

## **SETTLEMENT AGREEMENT AND RELEASE**

This Settlement Agreement and Release (the “Agreement”) is entered into as of the 8th day of February 2024 (“Effective Date”), by and between the Town of Sherborn (“Town”) on the one hand, and Five Star Building Corp. (“Five Star”), Beacon Consulting Group, Inc. (“BCG”) and Travelers Casualty and Surety Company of America (“Travelers”), on the other hand, for good and valuable consideration. Five Star, BCG and Travelers, unless otherwise designated, are collectively referred to in this Agreement as the “Defendants.” The Town, Five Star, BCG and Travelers, unless otherwise designated, are also individually referred to as a “Party” and collectively referred as “Parties.”

WHEREAS, on December 28, 2016, the Town and Five Star entered into a construction contract for the public construction project known as the Sherborn Public Library Renovation and Addition (such contract, as amended, the “Original Contract,” and such project, the “Project”); and

WHEREAS, Travelers, as surety, issued performance and payment bonds on behalf of Five Star, as principal, in favor of the Town, as obligee, with each bond bearing bond number 106605907, and dated December 9, 2016; the Performance Bond is in the total penal amount of \$6,816,750.00 and the Payment Bond is in the total penal amount of \$6,816,750.00 (hereinafter, the “Performance Bond” and the “Payment Bond,” respectively, and collectively the “Bonds”); and

WHEREAS, by letter dated January 16, 2020, the Town declared Five Star in default and terminated the Original Contract; as of the date of termination, the Project was not Substantially Complete; and

WHEREAS, Travelers was called upon by the Town pursuant to paragraph 3 of the Performance Bond to meet its obligations as surety under the terms of the Performance Bond; and

WHEREAS, Travelers and the Town entered into a Takeover Agreement dated June 15, 2020 to effectuate a completion of the Project and the discharge of Travelers' obligations under the Performance Bond;

WHEREAS, as set forth in the Takeover Agreement, Travelers retained BCG as Completion Contractor to assist in the completion of the Project;

WHEREAS, disputes arose among the Town and Defendants in connection with the Original Contract, Project, Performance Bond and Takeover Agreement;

WHEREAS, the Town and Defendants have asserted claims, counterclaims and/or third party claims against one another arising out of the Original Contract, Project, Performance Bond and Takeover Agreement in the lawsuit captioned *Five Star Building Corp. v. Town of Sherborn, et. Al.*, Middlesex County Superior Court, C.A. No. 2081CV2664 ("Action");

WHEREAS, the Parties have participated in extensive negotiations, and mediation, in an attempt to resolve their disputes and the Action; and

WHEREAS, the Parties have agreed that it is in their mutual interest to resolve fully and finally all of their disputes, claims and charges concerning, relating to, or arising out of the Original Contract, Project, Performance Bond, Takeover Agreement and Action.

NOW THEREFORE, in consideration of the mutual promises and covenants contained herein, the receipt and sufficiency of which are hereby acknowledged, the Parties agree as follows:

1. **Settlement Payment.** The Defendants shall pay to the Town Six-Hundred and Sixty Thousand Dollars (\$660,000.00) (the “Settlement Payment”) within 20 days of the execution of this Agreement by an authorized representative of the Town. The Settlement Payment shall be paid, on behalf of the Defendants, by Hanover Insurance Company and QBE North America in two checks made payable to the Town of Sherborn, provided that any failure of such companies to make such payment in accordance with this Agreement shall be a breach of the Agreement by the Defendants.

2. **Release by Defendants.** Except as set forth in Paragraph 6 of this Agreement and excluding claims for breach of this Agreement, and in consideration of the Settlement Payment identified in Paragraph 1, and the Town’s retention of contract balances as identified in Paragraph 4, and the mutual promises and releases exchanged in this Agreement, the Defendants, for themselves and all of their officers, directors, agents, employees, affiliates, attorneys, principals, bonded principals, predecessors, successors, representatives, insurers, subrogees, heirs and assigns and any other legal representative acting on their behalf, hereby release, remise and forever discharge the Town and their predecessors, successors, assigns, officers, directors, departments, agents, employees, servants, attorneys, insurers, and consultants, architects and engineers, of and from any and all claims, losses, personal injuries, damages, causes of action, suits, debts, liens, contracts, proceedings, and any and all other payment claims and liabilities of every kind, both at law and in equity, known or unknown, which the Defendants now have, ever had or ever may have, against the Town, under, pursuant to, arising out of or in any way relating to the Original Contract, Project, Performance Bond, Takeover Agreement or Action, including without limitation, all claims that the Defendants have asserted or could have asserted in the Action, and all claims for costs, contract retainage, interest, expenses, attorney’s fees, compensatory damages,

or punitive damages (collectively, “claims”). Each of the Defendants represents and warrants that it has not assigned or conveyed, in whole or in part, any of the claims released in this paragraph, and that it has full authority to provide such release of claims.

**3. Release by the Town.** Except for Defendants’ continuing Warranty obligations as set forth in Paragraph 6 of this Agreement and excluding claims for breach of this Agreement, and in consideration and upon receipt of the Settlement Payment identified in Paragraph 1, and the Town’s retention of contract balances as identified in Paragraph 4, and the mutual promises and releases exchanged in this Agreement, the Town, for itself and all of their officers, directors, agents, employees, affiliates, attorneys, principals, subrogees, predecessors, successors, representatives, heirs and assigns and any other legal representative acting on their behalf, hereby release, remise and forever discharges the Defendants, and their predecessors, successors, assigns, officers, directors, departments, agents, employees, servants, attorneys, and their consultants and engineers, and their insurers (i.e., Citizens Insurance Company of America, Hanover Insurance Company and General Casualty Company of Wisconsin) of and from any and all claims, losses, personal injuries, damages, causes of action, suits, debts, liens, contracts, proceedings, and any and all other payment claims and liabilities of every kind, both at law and in equity, known or unknown, which the Town now has, ever had or ever may have, against any of the Defendants, under, pursuant to, arising out of or in any way relating to the Original Contract, Takeover Agreement, Project, Performance Bond or Action, including without limitation, all claims that The Town has asserted or could have asserted in the Action, and all claims for costs, contract retainage, interest, expenses, attorney's fees, compensatory damages, or punitive damages (collectively, “claims”). The Town represents and warrants that it has not assigned or conveyed, in whole or in part, any of the claims released in this Paragraph, and that it has full authority to

provide such release of claims. For avoidance of doubt, the foregoing release by the Town does not include (i) any claims by the Town under any insurance policy purchased directly by the Town as named, primary insured; and (ii) any claims under written manufacturers' warranties for the Project.

**4. Town Retention of Contract Balances.** It is agreed among the Parties that the Town shall also retain all contract balances under the Original Contract and Takeover Agreement.

**5. Stipulation of Dismissal.** Within seven (7) days of payment of the Settlement Payment described in Paragraph 1 of this Agreement, the Parties hereto shall cause the Action to be dismissed with prejudice, and without costs, by executing a stipulation of dismissal, which the Town's counsel shall file in the Court in which the Action is pending.

**6. Continuing Warranty Obligations.** Notwithstanding the intended generality of the releases set forth in Paragraphs 2 and 3, and for purposes of this Agreement, but subject to the "Warranty" set forth in Paragraph 12.2.2 of the General Conditions of the Original Contract, which Warranty shall expire on the dates stated in this Paragraph, the Parties agree that (i) the Project shall be deemed as having been Substantially Completed, as that term is defined in the Original Contract, on December 28, 2022; and (ii) the Warranty expired on December 28, 2023, except as to the work reflected in and arising from BCG Submittal #6, rev. 2 (Waterproofing Details), and BCG Submittal #8 (Sanger Street Chimney Copper Flashing), and any damages caused by Defendants in performance of such work (collectively, the "Flashing Repairs"), copies of which are attached hereto as **Exhibit A**, for which the Warranty shall expire on June 30, 2024. Other than the Defendants' continuing Warranty obligations set forth in this Paragraph and Defendants' other obligations under this Agreement, the Defendants' obligations to the Town under the Original Contract, Project, Takeover Agreement, Performance Bond or Action are extinguished and

released by the Town. For avoidance of doubt, the Parties agree that the Settlement Payment includes a \$100,000 credit in lieu of completion of the items of work included on the April 20, 2023, “Punchlist” attached hereto as **Exhibit B** (excluding the Flashing Repairs), and that, therefore, such items of work (excluding the Flashing Repairs) shall not be eligible for claim under the Warranty. Any Warranty work for claims made within the Warranty periods aforesaid shall be performed or caused to be performed by the Defendants in accordance with Paragraph 12.2.2 of the General Conditions of the Original Contract. The Defendants shall be jointly and severally liable for any Warranty claims asserted within the Warranty periods aforesaid.

**7. Close-Out Documentation.** Within 45 days of the Effective Date, Defendants shall, upon request of the Town, provide the Town with written manufacturers’ warranties; emergency, operation, and maintenance manuals pursuant to Section 017823 (Operation and Maintenance Data) of the Project specifications, and project record documentation pursuant to Section 017839 (Project Record Documentation) of the Project specifications, provided that the requested documents and materials are within Defendants’ possession as of the Effective Date; and provided further that to the extent any such documents and materials are in the possession of third parties, Defendants shall reasonably assist and cooperate with the Town to procure such documentation.

**8. Travelers Claims Not Released as to Five Star and Indemnitors.**

Notwithstanding the intended generality of the releases set forth in this Agreement, it is understood and agreed by Five Star and Travelers, that Travelers is not releasing Five Star or any of its individual indemnitors for any and all liability that Five Star and its individual indemnitors may have to Travelers pursuant to the common law or any indemnity agreements executed by Five Star and its individual indemnitors in favor of Travelers.

**9. Payment Bond Remains In Effect.** Notwithstanding anything to the contrary in this Agreement, Travelers Payment Bond shall remain in full force and effect in accordance with its terms and provisions. Nothing in this Agreement constitutes a waiver of the bond penalty under the Payment Bond, or an increase in the liability of Travelers under the Payment Bond. The Town acknowledges that, except as otherwise required by the Payment Bond or law, Travelers shall have the sole and unfettered discretion in good faith to settle, compromise and otherwise independently handle any and all claims against the Payment Bond.

**10. Representations by Defendants.** The Defendants represent and warrant that (i) they have fully completed the Flashing Repairs and that, other than the Punchlist, they are not aware of any incomplete work, nor of any uncorrected deficient or defective construction work performed by, for or on behalf of the Defendants for the Project; (ii) they are not aware of any claims of personal injury arising from the Project; (iii) they have paid all amounts due and owing for all labor, services, materials and equipment furnished by, for and on behalf of the Defendants for the Project, including without limitation amounts due and owing to Defendants' subcontractors (including those under G.L. c.149, § 44F); and (iv) for amounts not yet properly due and owing for the Flashing Repairs, Defendants will promptly pay such amounts when due. The Defendants acknowledge and agree that the foregoing representations and warranties and agreements are essential terms of this Agreement.

**11. Representations by Town.** The Town represents and warrants that, as of the Effective Date, other than the Flashing Repairs, and other than the items identified in the Punchlist for which (excluding the Flashing Repairs) the Town has accepted a payment in lieu of completion as noted in Paragraph 6 of this Agreement, and without waiver of rights under this Agreement, it is not aware of any uncorrected deficient or defective construction work performed

by, for or on behalf of the Defendants for the Project or any unasserted claims under the Warranty, and is not aware of any claims of personal injury arising from the Project. The Town acknowledges and agrees that the foregoing representations and warranties are essential terms of this Agreement.

