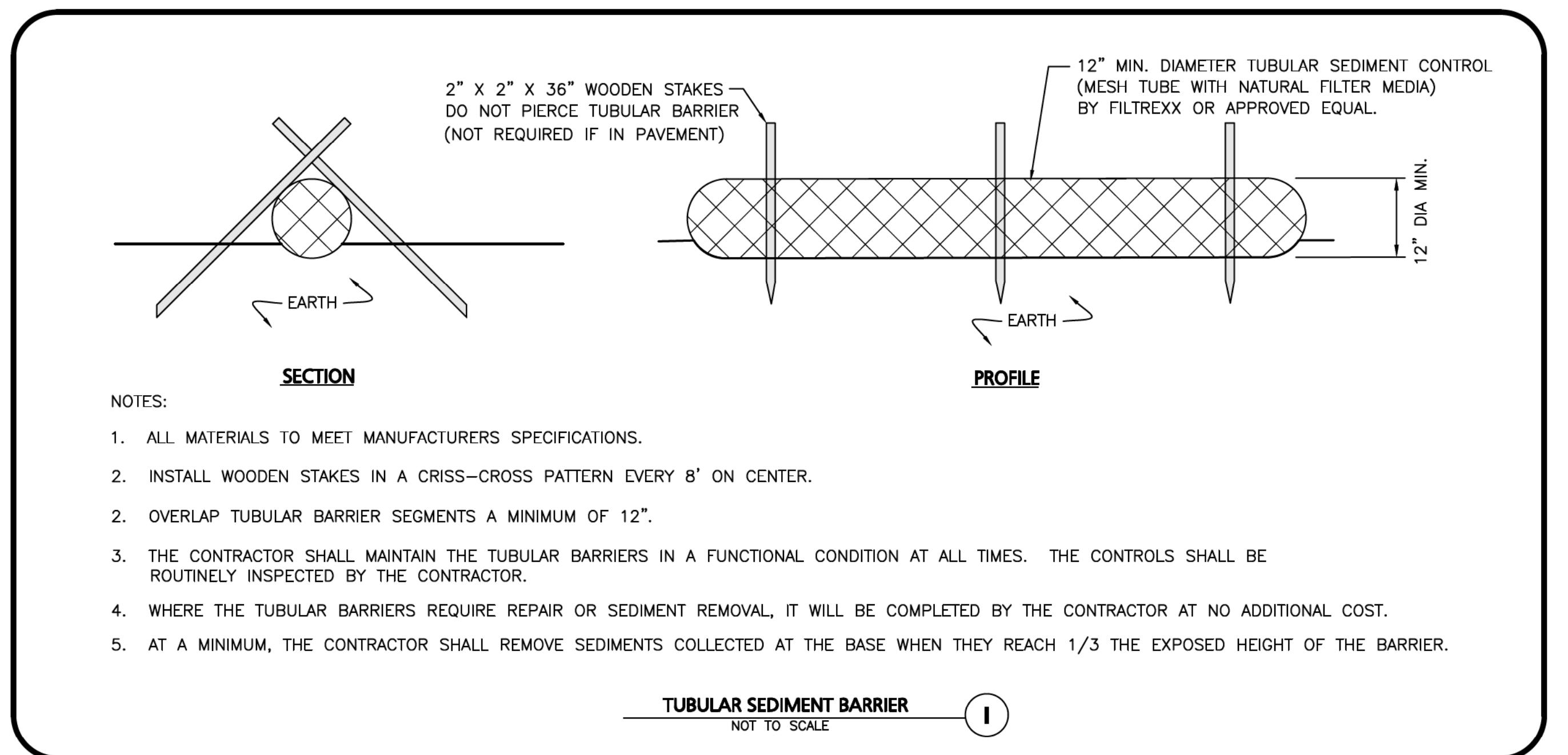
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DESIGNED BY: ARM CHECKED BY: MAM

PREPARED BY:

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3	10-01-2020	ISSUED FOR ZBA APPLICATION
5	05-21-2020	MISCELLANEOUS REVISIONS
1	01-21-2020	MISCELLANEOUS REVISIONS
REV	DATE	DESCRIPTION

APPLICANT/OWNER:

BARSKY ESTATE REALTY TRUST
23 HUNTING LANE
SHERBORN, MA 01770

PROJECT:

THE PINES
RESIDENCES
41 NORTH MAIN STREET
SHERBORN, MA

PROJECT NO. 2513-01A DATE: 11-14-19

SCALE: AS SHOWN DWG. NAME: C2513-01A

DESIGNED BY: ARM CHECKED BY: MAM

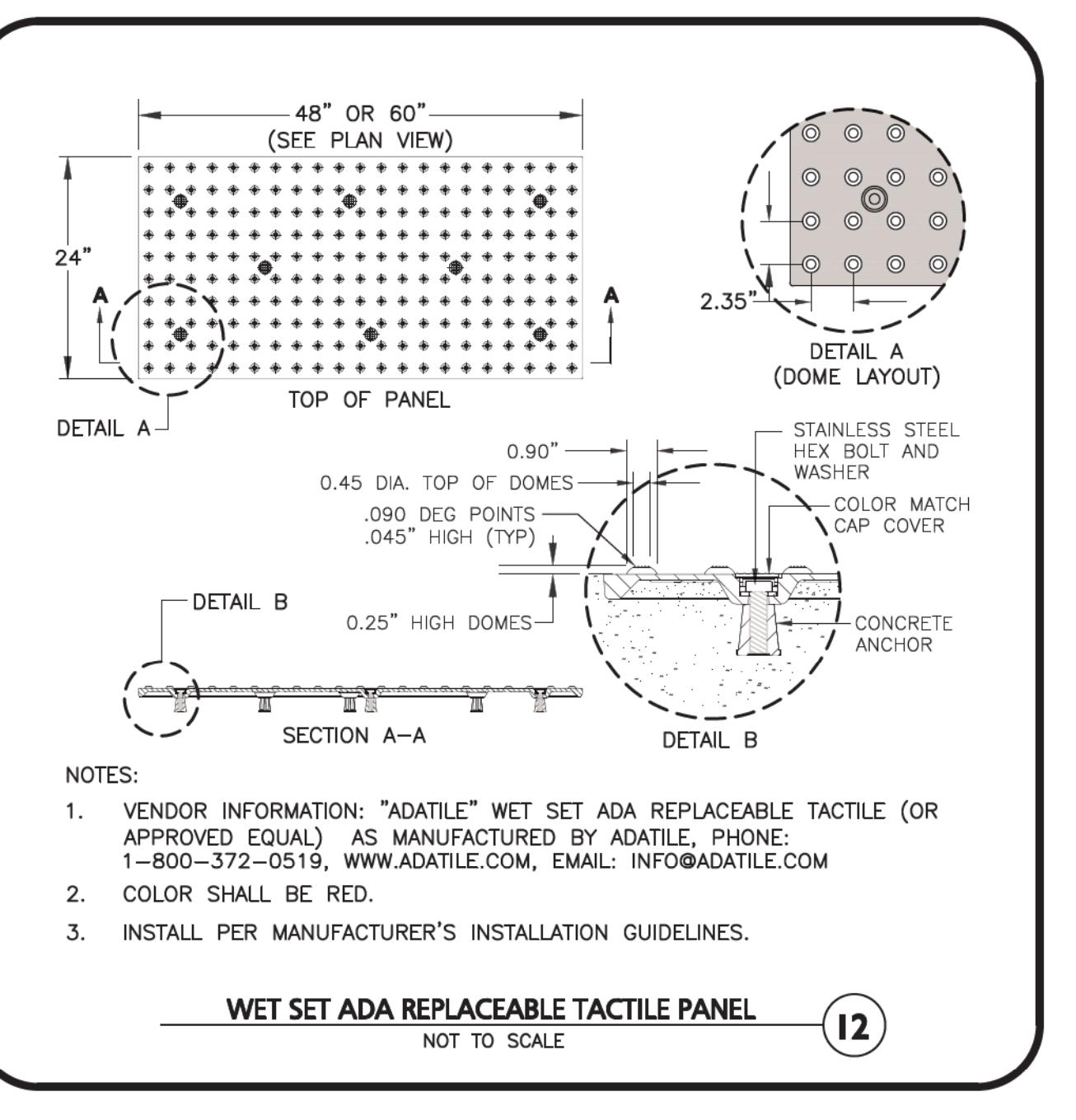
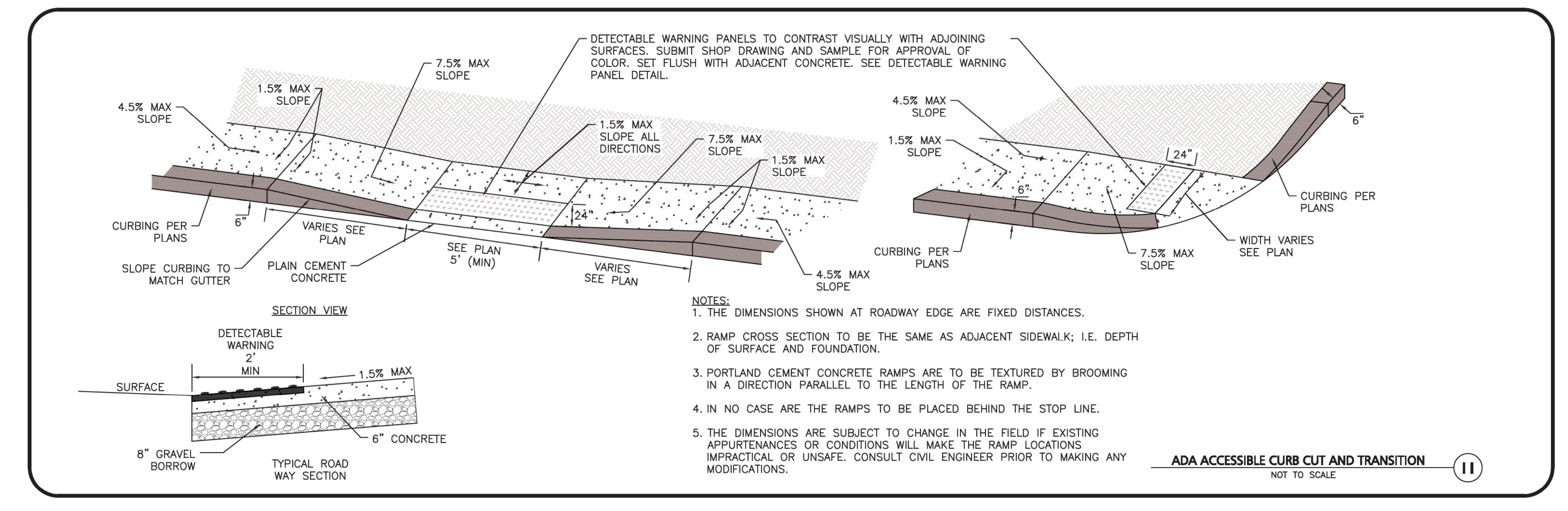