**12. Settlement Agreement Not Confidential.** This Agreement shall be subject to public disclosure.

**13. No Admission of Liability.** The Parties acknowledge that the payment by the Defendants and the terms of this Agreement do not constitute an admission of liability by any of the Parties, which liability is expressly denied; said payment and this Agreement are being made solely for the purpose of disposing of disputed claims.

**14. Advice of Counsel.** The Parties acknowledge and represent that they have had adequate opportunity to consult with technical advisors and competent legal counsel in connection with the issues covered herein, and in negotiating and deciding to enter into this Agreement.

**15. Attorneys' Fees and Costs.** Each Party will bear its own legal and other costs incurred in connection with this matter, including but not limited to the fees and costs associated with the preparation and performance of this Agreement.

**16. Authority to Execute Agreement.** By executing this Agreement, the respective Parties represent and warrant that they possess the legal authority to do so and have consulted with all required persons and entities. Each Party represents that the person signing this Agreement on its behalf is duly authorized to do so.

**17. Merger.** This Agreement supersedes all prior and contemporaneous oral and written settlement agreements, offers, counteroffers, discussions and statements pertaining to the Action.

**18. Counterparts/Facsimiles.** This Agreement may be executed in counterparts, each of which constitutes an original and all of which constitute one and the same agreement. Facsimiles and PDFs of signatures shall constitute acceptable binding signatures for purposes of this Agreement.

**19. Amendments.** No supplementation, modification, waiver or termination of this Agreement shall be binding unless executed in writing by the Parties.

**20. Jointly Drafted Agreement.** The Parties have jointly drafted this Agreement. No Party shall be deemed the drafter of this Agreement and no inferences concerning the terms of this Agreement shall be drawn against any Party on that ground.

**21. Successors and Assigns.** This Agreement shall be binding upon the Parties, their successors and assigns.

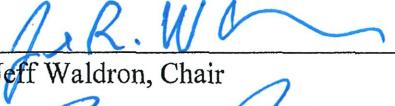
**22. Partial Invalidity.** If any provision of this Agreement or any portion of any provision of this Agreement is declared null and void or unenforceable by any court or tribunal having jurisdiction, then such provision or such portion of a provision shall be considered separate and apart from the remainder of this Agreement, which shall remain in full force and effect, and the court or tribunal will reform and/or construe this Agreement, as much as is legally permissible, to conform to the original intentions and expectations of the Parties as expressed in the remainder of this Agreement.

23. **Choice of Law and Venue.** This Agreement is made and entered into in the Commonwealth of Massachusetts and shall in all respects be interpreted, enforced, governed and construed by and under the laws of the Commonwealth of Massachusetts without regard to its law regarding choice and conflicts of law. Any litigation arising hereunder shall be brought solely and exclusively in the Massachusetts state courts sitting in Middlesex County, to whose jurisdiction all Parties assent.

24. **Free Act and Deed.** The Parties represent that this Agreement is freely and voluntarily entered into without any duress or compulsion whatsoever.

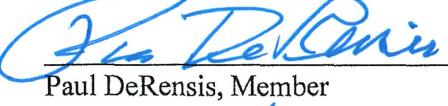
IN WITNESS WHEREOF, the Parties have caused this Agreement to be executed by their authorized representatives:

**TOWN OF SHERBORN**  
By its Select Board

  
Jeff Waldron, Chair

  
Eric Johnson, Vice Chair

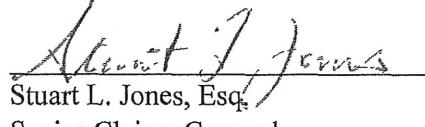
  
Steven L. Tsai, Clerk

  
Paul DeRensis, Member

  
Marian Neutra, Member

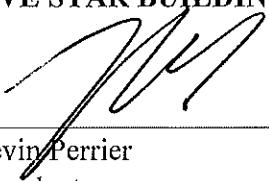
Date: 2-08-24

**TRAVELERS CASUALTY AND  
SURETY CO. OF AMERICA**

  
Stuart L. Jones, Esq.  
Senior Claims Counsel

Date: 1-26-24

FIVE STAR BUILDING CORP.



Kevin Perrier  
President

Date: 1-25-2014

BEACON CONSULTING GROUP

---

Dennis O'Neill  
President

Date: \_\_\_\_\_

**FIVE STAR BUILDING CORP.**

---

Kevin Perrier  
President

Date: \_\_\_\_\_

**BEACON CONSULTING GROUP**



Dennis O'Neill  
President

Date: 1/29/24

SHERBORN LIBRARY TRUSTEES

Brian Connolly  
Brian Connolly, Chair

Susan Lepard  
Susan Lepard, Secretary

Frank Orlando  
Frank Orlando, Treasurer

Thais S. Bessa  
Thais Bessa

Erin Carroll  
Erin Carroll

Chris Kenney  
Chris Kenney

Mary McKenna  
Mary McKenna

Seth Molloy  
Seth Molloy

Tom VanLangen  
Tom VanLangen

**EXHIBIT A**  
**FLASHING REPAIRS**  
**(Exhibit follows this Page)**

# SUBMITTAL

SPEC SECTION: 071326

SUBMITTAL #: 6

REVISION #: 2

DATE: 07/03/2023

PROJECT: 16-013 Sherborn Library  
4 Sanger St, Sherborn MA 01770

TO: Rich Ryan (Beacon Architectural Associate, BAA)

FROM: Marcus Lehner (Beacon Consulting Group, BCG)

CC: Peter Byerly (BAA), Mike McNulty (CHA), John Richmond (BCG), Jim Bruno (BCG)

## DESCRIPTION:

6.9 LINE WATERPROOFING DETAILS. DETAIL IS PREPARED BY DEBRINO CAULKING BASED ON JUNE 14<sup>TH</sup>, 2023 MEETING AND WALKTHROUGH AND BAA SKETCHES.

Reviewed by Beacon Consulting Group

## RESPONSES:

### Engineer's Stamp

- Refer to PCB comments clouded
- Provide & patch new formed epoxy cement extensions @ the existing slab locations. Roughen existing surfaces & apply bonding agent prior to installing epoxy cement (TYP)
- Extend slab edge w/ epoxy cement @ storefronts and entrance side lights to 3 5/8" from face of foundation wall. (See Detail C)
- Extend slab edge w/ epoxy cement @ entry door opening/threshold to be set back 1" from leading edge of aluminum threshold. (See Detail B)

### Architect's Stamp

#### BEACON ARCHITECTURAL ASSOCIATES

APPROVED

APPROVED AS NOTED  
If checked above, fabrication MAY be undertaken. Resubmit corrected copies for final approval. Corrections shall be limited to items marked.

REVISE AND RESUBMIT  
 NOT APPROVED

BY: RER DATE: 7/13/2023

Review is only for conformance with design concept of the project and compliance with the information given in the contract documents. The contractor is responsible for dimensions to be confirmed and correlated to the site; for information that pertains solely to the fabrication process or to the means, methods, techniques, sequences and procedures or construction; and for the coordination of the work of all trades

PCB COMMENTS - SEE PAGE 2, DETAIL SHEET & INACTIVE WORK AREA PHASE 2

JULY 10, 2023

# BEACON

## CONSULTING GROUP, INC.

255 West 36<sup>th</sup> Street, Suite 202  
New York, NY 10018

Construction Management

Surety Consulting

Phone: (212) 695-3333  
Fax: (212) 695-3343

Construction Estimating

Peter,

Please find attached submittal for the waterproofing at the 6.9 line patio.

This detail is being submitted as per our understanding of the Architect's preferred repair sequence and sketches. Of note, this repair sequence requires the removal of the doors and windows in the three bays detailed. This in turn will impact a number of surrounding finishes. The full extent of what finishes will be impacted will not be known until the work is performed. FSBC/BCG will make every reasonable effort to restore finishes to match the as-built condition. However, we cannot guarantee some aesthetic differences won't be visible, such as matching cedar color.

As requested by the Town, the work will be sequenced in two phases to allow for egress to the patio. Phase 1 will include the repairs at the E-F storefront and D-E door bays. Phase 2 will include the repairs of the J-H Door Bay after phase 1 is complete. After window/door removal, a temporary plywood barrier will be placed in the bay until the window/door is replaced.

Two plans are included for phase 2. One plan is for the work area during active daytime work, and the second is for periods where the work is inactive. Notably, access to the handicap ramp may be limited during working hours during phase 2. The area will be cleared and materials stored in the limits of inactive work area at the end of each shift during phase 2.

As discussed in the meeting, FSBC/BCG expects to be able to work typical work hours (Monday-Friday 7am-3pm) without interruption during these repairs.

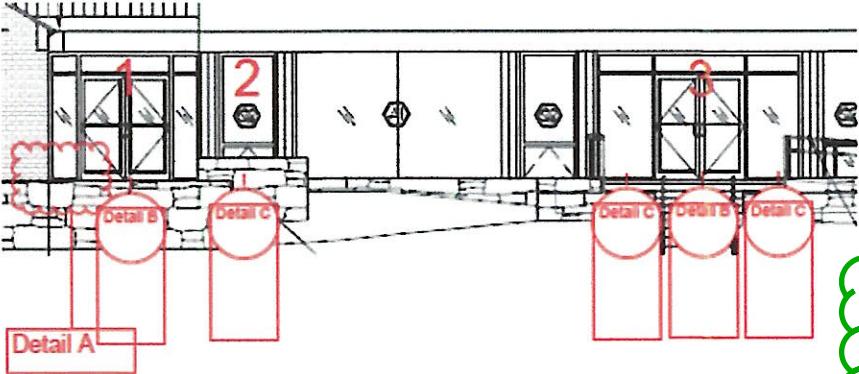
Sincerely,

Beacon Consulting Group, Inc



Marcus Lehner  
Project Engineer

### West Elevation- Not to Scale



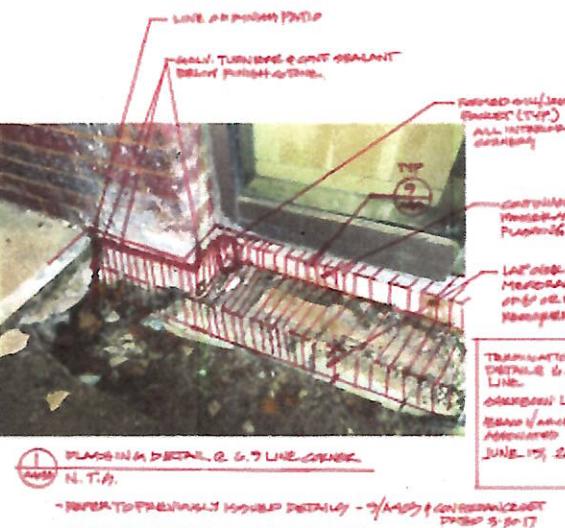
**Scope of Work:**

- Openings 1,2,3 to be removed by others.
- Excavation/Demo to allow DeBino to perform work for repair by others.
- Repair of Substrate (Patching and Parging) to provide a smooth sound surface by others.
- Repair of opening 1 to utilize a combination of details 9/A403 and details provided by Peter on 6/15/23 6.9 Flashing Termination Detail and 6.9 Details at Door Provided on 2/15/23 and on site discussion with Peter on 6/15/23.
- Repair of Opening 2 will utilize detail 9/A403.
- Repair of Opening 3 will utilize detail 9/A403 and Details at Door provided on 2/15/23.
- If additional openings are to be removed based on the conditions repair details will be determined at that time.
- Removal of Openings 1,2 and 3 has potential and is likely to damage existing Air Vapor Barrier at the openings. This will need to be addressed as well. As the caulking around the openings.
- See attached details to reference repairs.