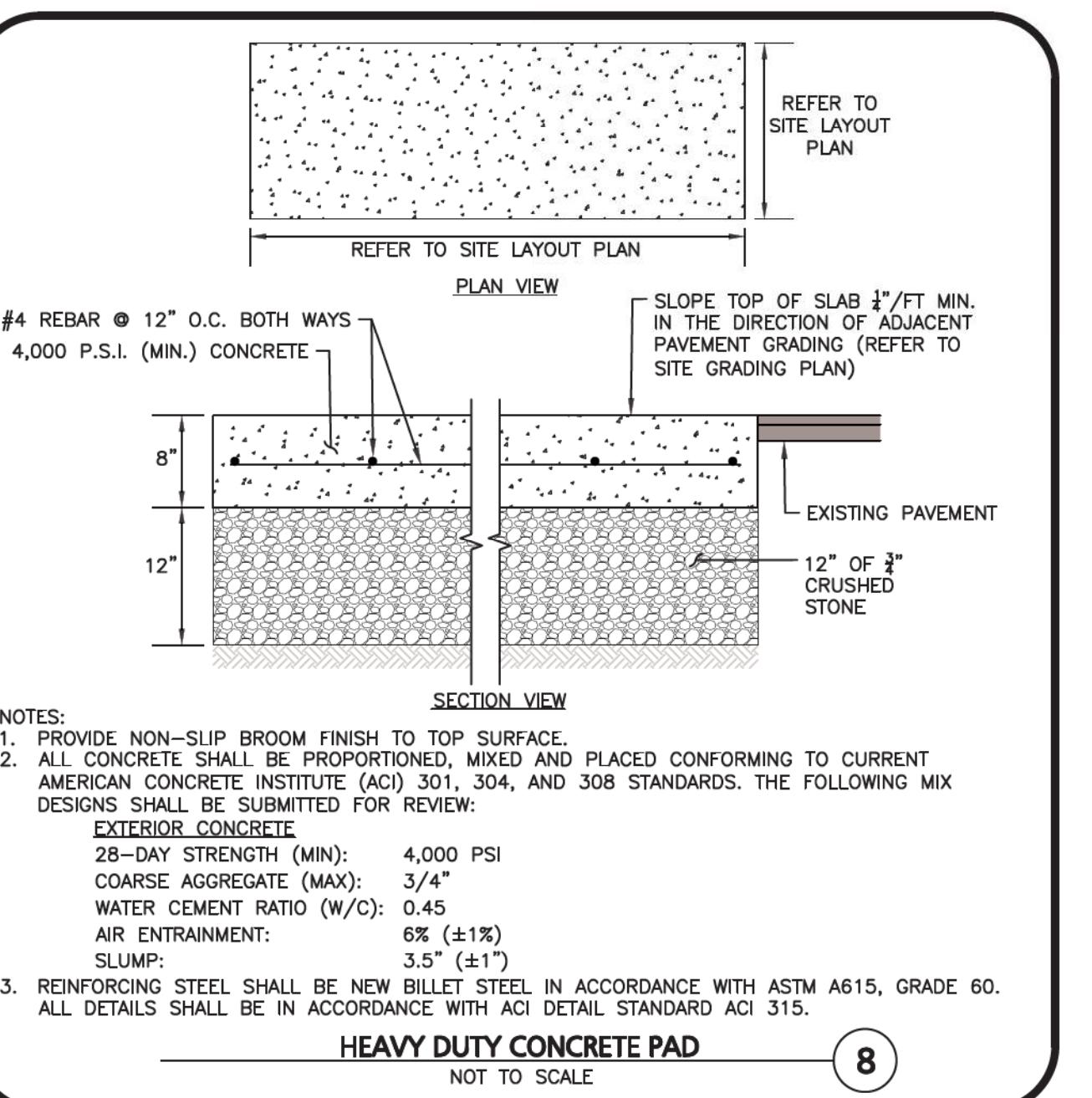
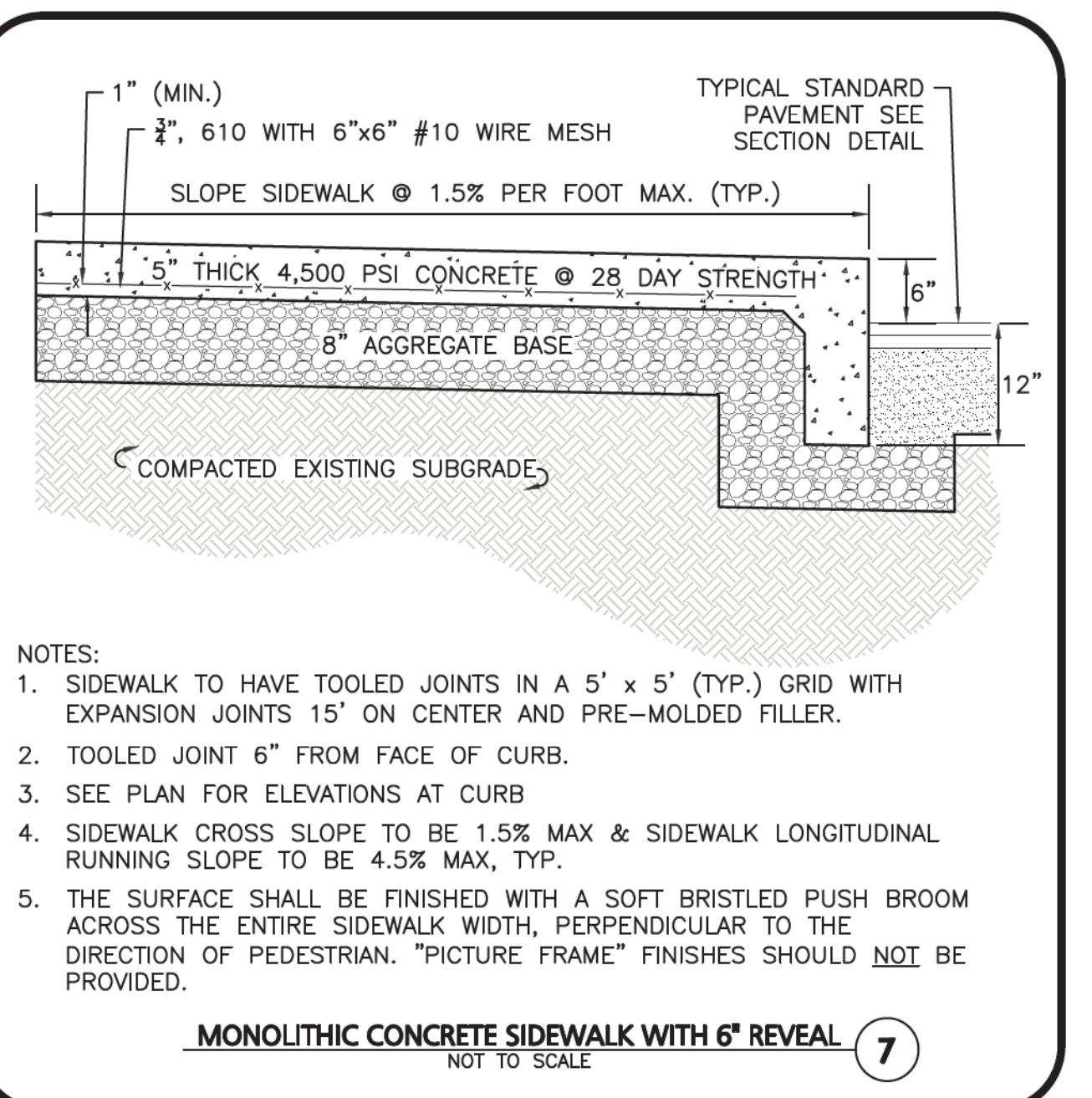
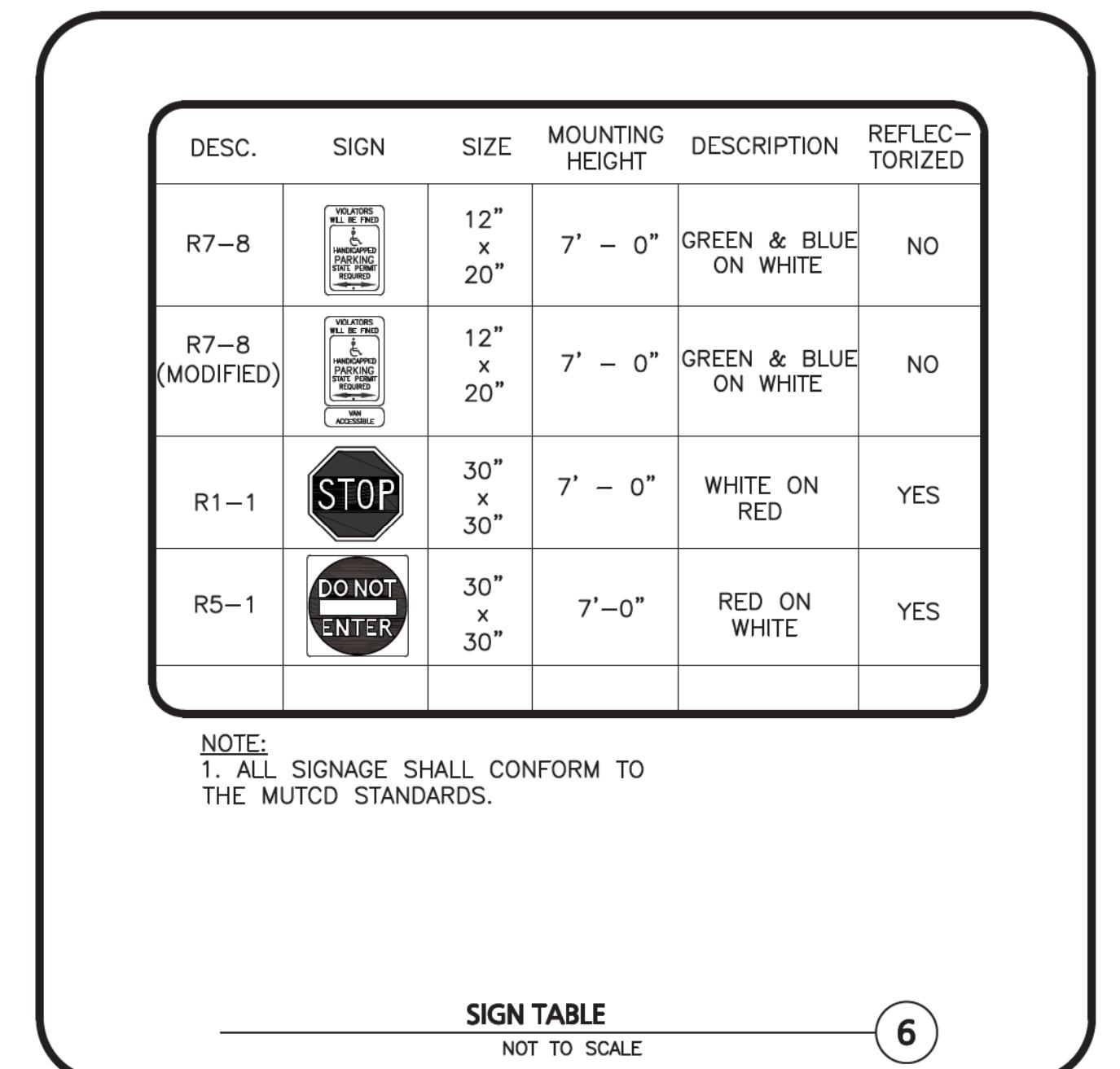
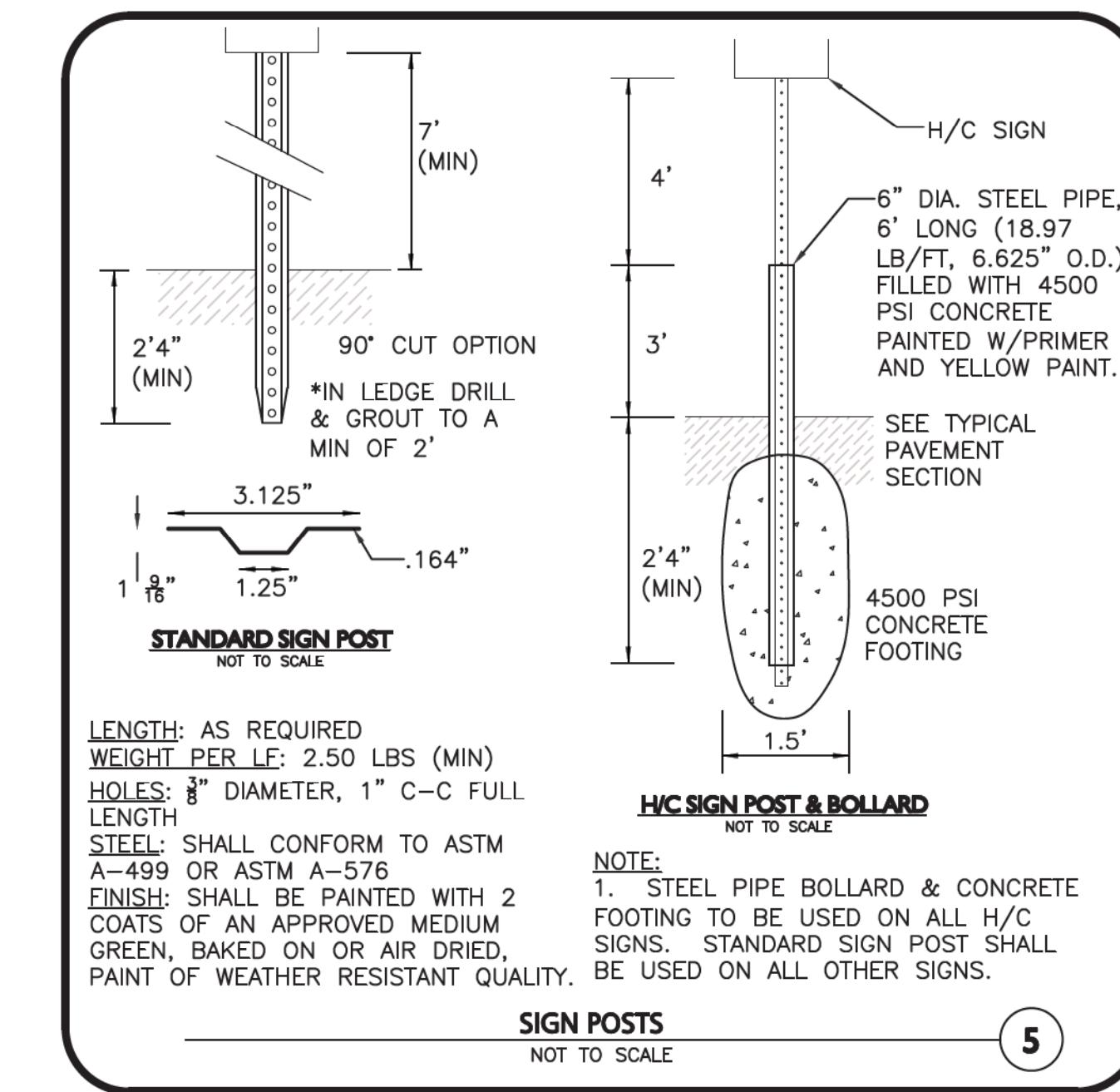
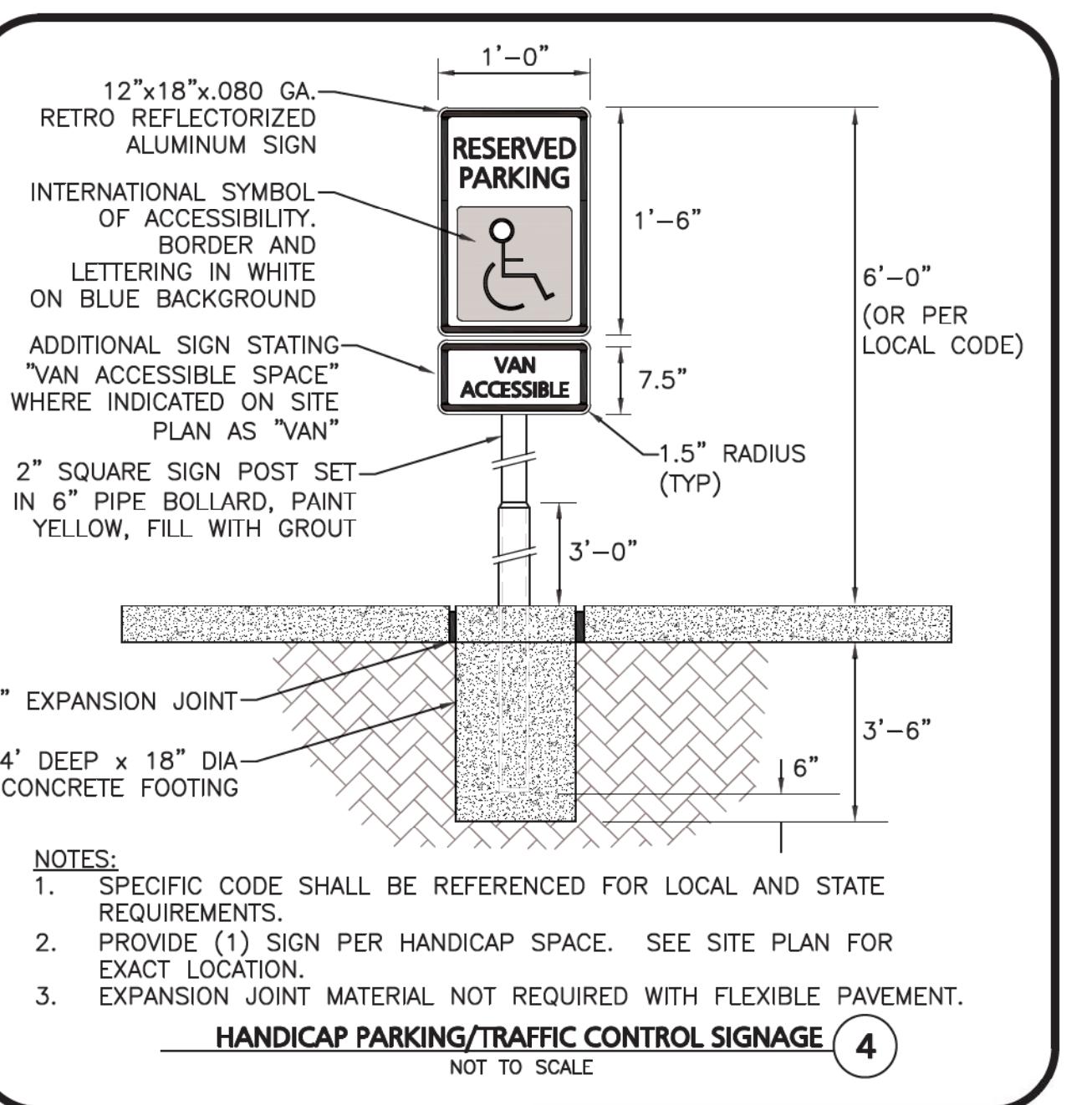
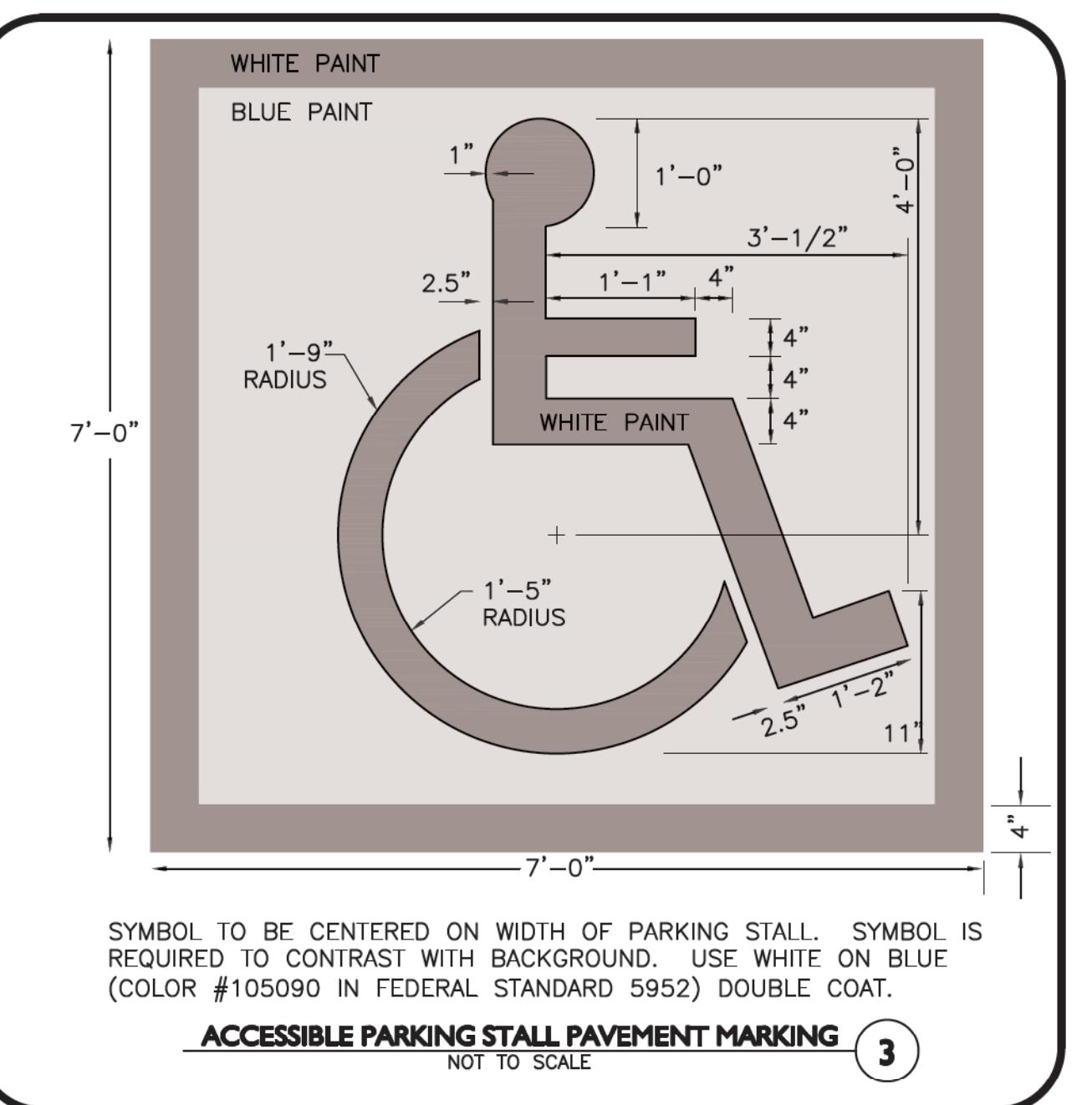
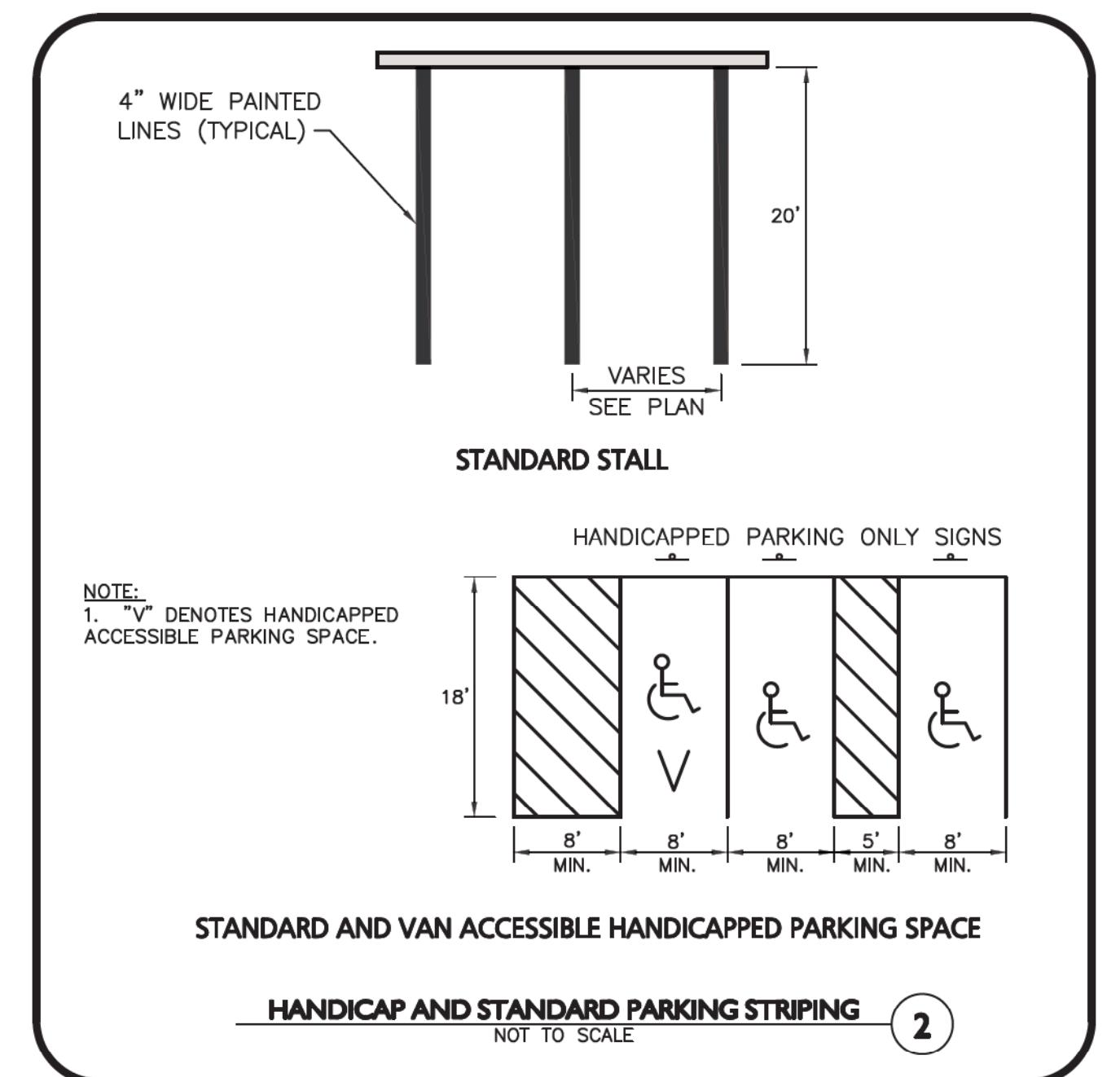
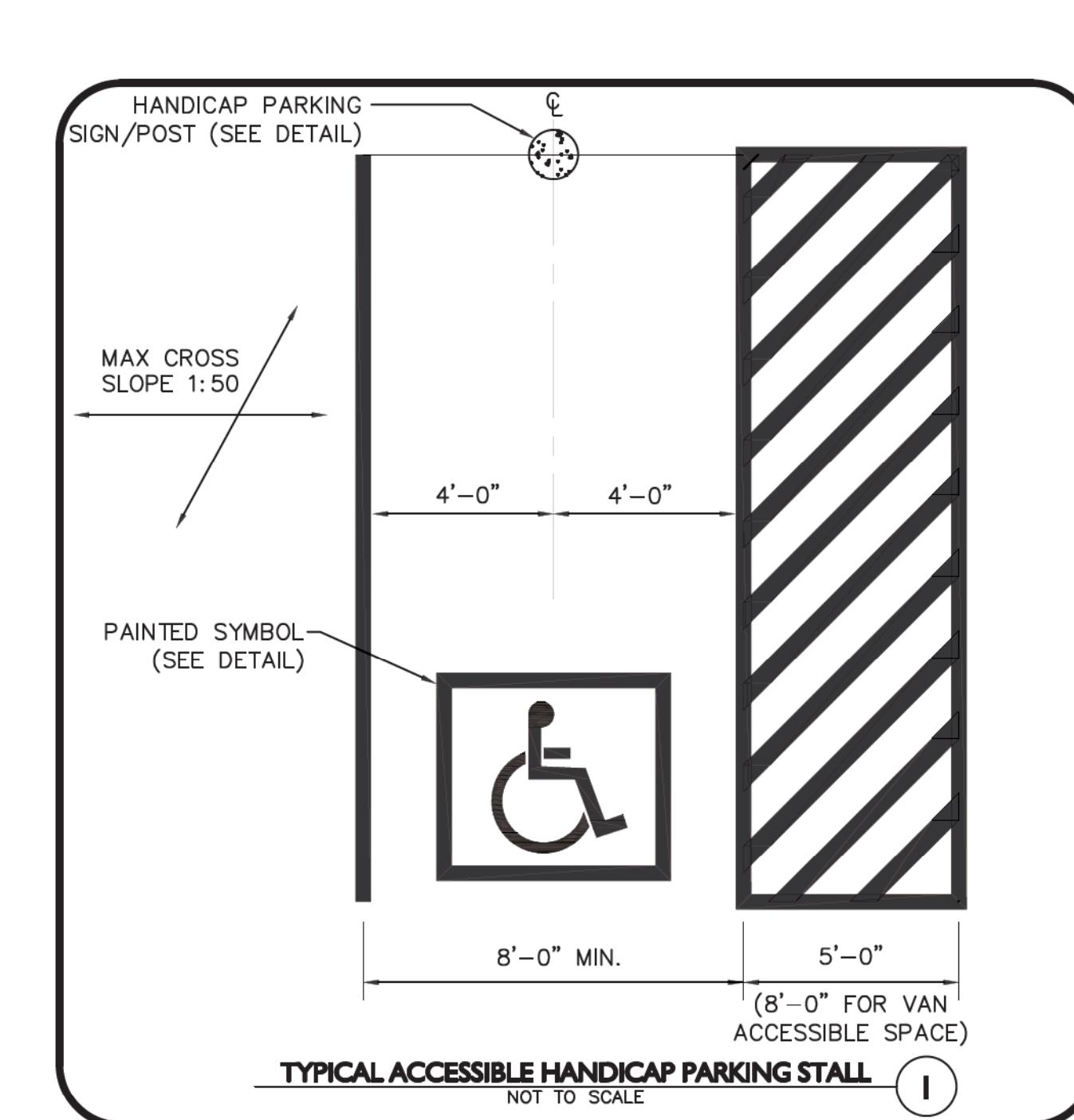
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5 05-21-2020 MISCELLANEOUS REVISIONS
1 01-21-2020 MISCELLANEOUS REVISIONS
REV DATE DESCRIPTION