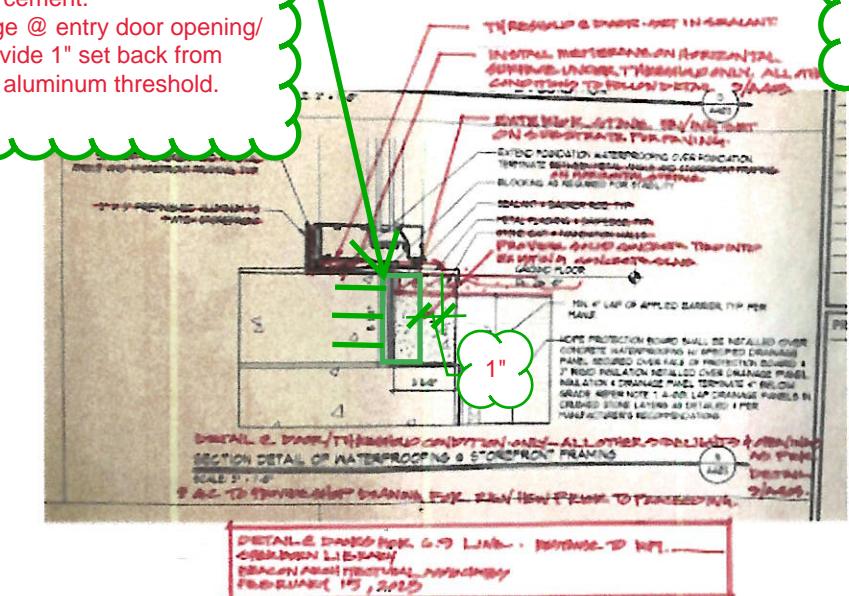
Patch in new formed epoxy cement extension @ existing slab edge.

Roughen existing slab face & conc surfaces & apply bonding agent prior to installing epoxy cement.

Extend slab edge @ entry door opening/ threshold to provide 1" set back from leading edge of aluminum threshold. (TYP)



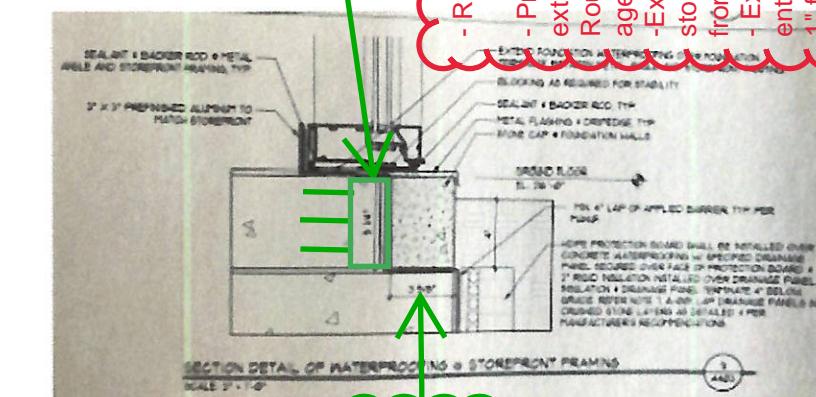
**Detail A**



Patch in new formed epoxy cement extension @ existing slab edge. Roughen existing slab face & conc surfaces & apply bonding agent prior to installing epoxy cement. Extend @ storefronts and entry side lights to provide a 3 5/8" set back from the face of foundation wall. (TYP)

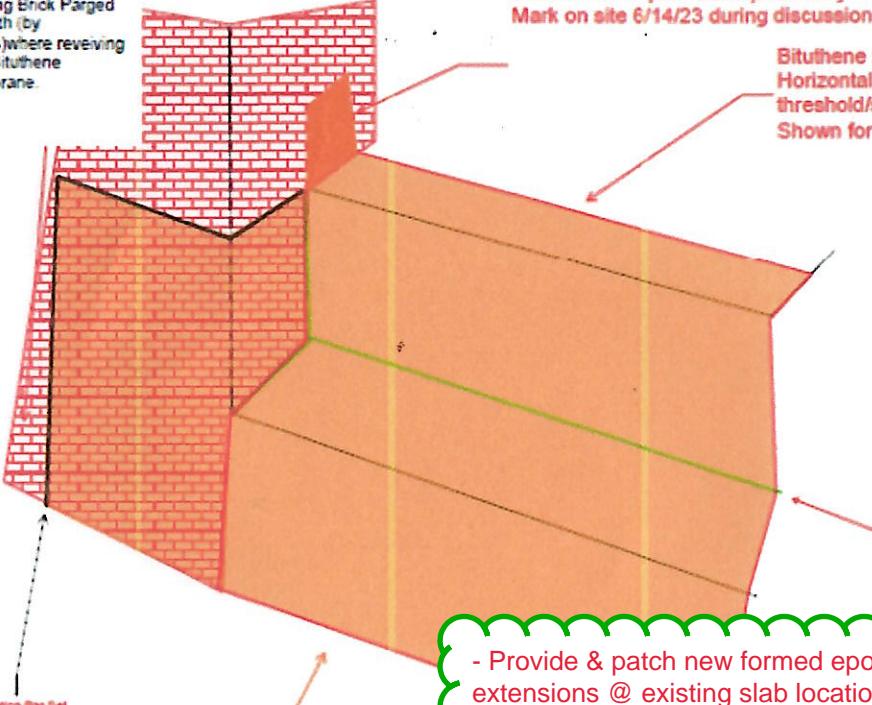
Refer to PCB comments clouded

- Provide & patch new formed epoxy cement extensions @ the existing slab locations.
- Roughen existing surfaces & apply bonding agent prior to installing epoxy cement (TYP)
- Extend slab edge w/ epoxy cement @ storefronts and entrance side lights to 3 5/8" from face of foundation wall. (See Detail C)
- Extend slab edge w/ epoxy cement @ entry door opening/threshold to be set back 1" from leading edge of aluminum threshold. (See Detail B)

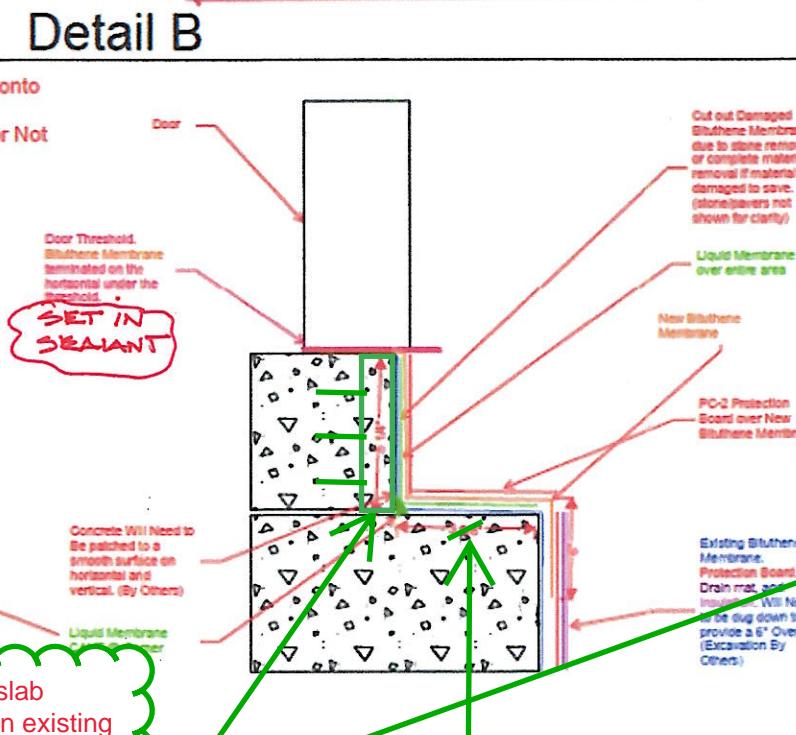


**Detail C**

Existing Brick Parged Smooth (by others) where reusing new Bituthene membrane.



Bituthene Membrane tie onto existing brick for form "pan" as requested by Mark on site 6/14/23 during discussion



New Bituthene Membrane. All set in Liquid Membrane. Drainage Board, Protection Board, Insulation Not Shown for Clarity. 6" Tie onto Existing Membrane

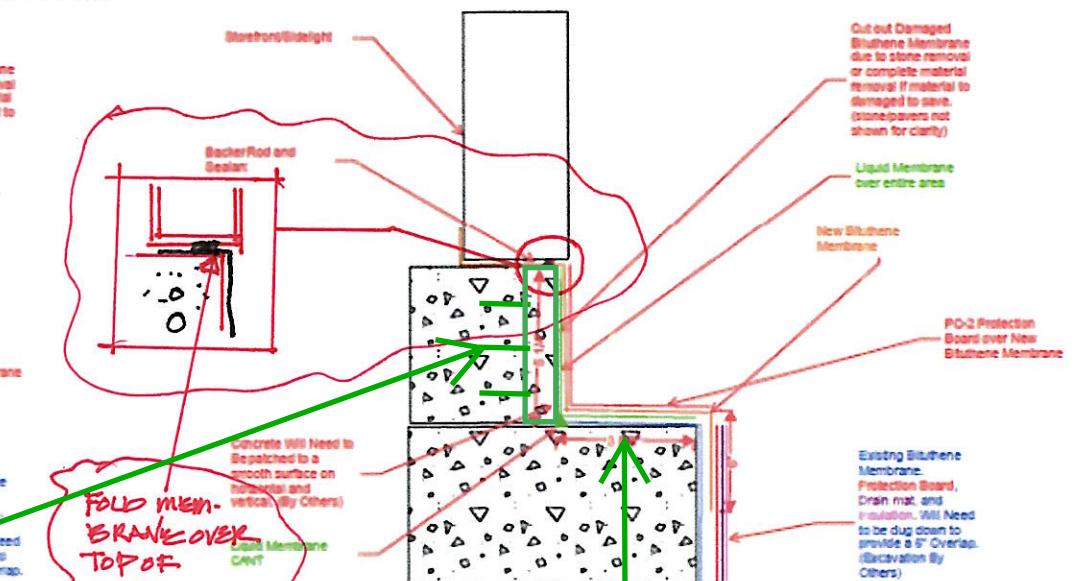
- Provide & patch new formed epoxy cement slab extensions @ existing slab locations. Roughen existing conc surfaces & apply bonding agent prior to installing epoxy cement (TYP)

- Extend @ storefronts & entrance side lights to 3 5/8" from face of foundation wall.

- Extend @ entry door opening/threshold to be set back 1" from leading edge of aluminum threshold.

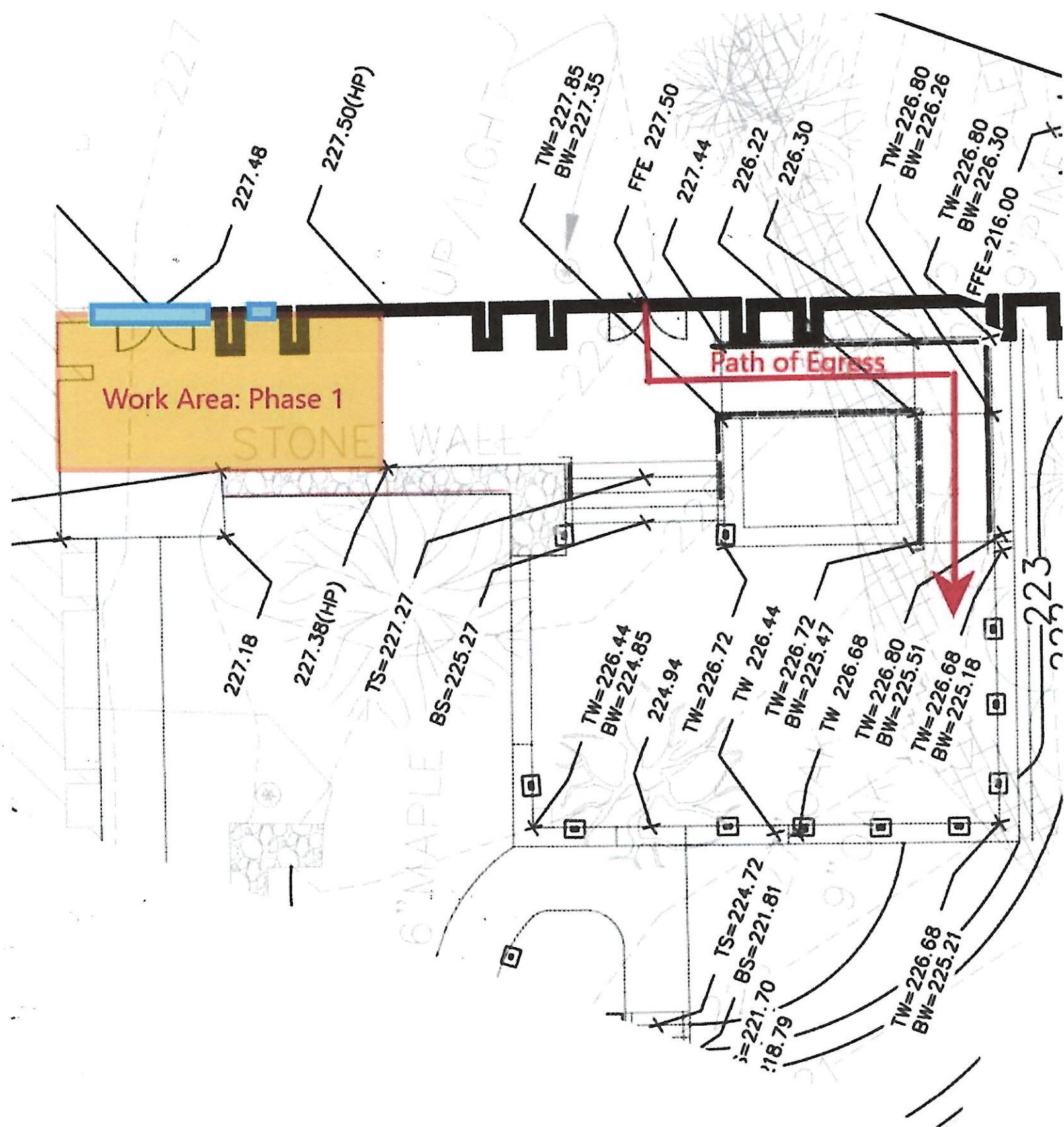
Door Detail RFF Detail B - Detail at Door Provided on 2/15/23- Not to Scale

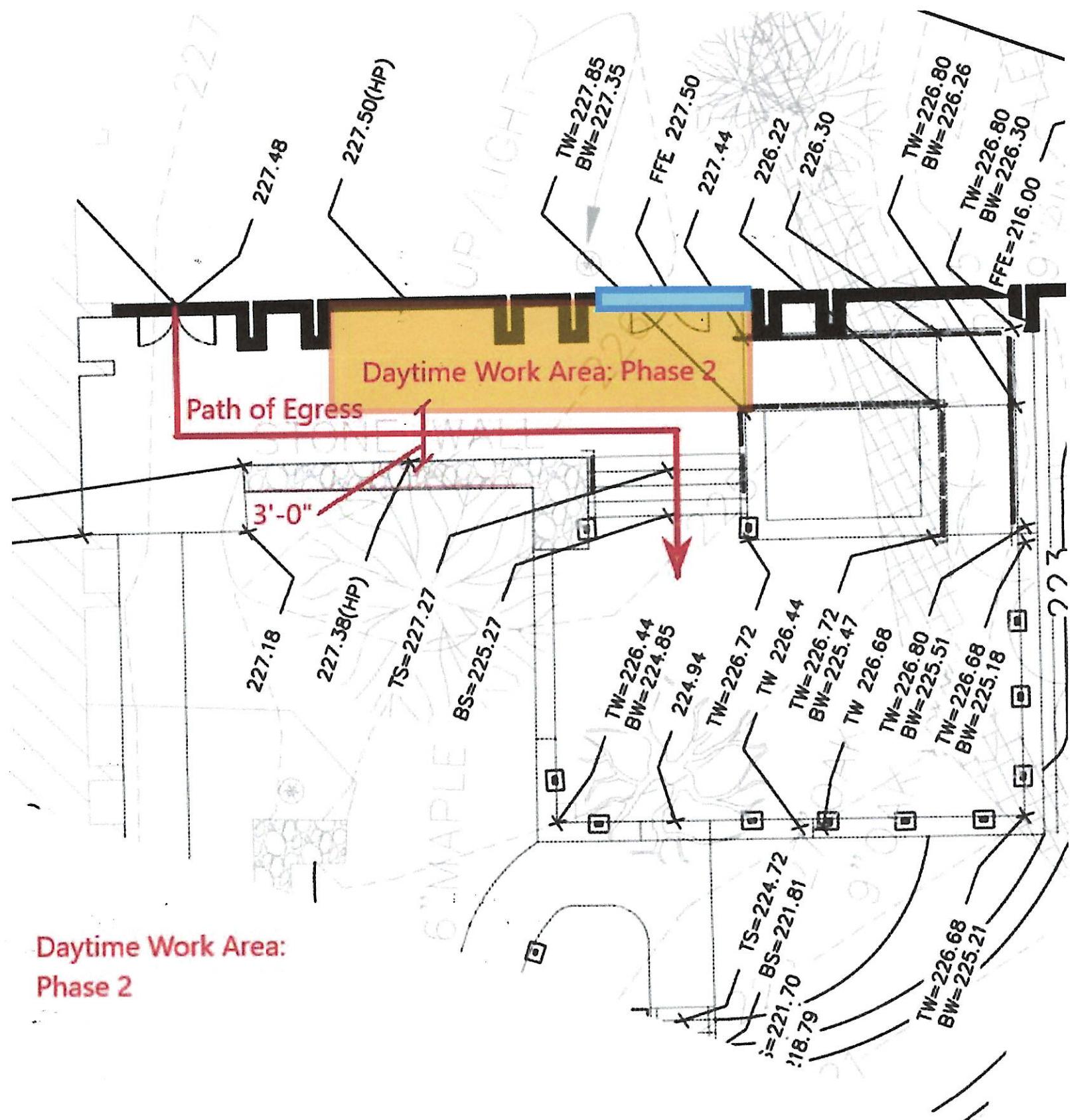
(VIF)

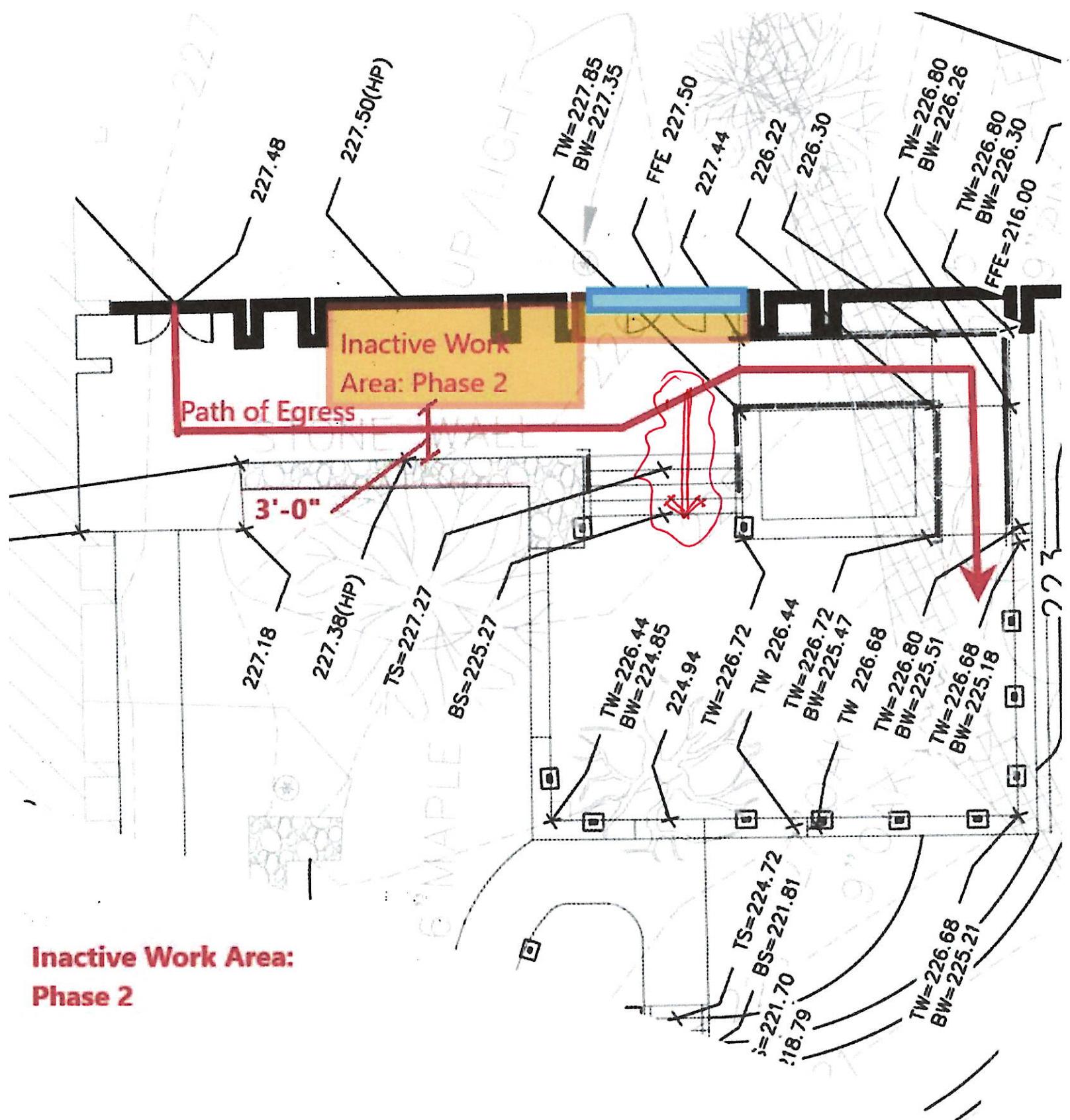


Storefront/Sidelight REF Detail C - Architectural Drawing 9/A403- Not to Scale

+/- 3 5/8"







# BEACON

## CONSULTING GROUP, INC.

# SUBMITTAL

SPEC SECTION: 086300

SUBMITTAL #: 8 \_\_\_\_\_

REVISION #: 0 \_\_\_\_\_

DATE: 08/02/2023

PROJECT: 16-013 Sherborn Library  
4 Sanger St, Sherborn MA 01770

TO: Rich Ryan (Beacon Architectural Associate, BAA)

FROM: Marcus Lehner (Beacon Consulting Group, BCG)

CC: Peter Byerly (BAA), Mike McNulty (CHA), John Richmond (BCG), Jim Bruno (BCG)

### DESCRIPTION:

SANGER STREET CHIMNEY COPPER FLASHING

[✓] Reviewed by Beacon Consulting Group

### RESPONSES:

#### Engineer's Stamp

NOTE: REFER TO WJE COMMENTS

#### Architect's Stamp

##### BEACON ARCHITECTURAL ASSOCIATES

APPROVED

APPROVED AS NOTED

If checked above, fabrication  
MAY be undertaken. Resubmit  
corrected copies for final approval.  
Corrections shall be limited to items  
marked.