APPLICANT/OWNER:
BARSKY ESTATE REALTY TRUST
23 HUNTING LANE
SHERBORN, MA 01770

PROJECT:
THE PINES
RESIDENCES
41 NORTH MAIN STREET
SHERBORN, MA

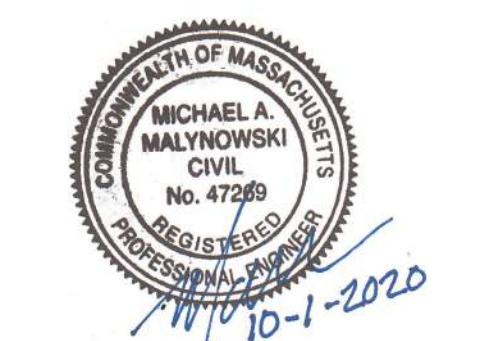
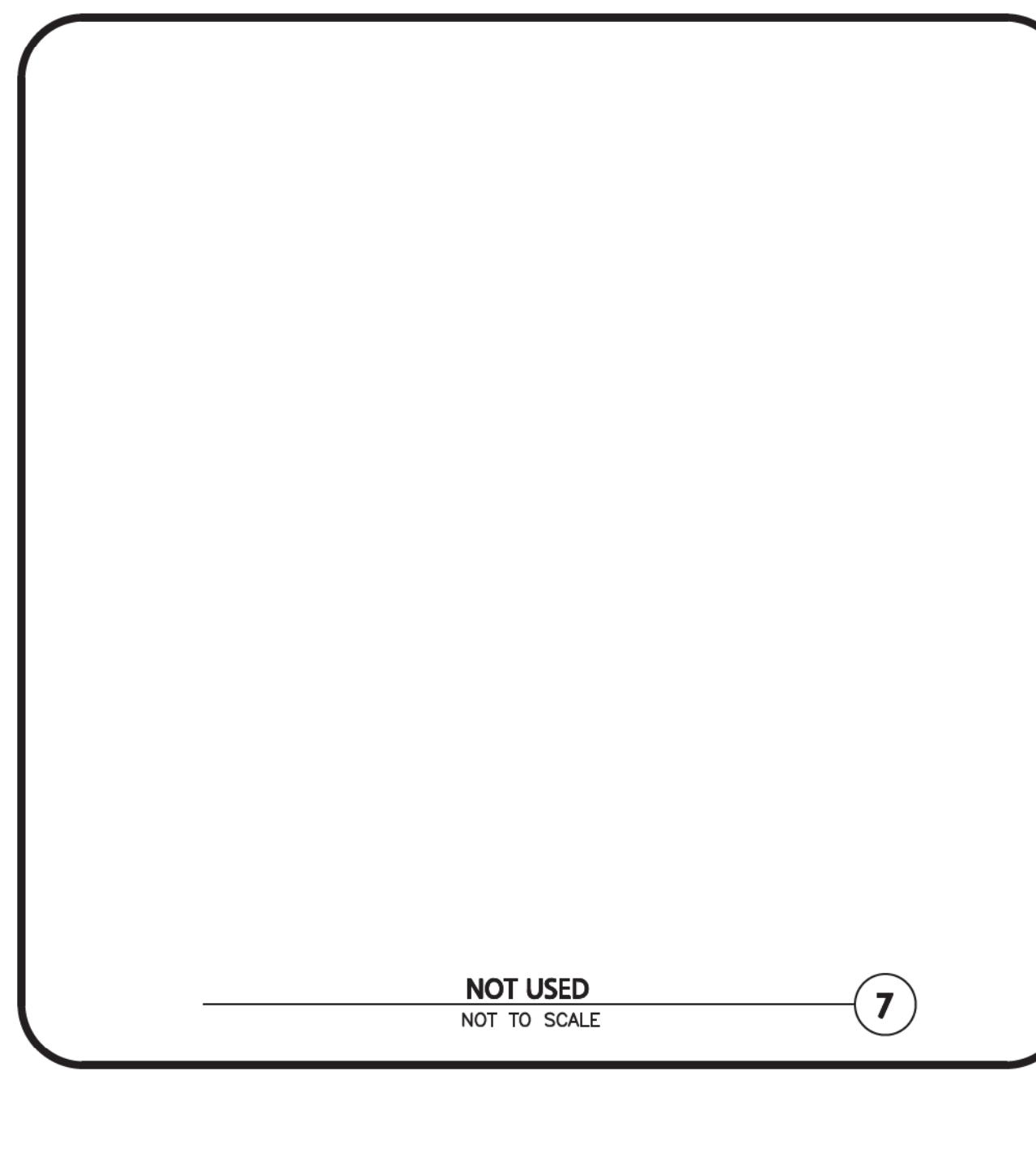
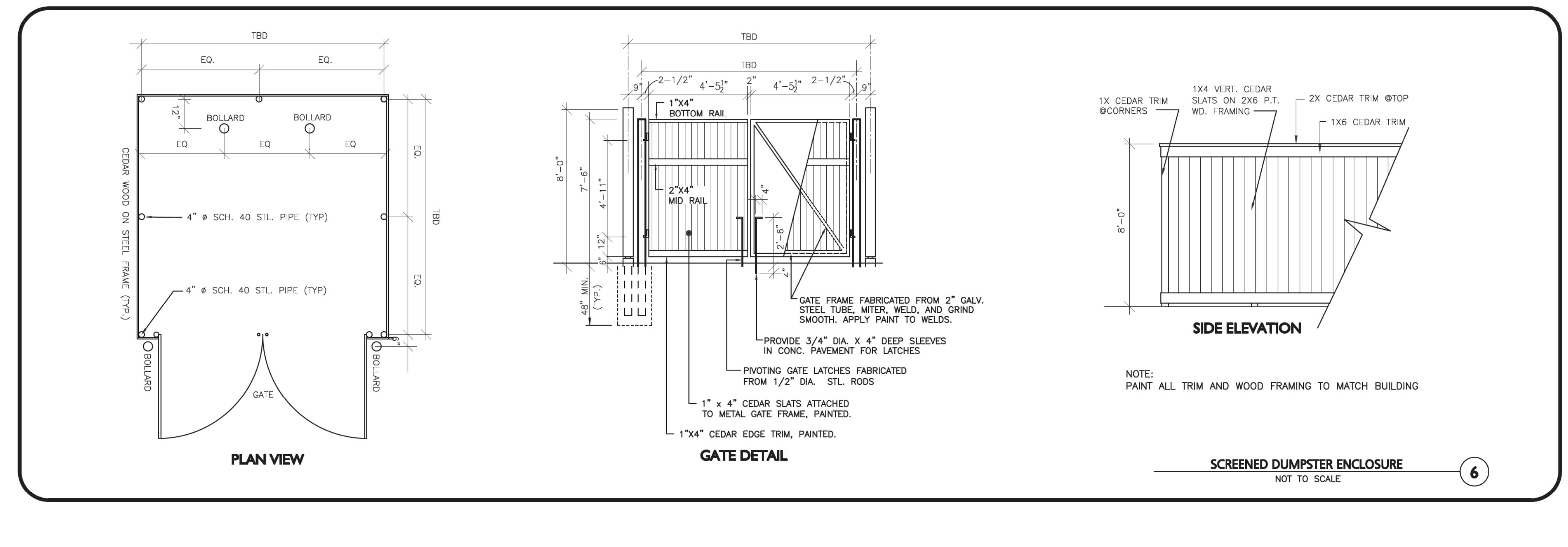
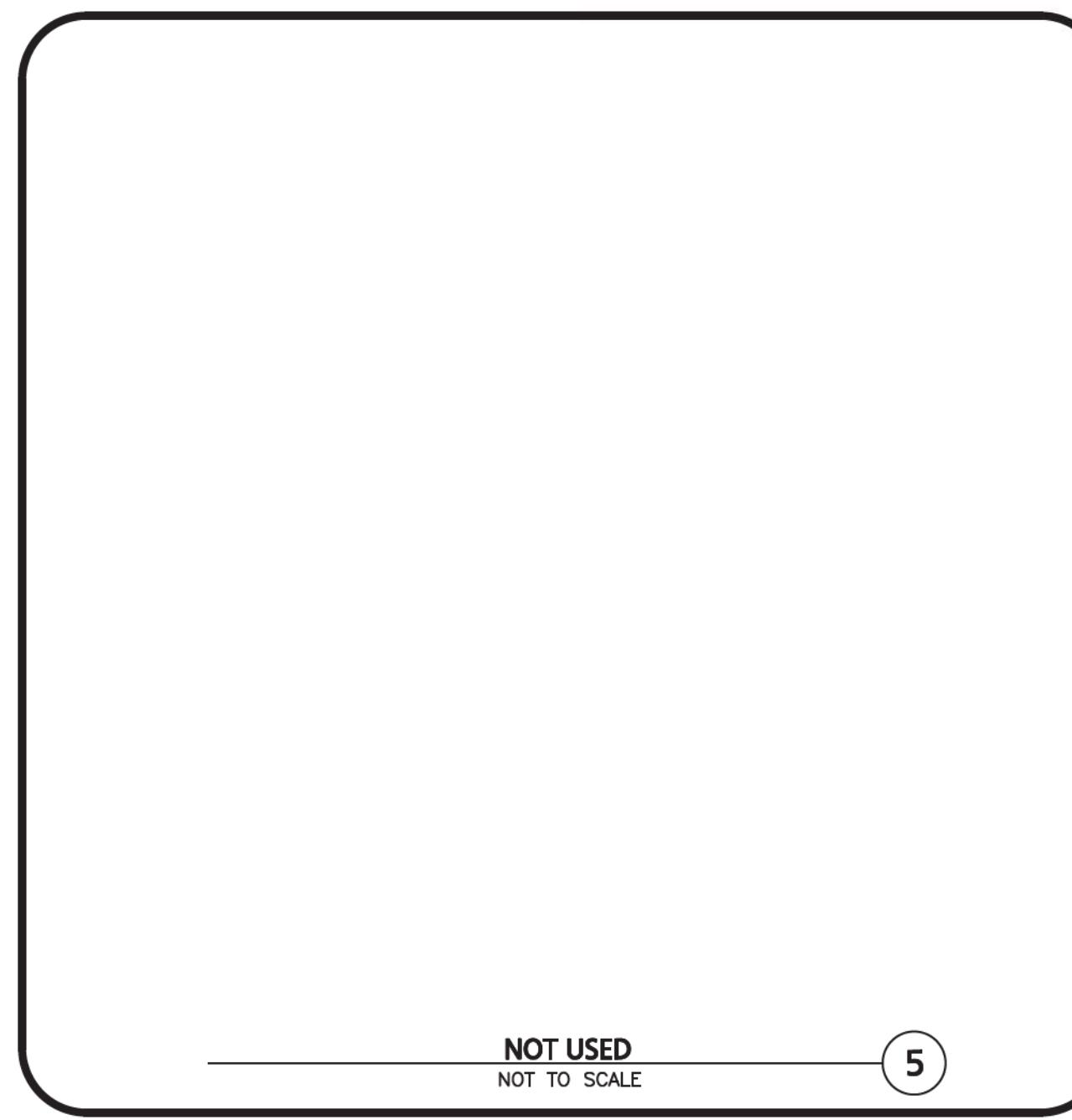
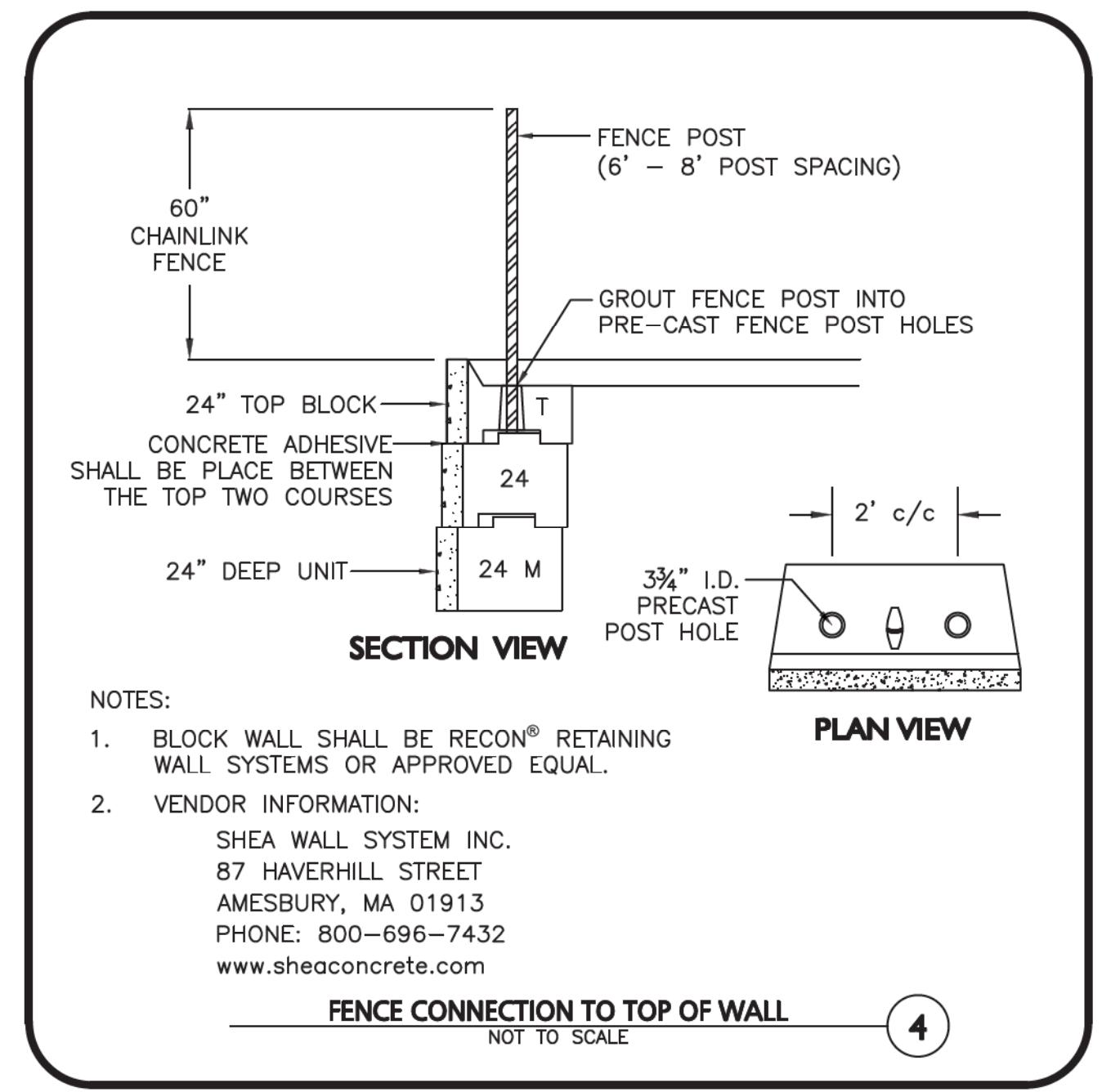
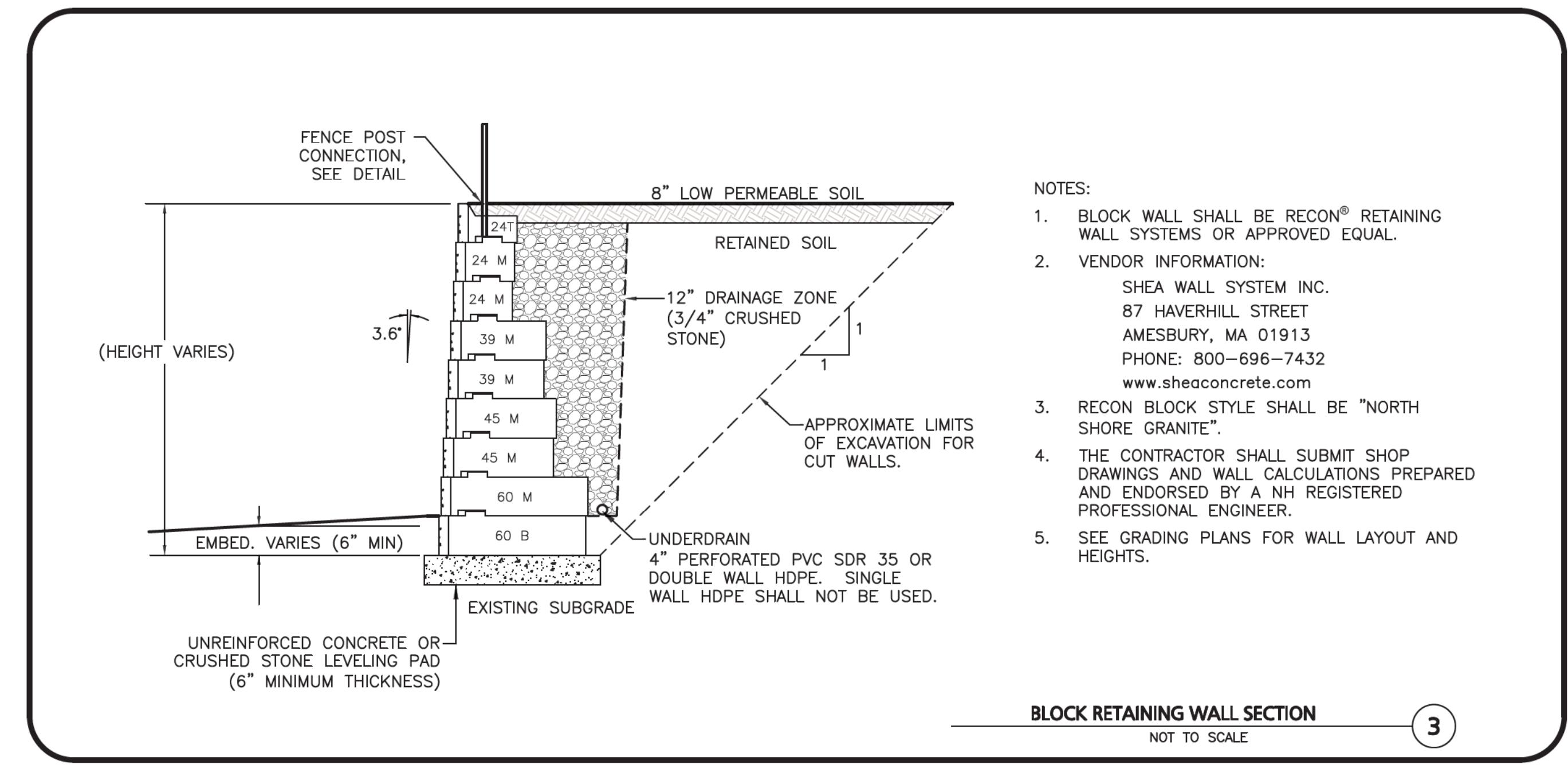
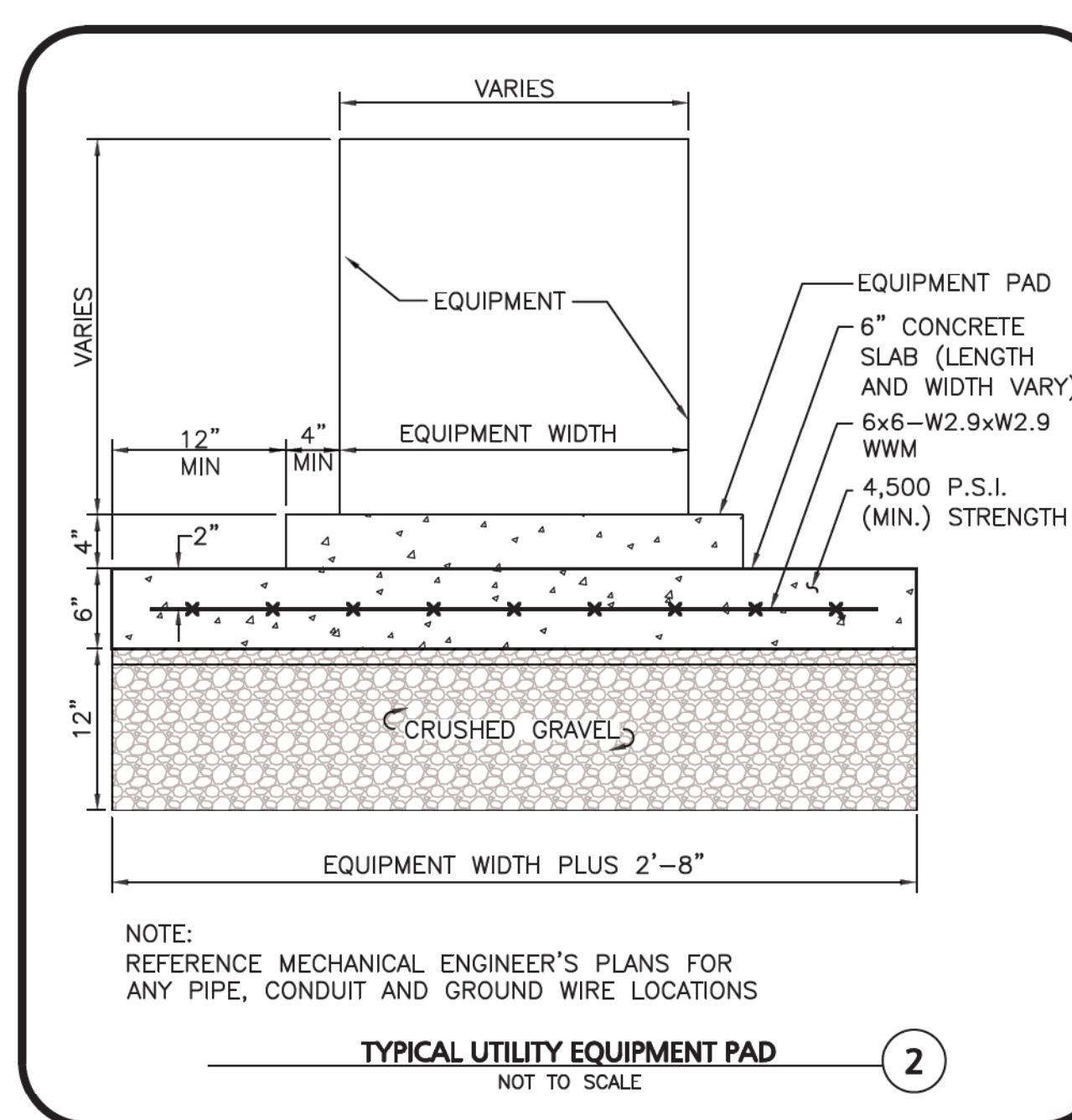
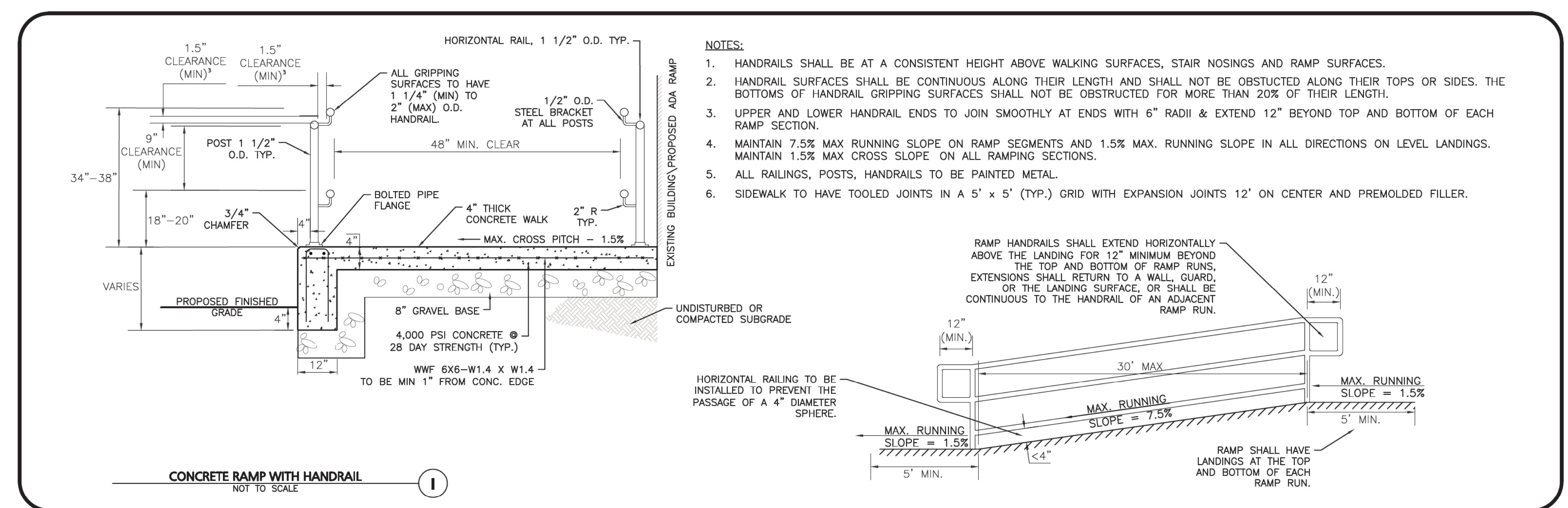
PROJECT NO. 2513-01A DATE: 11-14-19
SCALE: AS SHOWN DWG. NAME: C2513-01A
DESIGNED BY: ARM CHECKED BY: MAM