REVISE AND RESUBMIT

NOT APPROVED

BY: RER

DATE: 8/16/2023

Review is only for conformance with design concept of the project and compliance with the information given in the contract documents. The contractor is responsible for dimensions to be confirmed and correlated to the site; for information that pertains solely to the fabrication process or to the means, methods, techniques, sequences and procedures or construction; and for the coordination of the work of all trades

# BEACON

## CONSULTING GROUP, INC.

255 West 36<sup>th</sup> Street, Suite 202  
New York, NY 10018

---

Construction Management

Surety Consulting

Phone: (212) 695-3333  
Fax: (212) 695-3343

---

Construction Estimating

Peter,

Please find attached submittal for the proposed repair sequence at the Sanger Street chimney flashing.

This detail is being submitted as a cooperative effort to resolve the leak at this location as expeditiously as possible. BCG/Travelers reserves its right to costs and delays associated with this repair and associated investigation. The submittal of this repair sequence is in no way an admission of fault or deficiencies in the work.

Sincerely,

Beacon Consulting Group, Inc



Marcus Lehner  
Project Engineer



Celebrating our 127<sup>th</sup> anniversary in 2023

**480 Neponset Street, Building 11A**  
**Canton, Massachusetts 02021**  
**Tel (617) 492-2111 Fax (617) 492-5448**  
**[www.thompsonlichtner.com](http://www.thompsonlichtner.com)**

August 2, 2023

Mr. Leroy Bishop [labishop@travelers.com]  
Travelers Insurance  
1 Tower Square  
S202A  
Hartford, CT 06183

Re: Flashing Repairs  
Sherborn Library  
Sherborn, MA

Dear Mr. Bishop,

We transmit herewith five sketches showing the existing condition and our recommendation for repairs to the copper step flashing in the south chimney southside at the skylight discovered in the last series of water tests and wall opening.

Very truly yours,  
THE THOMPSON & LICHTNER COMPANY, INC.

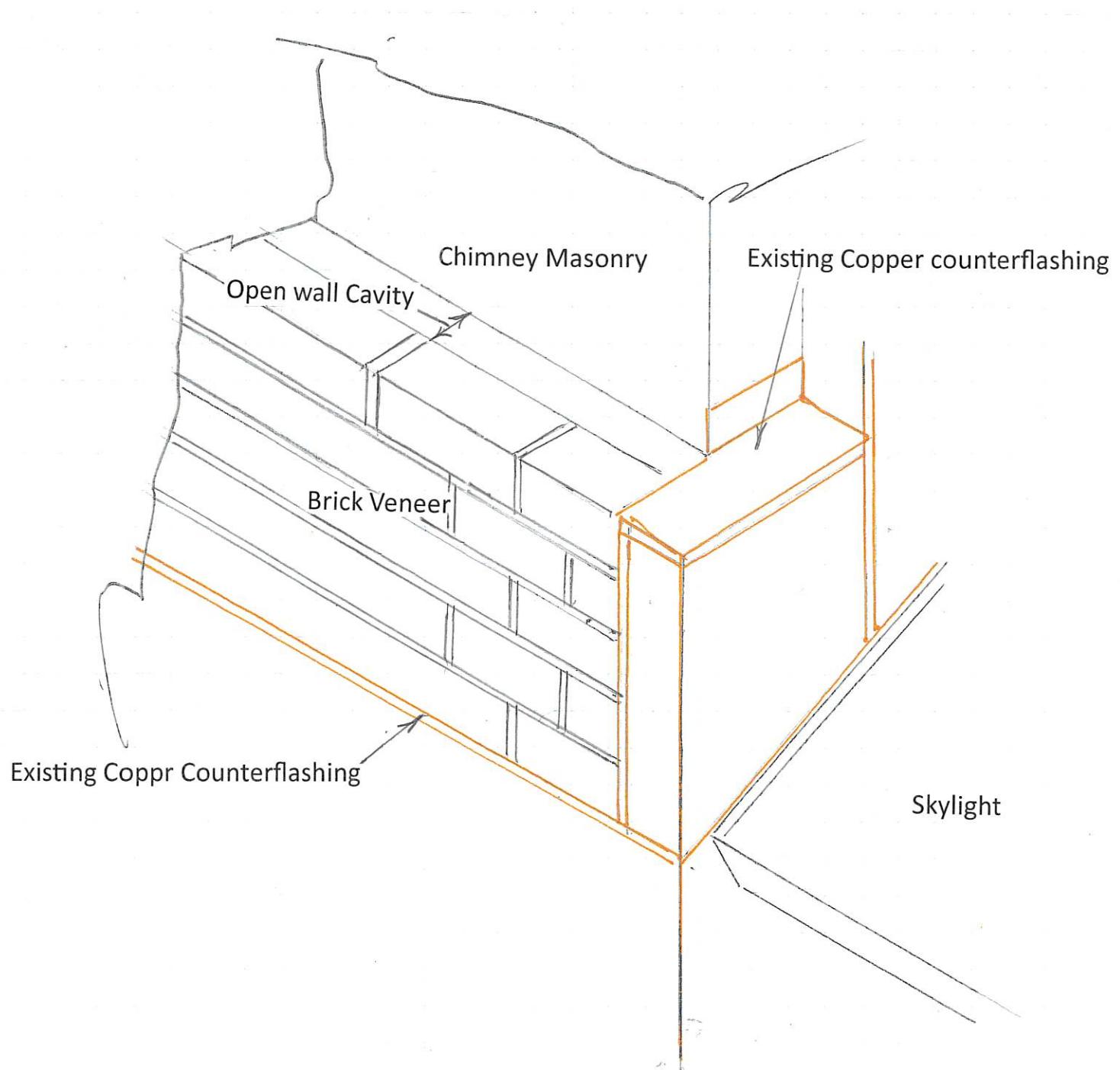


Michael Vielmetti  
President  
Cell 508-245-2524 | Office 617-492-2111

cc: Marcus Lehner [mlehner@beacon.ws]