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④ 05-21-2020 MISCELLANEOUS REVISIONS
⑤ 01-21-2020 MISCELLANEOUS REVISIONS
REV DATE DESCRIPTION

APPLICANT/OWNER:
BARSKY ESTATE REALTY TRUST
23 HUNTING LANE
SHERBORN, MA 01770

PROJECT:
THE PINES
RESIDENCES
41 NORTH MAIN STREET
SHERBORN, MA

PROJECT NO. 2513-01A DATE: 11-14-19

SCALE: AS SHOWN DWG. NAME: C2513-01A

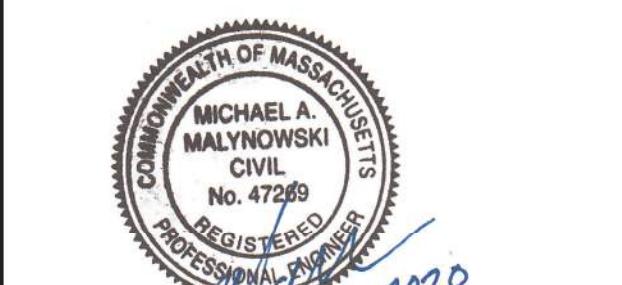
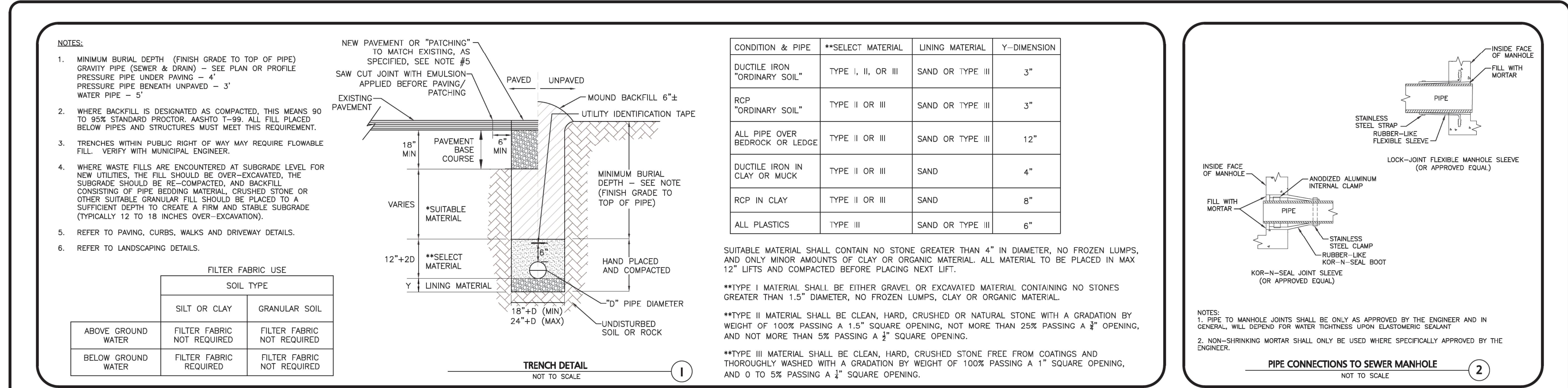
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23 HUNTING LANE
SHERBORN, MA 01770