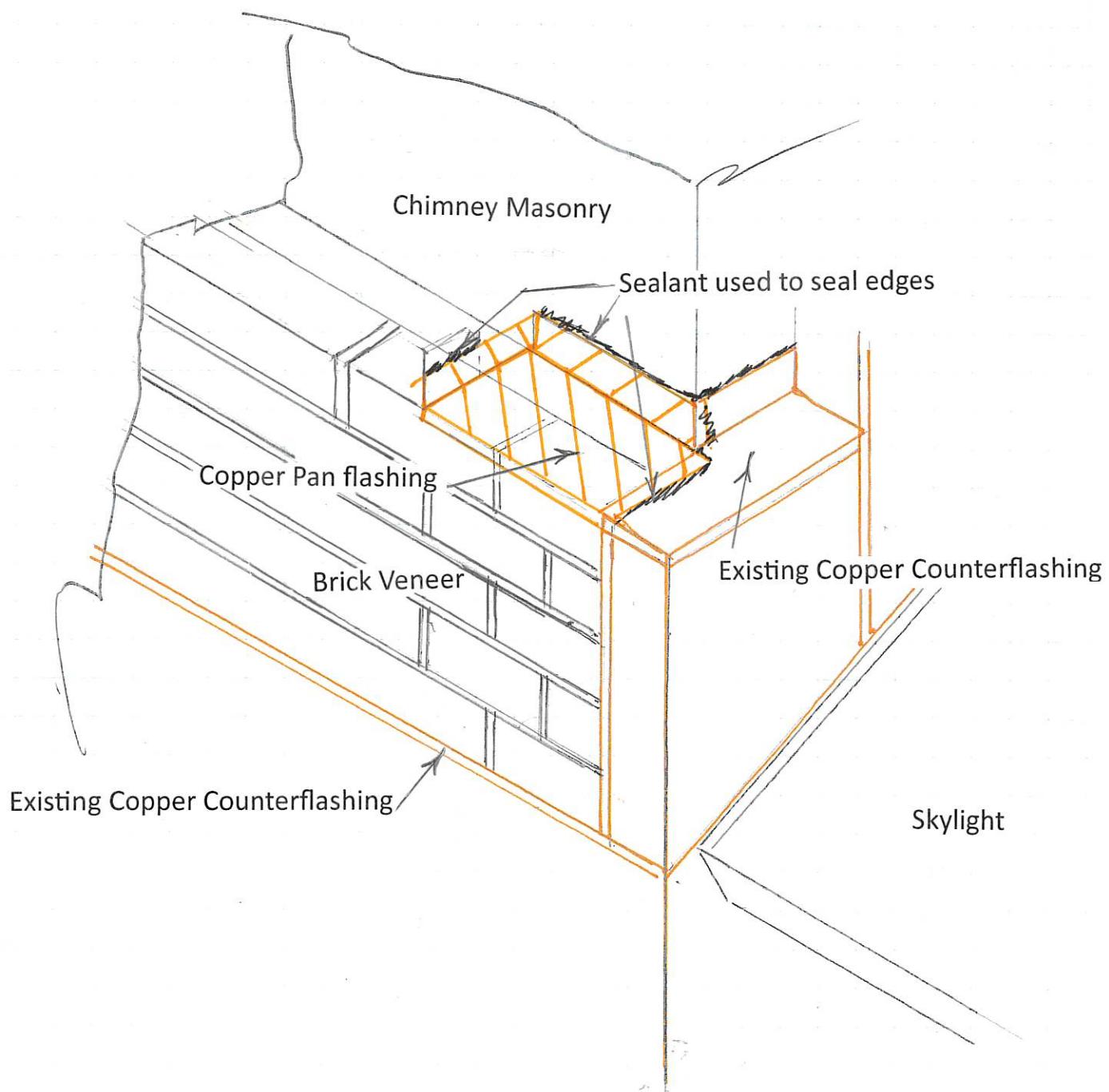
## SKETCH 1 BASED ON WALL OPENING

West Chimney-South Side



## SKETCH TEMPORARY FLASHING REPAIR

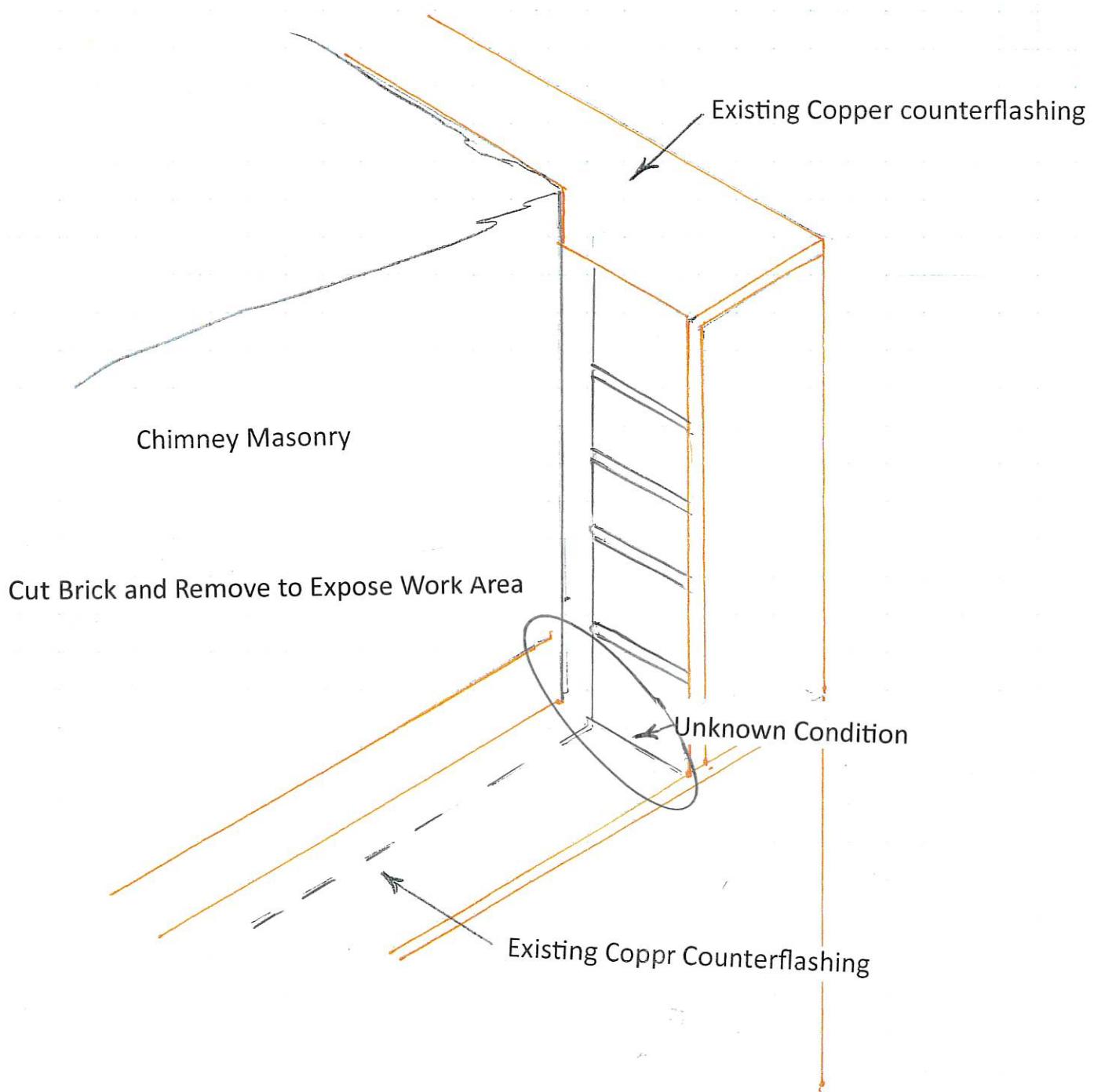
West Chimney-South Side



SKETCH NOT TO SCALE

## SKETCH 3 ADDITIONAL FLASHING STEP 1

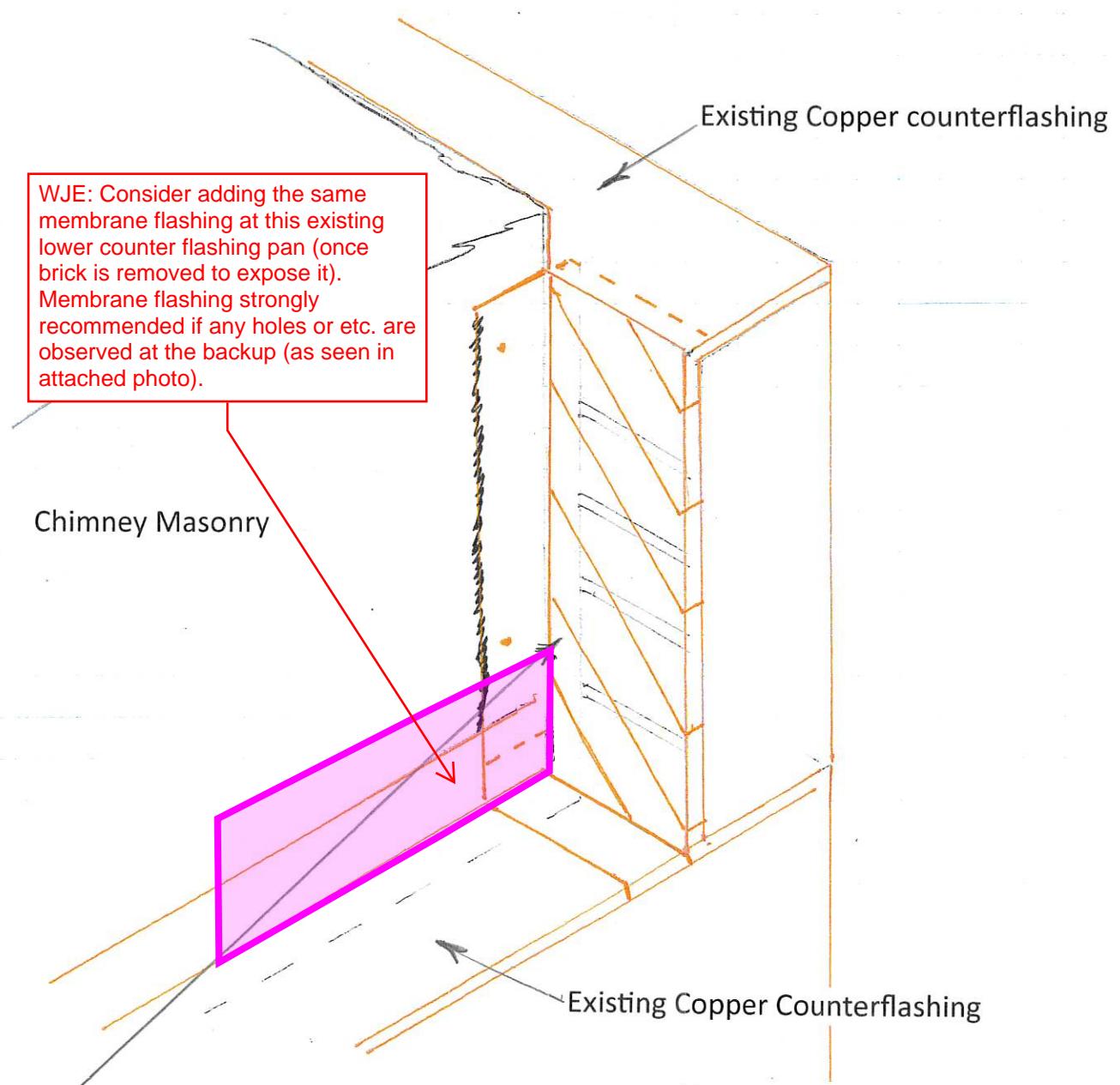
West Chimney-South Side



SKETCH NOT TO SCALE

## SKETCH 4 ADDITIONAL FLASHING STEP 2

West Chimney-South Side

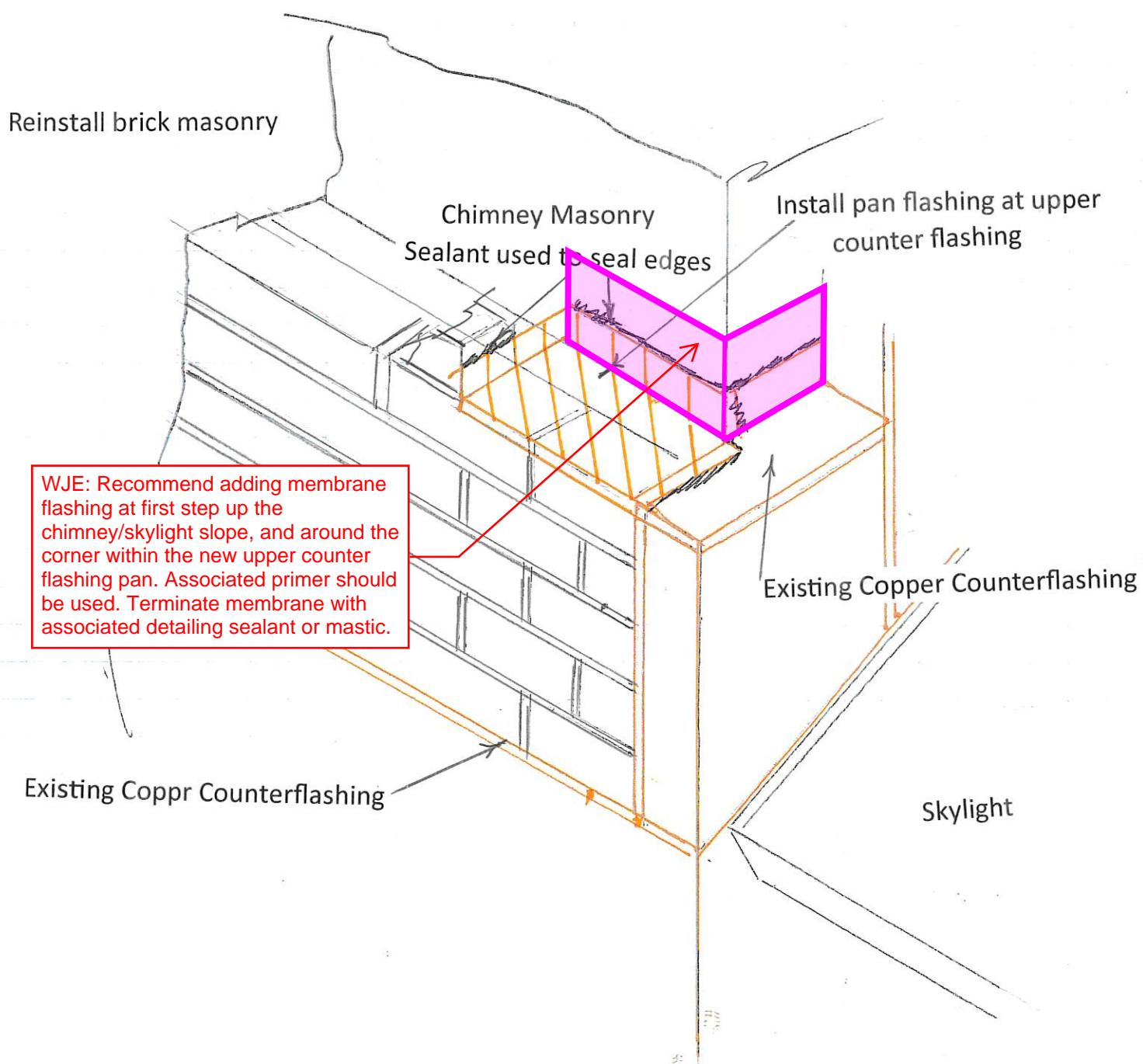


Vertical Copper Flashing fasten to chimney masonry, lock into Vertical locked seam on surface, solder seams at upper and lower counter flashings, seal edge of copper to the chimney masonry.

Reinstall brick masonry

## SKETCH 5 ADDITIONAL FLASHING STEP 3

West Chimney-South Side



WJE: Recommend adding membrane flashing at first step up the chimney/skylight slope, and around the corner within the new upper counter flashing pan. Associated primer should be used. Terminate membrane with associated detailing sealant or mastic.



**EXHIBIT B**  
**PUNCHLIST**  
**(Exhibit follows this Page)**



# Sherborn Public Library

Punchlist Rough Order of Magnitude Cost Estimate

April 20, 2023



# PROJECT SCOPE

## Project Particulars

*Rough order of magnitude costs to Punch lists;*

Architectural Items BCG Punch List dated January 11, 2023 prepared by Beacon Architectural Associates

6.9 Line Subgrade Waterproofing Installation Letter dated February 3, 2023 prepared by Beacon Architectural Associates

BCG Contractor's Punchlist for Substantial Completion dated December 23, 2022

Temporary Certificate of Occupancy Memo dated December 13, 2022

Ongoing MEP/FP Punchlist and Memo dated December 14, 2021 prepared by NV5

## Cost Estimate Information

Cost Estimate has been prepared by CHA Consulting, Inc.

Project Team Leader is; Delwyn Williamson ph: 617-939-9858, email: [dwilliamson@chacompanies.com](mailto:dwilliamson@chacompanies.com)

# MAIN SUMMARY

ELEMENT			TOTAL
Architectural Direct Trade Details SubTotal			\$309,017
Mechanical and Electrical Direct Trade Details SubTotal			\$4,302
General Conditions, Project Requirements, Overheads	8.50%	\$313,319	\$27,000
General Liability Insurance	1.20%	\$384,319	\$5,000
Performance and Payment Bonds	0.90%	\$340,319	\$4,000
Profit	10.00%	\$349,319	\$35,000
<b>Estimated Construction Cost Total</b>			<b>\$384,319</b>
<b>BAA Additional Services #48 dated March 29, 2023</b>			
BAA 6.9-Line Design Fees		\$20,740	
BAA Skylight Design Fees		\$26,100	
			\$46,840
<b>CHA OPM Additional Services</b>			
Bid and Oversight Services			\$72,000
<b>Proposed New Bids</b>			
Set 1. Foundation waterproofing leak repair			
ROM dated Mar 3rd		\$100,854	
Add design development		\$10,085	
Set 2. Remove existing skylight and replace with new skylight			
Specialty lift for access		\$90,000	
Protection of clay tile roofing		\$15,116	
Remove existing skylight		\$5,400	
Install new skylight assembly		\$135,000	
Restore interior finish water damage		\$10,000	
GC Burdens and Markups		\$53,000	
Escalation and Market Volatility Contingency		\$20,973	
			\$440,427
<b>Additional Services and New Bid Total</b>			<b>\$559,267</b>
<b>ROM Punchlist + Additional Services Total</b>			<b>\$943,586</b>

# CLARIFICATIONS

## Project Assumptions

Direct trade unit rates include prevailing wage labor rates and escalation to mid-point of construction duration.  
Construction during normal working hours.

Noise and vibration disturbances are anticipated and will be minimized or avoided during normal business hours.

Lay-down/storage area, jobsite shed and trailers, and construction site entrance will be located adjacent to Project area.

Temporary electrical and water site utility connections will be available. General Conditions value includes utility connections and consumption costs.

Subcontractor's markups are included in each unit rate. These markups cover field and home office overhead and subcontractor's profit.

## Construction Cost Estimate Exclusions

Unforeseen Conditions Contingency.

Work beyond the boundary of the site.

Owner's site representation and project administration.

Owner furnished and installed products, A/V equipment, computer networking, desks, chairs, furnishings, equipment, artwork, loose case goods and other similar items.

Third Party testing and commissioning.

# DIRECT TRADE COST SUMMARY

ELEMENT		TOTAL
General	included	
<b>GENERAL</b>		<b>\$0</b>
Elevator	\$377	
Ground Floor - Addition	\$39,879	
First Floor - Addition	\$135,428	
Second Floor - Addition	\$3,701	
<b>A) BUILDING ADDITION INTERIOR</b>		<b>\$179,385</b>
Roof	\$211	
East Side - Facing Sanger Street	\$3,112	
South Side Facing	\$6,928	
West Side - Facing Police Station / Town Hall Parking	\$3,487	
<b>B) BUILDING ADDITION EXTERIOR</b>		<b>\$13,737</b>
Ground Floor - Existing Building	\$9,273	
First Floor - Existing Building	\$95,221	
Second Floor - Existing Building	\$4,829	
<b>C) EXISTING BUILDING INTERIOR</b>		<b>\$109,323</b>
East Side - Facing Sanger Street	\$765	
South Side - Facing Terrace	\$1,572	
North Side	\$2,413	
West Side - Facing Police Station / Town Hall Parking	\$1,777	
<b>D) EXISTING BUILDING EXTERIOR</b>		<b>\$6,528</b>
NV5 SCO (Punchlist) dated Nov 7, 2022	\$3,590	
NV5 SCO (Punchlist) dated July 8, 2022	\$713	
<b>MECHANICAL AND ELECTRICAL</b>		<b>\$4,302</b>
<b>Direct Trade Cost Subtotal</b>		<b>\$313,319</b>

# DIRECT TRADE COST DETAILS

	ELEMENT	QUANTITY	UNIT	UNIT RATE	TOTAL
6	<b>GENERAL</b>				
7					
8	<b>General</b>				
9	BCG Contractor's Punchlist for Substantial Completion				included
10	Temporary Certificate of Occupancy				included
11	NV5 MEP/FP Punchlist and Memorandum				included
12	GIA Site Memo				included
13	BBC Site Visit Report				included
14	Spec Section 017000 Contract Close-Out				Div 01
15	Turn over 'attic stock' materials to Owner				Div 09
16	Install final door key cores, supply keys to Owner				Div 08
17	Penetration sealant and firestopping				Div 07
18	Tighten concealed sprinkler head elements, install new if missing				Div 21
19	Final cleaning				Div 1
20	Install final signage				Div 10
21	<b>General Total</b>				<b>included</b>
22					
23					
24					
25	<b>A) BUILDING ADDITION INTERIOR</b>				
26					
27	<b>Elevator</b>				
28	Clean all cab interior surfaces	3	MHR	\$94.36	\$236
29	Remove temp protective blankets and turn over to Owner	1	MHR	\$94.36	\$94
30	Remove loose nuts at right side wall grille	1	MHR	\$94.36	\$47
31	<b>Elevator Total</b>				<b>\$377</b>
32					
33					
34	<b>Ground Floor - Addition</b>				
35	<u>Stair 2</u>				
36	<b>(#1) Seal joint around exposed conc @ base below stair landing</b>	1	MHR	\$94.36	\$94
37	<b>(#2) Touchup paint HM door frame</b>	1	MHR	\$117.65	\$118
38	<b>(#3) Install missing caulk/sealant between wood and existing brick</b>	1	MHR	\$94.36	\$94
39	<b>(#4) Fix/Repair uneven caulk joints @ window</b>	1	MHR	\$94.36	\$94
40	<b>(#5) Install missing caulk/sealant @ storefront head &amp; north side</b>	2	MHR	\$94.36	\$189
41	<b>(#6) Fix/Patch/Fill scratches/scuffs/marks/gauges @ side folding grill enclosure drywall and repaint in its entirety.</b>	3	MHR	\$117.65	\$353
42	Clean/remove all paint/compound/marks/scuffs on existing brick @ north wall	2	MHR	\$94.36	\$189
43	Clean/remove all paint/compound/marks/scuffs and paint on all wall surfaces throughout - @ stair landing east wall, @ Ground Flr column, @ Grnd Flr HM frame.	3	MHR	\$94.36	\$236

# DIRECT TRADE COST DETAILS

	ELEMENT	QUANTITY	UNIT	UNIT RATE	TOTAL
44	Provide credit for side folding grill painted drywall enclosure and soffit in lieu of stained cedar board enclosure and soffit	(1)	ADJ	\$2,500.00	(\$2,500)
45					
46	<u>Corridor #012</u> <i>(#115) Reinstall/Fix/repair/replace all items per investigation &amp; repair requirements to resolve the Terrace/Elevator Room leak. Final scope TBD. Area/Room to be punch listed upon completion of this work. (Typ)</i>	1	RMS	\$5,000.00	\$5,000
47					
48	Patch/Fill/Seal/Firesafe all penetrations joints and openings, including @ metal deck flutes where required (Typ)	4	MHR	\$94.36	\$377
49					
50	<u>Elec Room #015</u> <i>(#115) Reinstall/Fix/repair/replace all items per investigation &amp; repair requirements to resolve the Terrace/Elevator Room leak. Final scope TBD. Area/Room to be punch listed upon completion of this work. (Typ)</i>	1	RMS	\$2,500.00	\$2,500
51					
52	Patch/Fill/Seal/Firesafe all penetrations joints and openings, including @ metal deck flutes where required (Typ)	2	MHR	\$94.36	\$189
53					
54	<u>Elevator Machine Room #016</u> <i>(#115) Reinstall/Fix/repair/replace all items per investigation &amp; repair requirements to resolve the Terrace/Elevator Room leak. Final scope TBD. Area/Room to be punch listed upon completion of this work. (Typ)</i>	1	RMS	\$2,500.00	\$2,500
55					
56	Patch/Fill/Seal/Firesafe all penetrations joints and openings, including @ metal deck flutes where required (Typ)	2	MHR	\$94.36	\$189
57					
58	<u>Book Sale #013</u> <i>(#7) Furnish &amp; Install missing double door hardware - inactive leaf floor anchor receiver.</i>	1	SET	\$775.00	\$775
59					
60	<i>(#8) Fix damaged HM frame @ base of door frame – both sides</i>	2	MHR	\$108.97	\$163
61	<i>(#9) Fill all finish nail holes, especially @ all wood door lites (Typ)</i>	2	MHR	\$108.97	\$218
62	Fix/Touchup scuffs/marks on all walls/doors/frames throughout – especially east & west walls	2	MHR	\$117.65	\$235
63					
64	<i>Lower Level Lobby/Corridor #014</i>				
65	<i>(#10) Remove compound/scuffs &amp; paint elevator door &amp; frame</i>	2	MHR	\$117.65	\$176
66	<i>(#11) Remove grout/scuffs below outlet &amp; access panel @ corridor niche</i>	1	MHR	\$117.65	\$59
67	<i>(#12) Fill all finish nail holes, especially @ all wood door lites (Typ)</i>	2	MHR	\$108.97	\$218
68	Lighting levels observed seamed low – verify and/or correct	8	MHR	\$140.82	\$1,127
69	Remove plaster stuck to floor adjacent to catering room door	2	MHR	\$94.36	\$142