PROJECT:
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RESIDENCES
41 NORTH MAIN STREET
SHERBORN, MA

PROJECT NO. 2513-01A DATE: 11-14-19

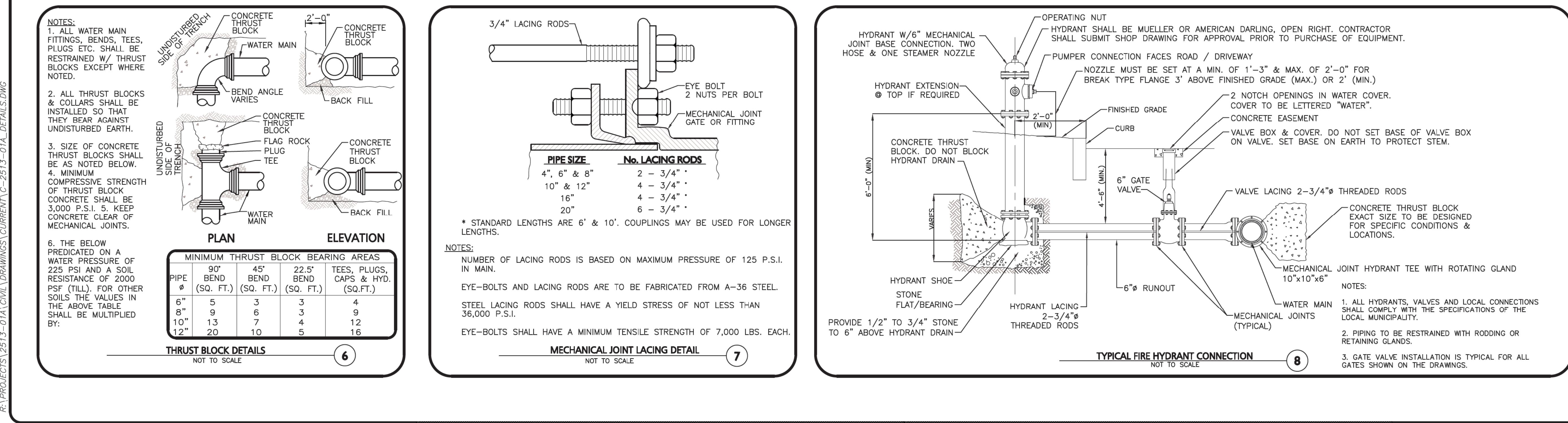
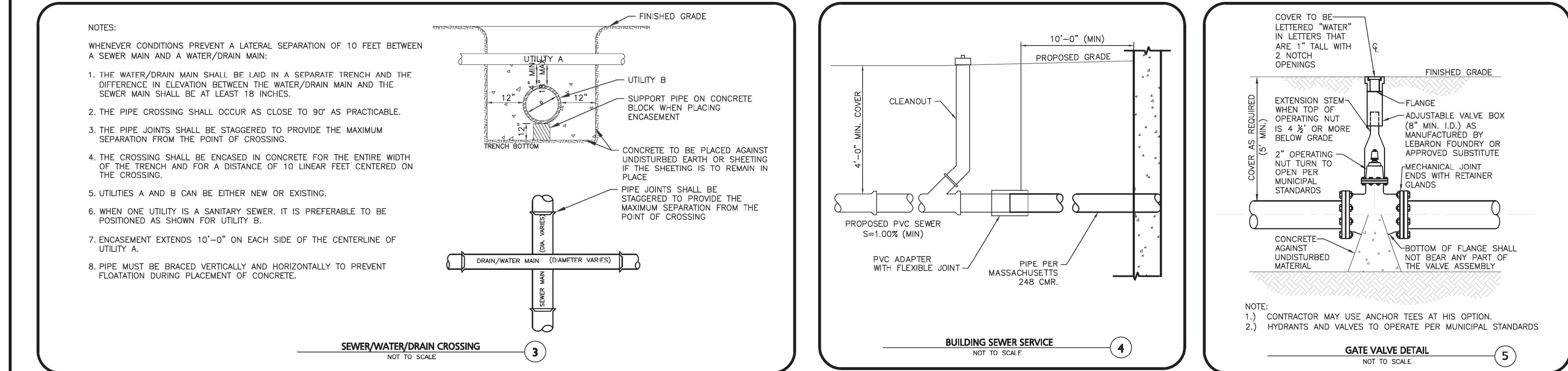
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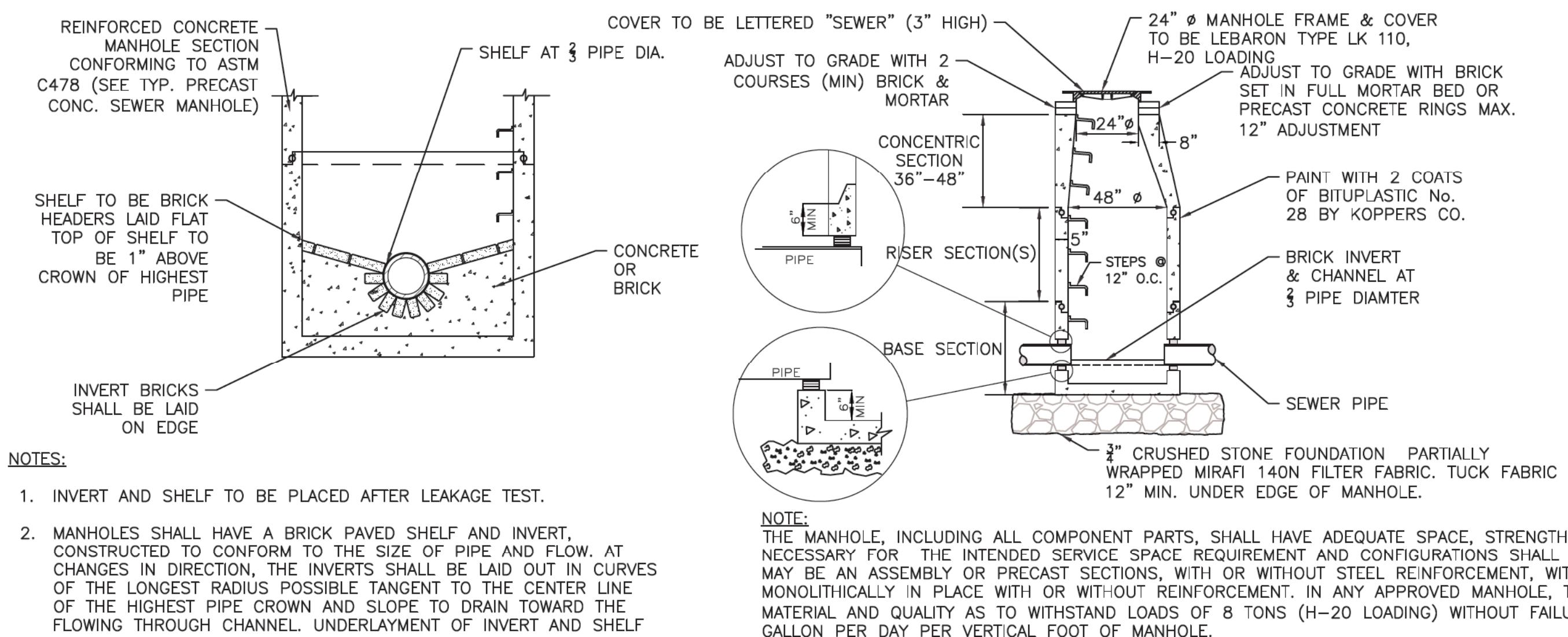
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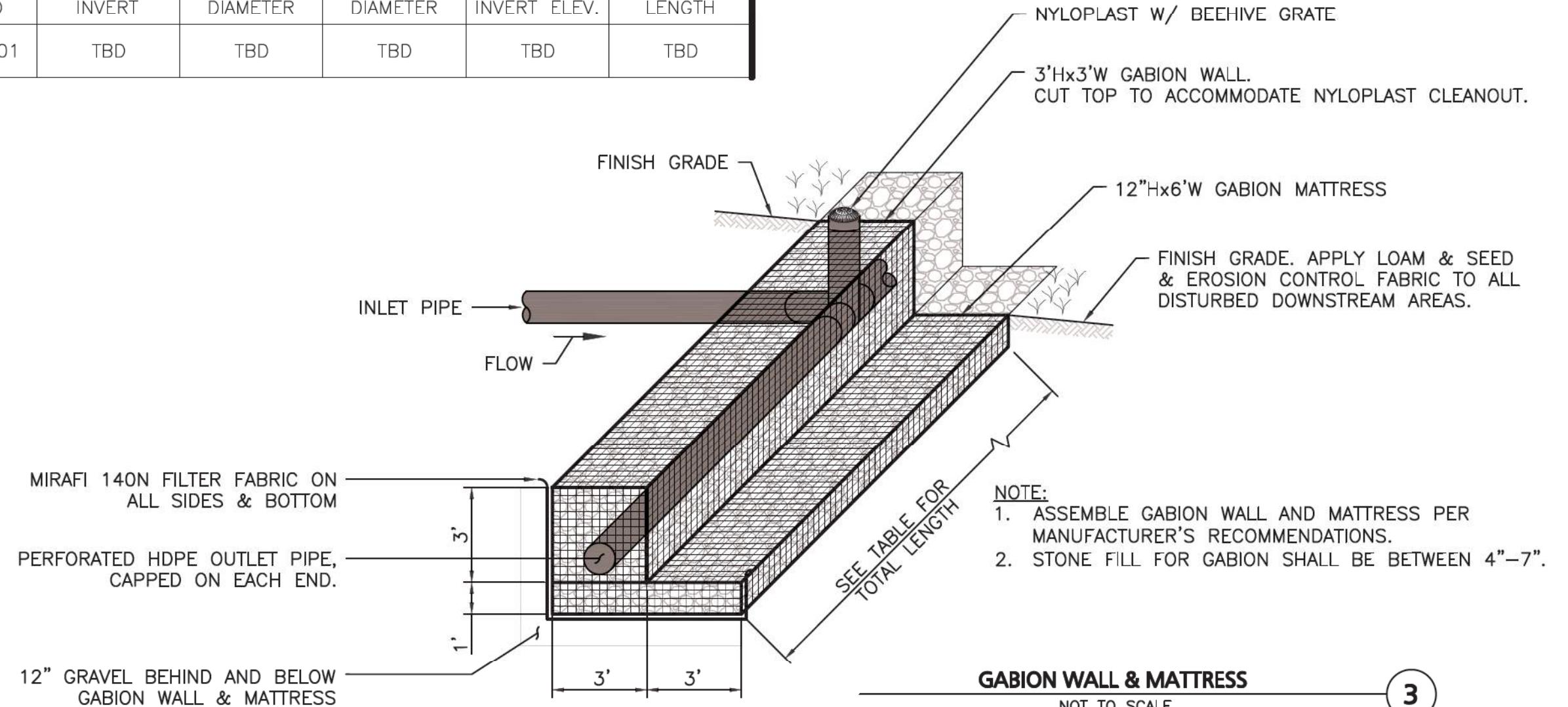




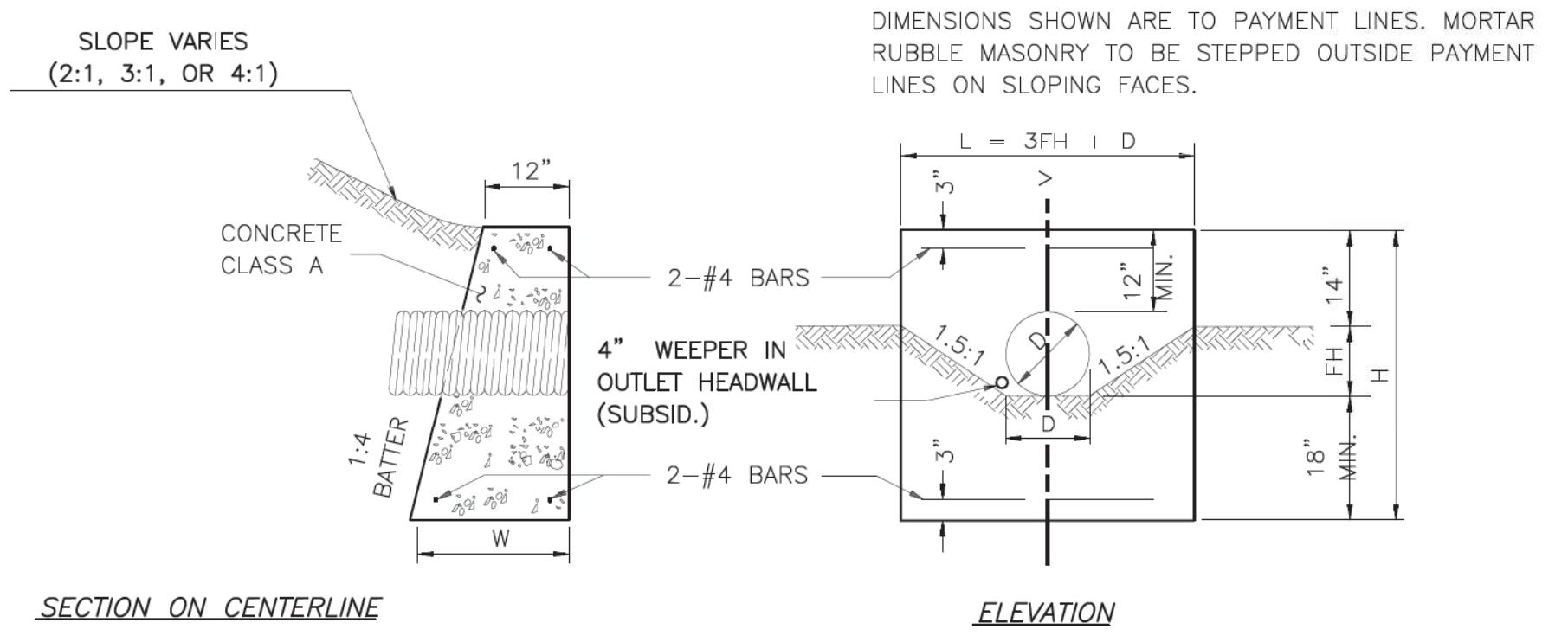
1 PRECAST CONCRETE SEWER MANHOLE
NOT TO SCALE

2 NOT USED
NOT TO SCALE

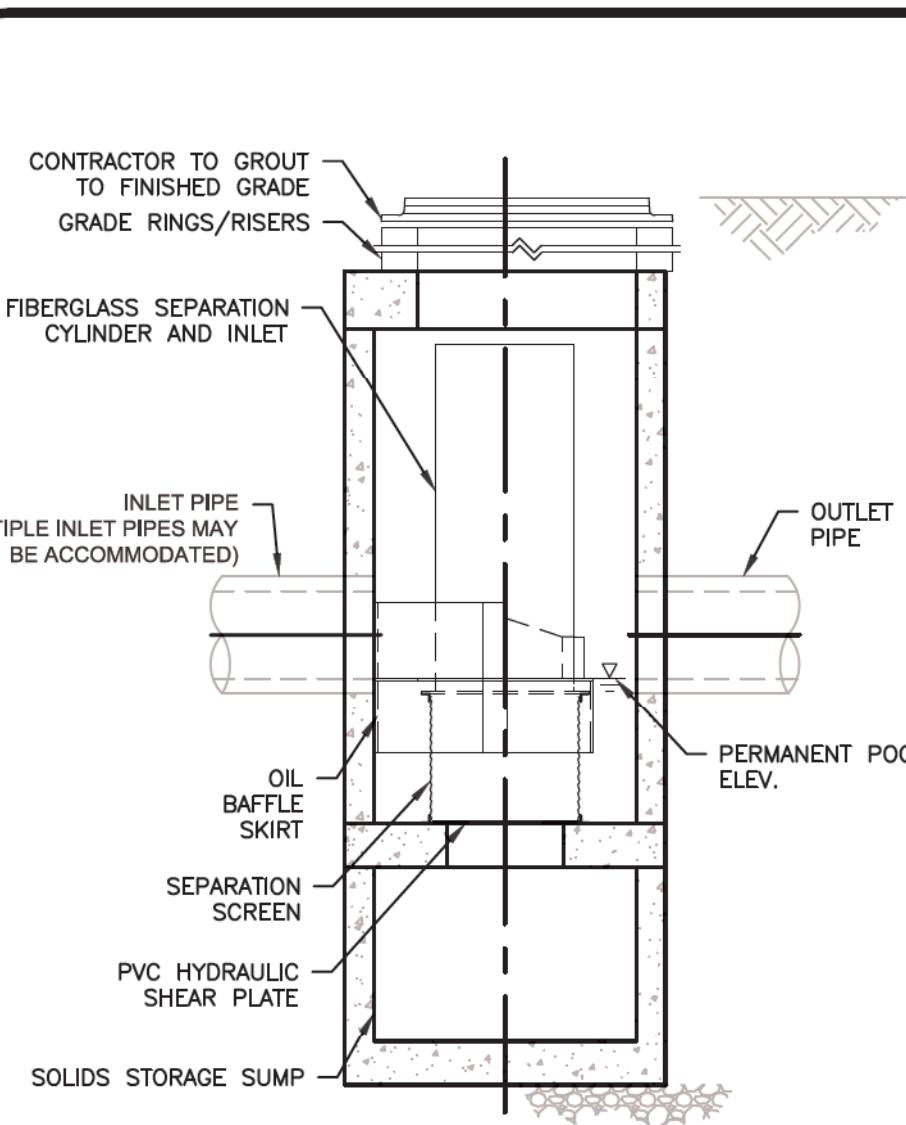
GABION WALL TABLE				
WALL ID	INLET PIPE	GABION OUTLET PIPE		
	INVERT	DIAMETER	DIAMETER	INVERT ELEV.
GABION-01	TBD	TBD	TBD	TBD



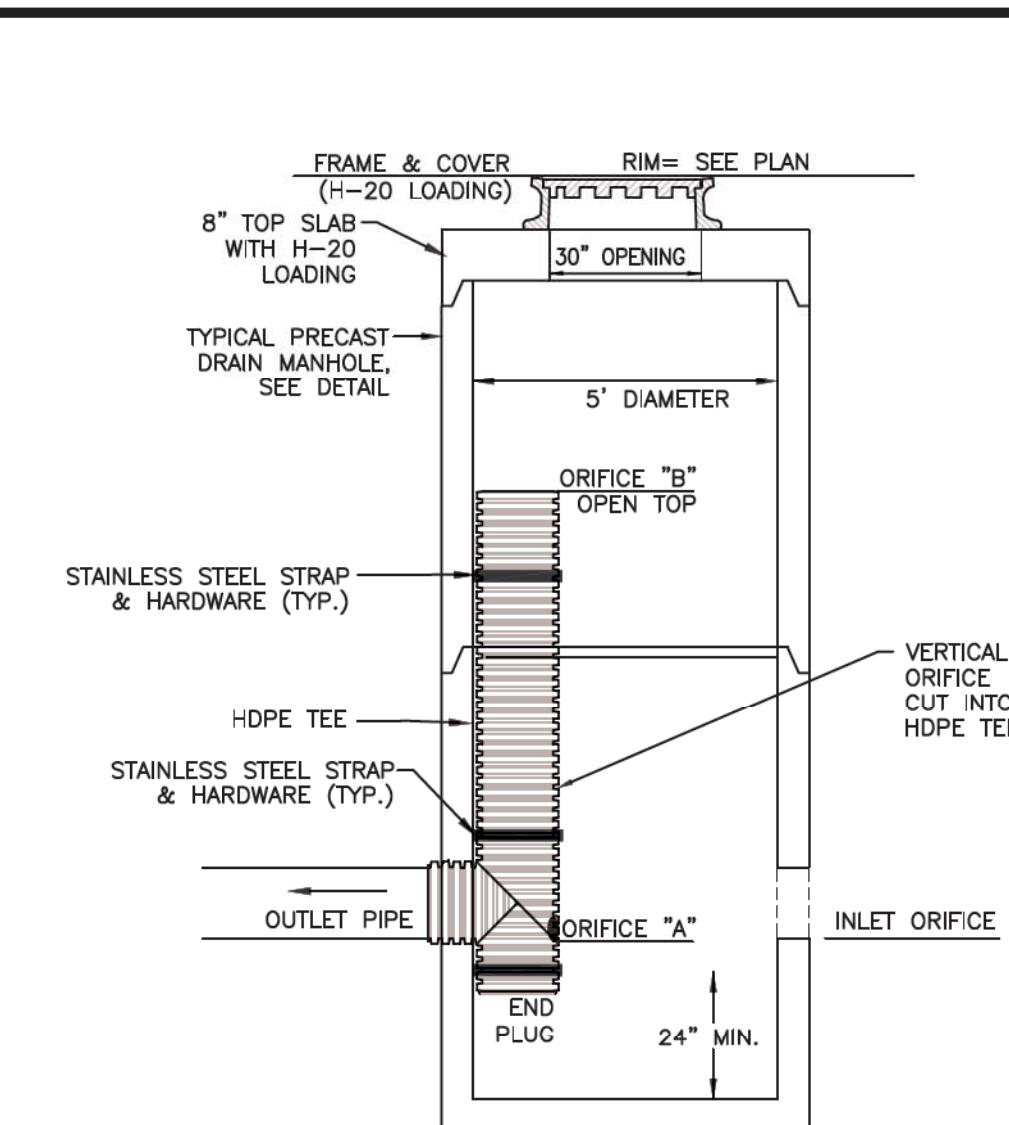
3 GABION WALL & MATTRESS
NOT TO SCALE



4 PRECAST CONCRETE HEADWALL DETAIL
NOT TO SCALE

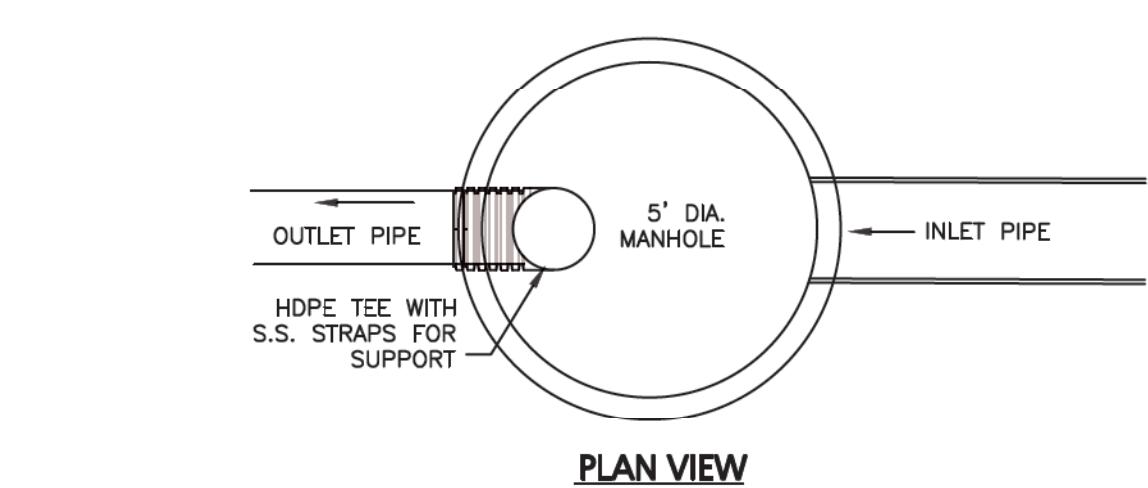


5 TYPICAL CONTECH CDS WATER QUALITY STRUCTURE
NOT TO SCALE



5 TYPICAL CONTECH CDS WATER QUALITY STRUCTURE
NOT TO SCALE

STRUCTURE	ORIFICE		DS-02 INLET		UNDERDRAIN INLET		OUTLET	
	IDENTIFIER	DIA. (INCHES)	ELEV.	DIA. (INCHES)	INVERT ELEV.	DIA. (INCHES)	INVERT ELEV.	DIA. (INCHES)
OCS-01	A	TBD	TBD	TBD	TBD	TBD	TBD	TBD
	B	TBD	TBD	TBD	TBD	TBD	TBD	TBD
OCS-02	A	TBD	TBD	TBD	TBD	TBD	TBD	TBD
	B	TBD	TBD	TBD	TBD	TBD	TBD	TBD



6 OUTLET CONTROL STRUCTURE DETAIL
NOT TO SCALE

COMMONWEALTH OF MASSACHUSETTS
MICHAEL A. MAJCHONSKI
CIVIL
No. 47269
REGISTERED PROFESSIONAL ENGINEER
SHERBORN, MA
10-01-2020

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

3 10-01-2020 ISSUED FOR ZBA APPLICATION
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SHERBORN, MA

PROJECT NO. 2513-01A DATE: 11-14-19

SCALE: AS SHOWN DWG. NAME: C2513-01A

DESIGNED BY: ARM CHECKED BY: MAM

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