# DIRECT TRADE COST DETAILS

	ELEMENT	QUANTITY	UNIT	UNIT RATE	TOTAL
	Fix/Patch/Fill/Repair & Paint scuff/mark/gauge @ east side				
70	adjacent to FA pull, above FA strobe @ Stair 2, @ south side of Mitsubishi ceiling unit	1	MHR	\$117.65	\$59
71	Fix/Fill/Patch & Paint cut-out opening in ceiling @ center of Lobby	1	MHR	\$117.65	\$59
72	Furnish & Install missing double door hardware inactive leaf floor anchor receiver @ double doors 012-1 to Corridor 012	1	SET	\$775.00	\$775
73	Fix/Repair/Replace damaged/peeling corners & cracking/splitting laminate @ both door closer end faces @ double doors 012-1 to Corridor 012	4	MHR	\$108.97	\$436
74	Replacement materials	1	LS	\$1,000.00	\$1,000
75	Fix/Repair/Resecure/Replace detaching/opening of door 012-1 leaf @ head anchoring hardware	2	MHR	\$108.97	\$218
77	<u>Catering #017</u>				
78	(#13) Clean/Remove stored items	1	MHR	\$94.36	\$94
79	(#14) Fix/Patch/Fill/Paint scuff/mark/gauge @ under cabinet lights (x2 locations)	2	MHR	\$117.65	\$235
80	(#15) Fix/Adjust weight @ handheld faucet for pull out operation	1	MHR	\$142.57	\$143
81	(#16) Fix/Repair bubbling vinyl base under sink	2	MHR	\$122.30	\$183
82	(#17) Clean/remove scuffs/marks @ HM door frame	1	MHR	\$108.97	\$54
83	(#18) Align Cabinet doors (Typ)	3	MHR	\$108.97	\$313
84	Clean cabinets throughout, including underside of upper cabinets (Typ)	6	MHR	\$94.36	\$566
85	Remove/Fix/Patch/Fill & Paint scratches/scuffs/marks/writing @ lower west side column base	1	MHR	\$117.65	\$59
86	Remove/Fix peeling/bubbling paint & repaint @ upper right side of column	2	MHR	\$117.65	\$235
87	Install missing sealant @ sink & @ T.O. backsplashes	2	MHR	\$94.36	\$189
88	Fix/Repair/Replace damaged/peeling corners & cracking/splitting laminate @ closer end face @ both doors 017-1 & 017-2	2	MHR	\$108.97	\$218
89	Replacement materials	1	LS	\$1,000.00	\$1,000
90	Fill all finish nail holes @ door 017-2 lite (Typ)	2	MHR	\$108.97	\$163
91					
92	<u>Multi - Purpose Room #018</u>				
93	(#19) Fix gap at top of wood base - caulk	1	MHR	\$94.36	\$94
94	(#20) Fix/Patch/Fill/Paint scuff/mark/gauge (1) above FTR & (1) @ side of FTR on south wall	2	MHR	\$117.65	\$176
95	(#21) Fix/Patch/Fill/Paint scuff/mark/gauge @ west wall adjacent to outlet between double doors.	1	MHR	\$117.65	\$118
96	(#22) Fix exposed copper flashing at south window sill	1	MHR	\$108.97	\$109
97	(#23) Fix/Remove painted caulk @ window bay between columns L-M	2	MHR	\$94.36	\$189

# DIRECT TRADE COST DETAILS

	ELEMENT	QUANTITY	UNIT	UNIT RATE	TOTAL
98	(#24) Fix/Patch/Fill/Paint hole/gauge @ north wall above Catering door	1	MHR	\$117.65	\$118
99	(#25) Repaint Catering Door HM frame in its entirety	4	MHR	\$117.65	\$412
100	(#26) Fill all finished wood nail holes, especially at wood slat ceiling (Typ)	8	MHR	\$108.97	\$872
101	(#27) Fix/Cleanup/Touchup Paint of above ceiling <u>black paint</u> line @ east & west side walls/soffits.	4	MHR	\$117.65	\$471
102	(#28) Clean/Remove smudges/dirt/fingerprints @ beams painted black	4	MHR	\$94.36	\$377
103	(#29) Close all open miters @ wood slat ceiling (x3 min)	2	MHR	\$108.97	\$218
104	(#30) Fix hole @ wood slat ceiling @ light sensor adjacent to door to vestibule	2	MHR	\$108.97	\$218
105	(#31) Fill all finish nail holes @ all wood door lites (Typ)	4	MHR	\$108.97	\$436
106	(#32) Furnish & install missing double door hardware - inactive leaf floor anchor receiver @ door 018-2	1	SET	\$775.00	\$775
107	Clean/remove joint compound/paint on all storefronts Fix/Replace damaged/scratched/dented aluminum curtainwall	4	MHR	\$94.36	\$377
108	frame/sill. Extend sills to close at vertical mullions – no gaps at inside corners (typ)	8	MHR	\$115.46	\$924
109	Replacement materials	1	LS	\$2,000.00	\$2,000
110	Replace SS Screw Head to match storefront @ Door 018-1 to Lobby	1	MHR	\$115.46	\$58
111	Make all escutcheons tight to ceiling (especially @ sprinkler heads)	4	MHR	\$108.97	\$436
112	Sand wood plugs flush & stain to match wood ceiling (adjacent to projector screen)	2	MHR	\$108.97	\$218
113	Fix/Patch/Repair & Paint scuff/mark/gauge @ ceiling above south side double doors, below fire strobe @ south side double doors, @ center column - east facing, @ lower right side catering HM frame.	4	MHR	\$117.65	\$471
114	Remove paint/compound on FEC	1	MHR	\$94.36	\$47
115	Paint inside of ductwork black	2	MHR	\$117.65	\$235
116	Fix misalignment of wood slat ceiling boards – especially @ door 018-1 side of room	4	MHR	\$108.97	\$436
	Repaint underside of beams painted black as necessary – (1)				
117	w/line down the middle, some are spotty & look like they need 2nd coat, others may only be scuffed and need another cleaning...	6	MHR	\$117.65	\$706
118	Paint access panels @ columns (x2)	1	MHR	\$117.65	\$59
119	Reinstall missing/removed ceiling wood planks @ Owner IT work adjacent to projection screen	4	MHR	\$108.97	\$436
120	Replacement materials	1	LS	\$500.00	\$500
121	<u>Men #019</u>				
122	(#34) Repaint HM door frame	2	MHR	\$117.65	\$235
123	(#35) Install missing caulk @ T.O. backsplash	2	MHR	\$94.36	\$189

# DIRECT TRADE COST DETAILS

ELEMENT	QUANTITY	UNIT	UNIT RATE	TOTAL
125 (#36) Fix/Remove scuffs/marks on skirt below sink	2	MHR	\$94.36	\$189
126 (#37) Fix/Repair/Replace delaminating Men's #019 wood door (door closer end face)	4	MHR	\$108.97	\$436
127 Remove water stain @ toilet	1	MHR	\$108.97	\$54
128 Clean throughout	4	MHR	\$108.97	\$436
129				
130 <u>Women #020</u>				
131 (#38) Install missing caulk @ T.O. backsplash	2	MHR	\$94.36	\$189
132 (#39) Tighten HC accessible stall door latch	1	MHR	\$108.97	\$54
133 (#40) Fix or replace broken floor drain grill	2	MHR	\$108.97	\$163
134 Remove water stains @ toilets	2	MHR	\$108.97	\$163
135 Remove excess adhesive around HC stall access panel & above door frame	2	MHR	\$94.36	\$189
136 Clean throughout	6	MHR	\$108.97	\$654
137				
138 <u>Storage Room #021</u>				
139 (#41) Fix/Patch/Fill/Paint scuff/mark/gauge @ west wall & north wall.	2	MHR	\$117.65	\$176
140 (#42) Fill holes in door frame & paint in its entirety	4	MHR	\$117.65	\$412
141 (#43) Fix scratch @ door handle	1	MHR	\$108.97	\$109
142 Reinstall ACT ceiling tile	1	MHR	\$110.95	\$55
143 Fix damage @ latch side of door	2	MHR	\$108.97	\$163
144				
145 <u>Conference #022</u>				
146 (#44) Fix gap at top of wood base - caulk	2	MHR	\$94.36	\$189
147 (#45) Fix scratches on aluminum door frame to Vestibule	3	MHR	\$115.46	\$346
148 (#46) Furnish & install missing double door hardware - inactive leaf floor anchor receiver.	1	SET	\$775.00	\$775
149 Clean/remove joint compound/paint on storefront	4	MHR	\$94.36	\$377
150 Repaint @ Storage door	4	MHR	\$117.65	\$412
151 Repaint double door HM frame to Multipurpose Room	5	MHR	\$117.65	\$618
152 Reinstall missing ACT panels (x2)	1	MHR	\$110.95	\$111
153 Make all escutcheons tight to ceiling (especially @ sprinkler heads)	4	MHR	\$108.97	\$436
154 Fix/Patch/Fill/Repair & Paint scuff/mark/gauge @ west wall (left-center & right side) & north wall btwn outlets	2	MHR	\$117.65	\$235
155				
156 <u>Entry Lobby #023</u>				
157 (#47) Clean hardware – remove & replace rusted hardware, i.e. exterior hinges.	1	SET	\$500.00	\$500
158 Clean/remove joint compound/paint on storefronts Painted SS/Silver screw heads @ Storefront door jamb is	2	MHR	\$94.36	\$189
159 unacceptable. Replace w/ screws to match storefront as specified & previously requested.	3	MHR	\$115.46	\$346
160 Fix damaged/scratched/dented aluminum storefront frame to conference room @ entry/door opening	3	MHR	\$115.46	\$289

# DIRECT TRADE COST DETAILS

ELEMENT	QUANTITY	UNIT	UNIT RATE	TOTAL
161				
162 <u>Storage Room #024</u>				
163 <b>(#48) Furnish and install missing door silencers</b>	1	SET	\$400.00	\$400
164 Reinstall ACT ceiling tiles	3	MHR	\$110.95	\$333
165 Remove scuff/mark @ HM frame & touchup paint	2	MHR	\$117.65	\$235
166 <b>Ground Floor - Addition Total</b>				<b>\$39,879</b>
167				
168				
169 <b>First Floor - Addition</b>				
170 <u>Connector Lobby #108</u>				
171 <b>(#49) Install missing corner bead &amp; drywall return &amp; paint @ inside of side folding grill enclosure</b>	1	LOC	\$1,500.00	\$1,500
172 <b>(#50) Fix/Patch/Fill scratches/scuffs/marks/gauges @ side folding grill enclosure drywall and repaint in its entirety.</b>	3	MHR	\$117.65	\$294
173 <b>(#51) Caulk/Seal ends of GWB soffit facing existing building &amp; clean/remove paint from existing brick.</b>	2	MHR	\$94.36	\$189
174 <b>(#52) Fix/Repair scuffed/exposed bottom corner bead edge @ soffit facing existing building &amp; paint</b>	2	MHR	\$117.65	\$176
175 <b>(#53) Install missing caulk @ coffee counter/backsplash (clear caulk)</b>	2	MHR	\$94.36	\$142
176 <b>(#54) Fix/Remove scuffs/marks on ceiling &amp; Paint (i.e adjacent to exit sign)</b>	2	MHR	\$117.65	\$176
177 <b>(#55) Remove compound/scuffs &amp; paint elevator door &amp; frame</b>	4	MHR	\$117.65	\$412
178 <b>(#56) Remove shims @ storefront entries (Typ)</b>	5	MHR	\$115.46	\$520
179 <b>(#115) Water-stained bluestone from leak is unacceptable.</b>				
180 <b>Fix/repair/replace per investigation &amp; repair requirements TBD (Typ)</b>	8	MHR	\$142.23	\$1,138
181 <b>Replacement materials</b>				
182 Remove green paint/stain from cedar column enclosure	1	LS	\$2,000.00	\$2,000
183 Misaligned Children's Room Double Door Hold Opens are unacceptable. Fix/repair hold opens so both sides are aligned.	2	MHR	\$94.36	\$142
184 Remove/Fix/Patch/Fill/Repair & Paint scuff/mark/gauge @ ceiling	4	MHR	\$108.97	\$436
185 mounted exit sign, above base @ north side of elevator (south wall)	2	MHR	\$117.65	\$235
186 Install missing corner/J-beads @ both sides of side folding grill head track opening in GWB soffit.	4	MHR	\$108.97	\$436
187 Provide credit for side folding grill painted drywall enclosure, door and soffit in lieu of stained cedar board enclosure and soffit	(1)	ADJ	\$2,500.00	(\$2,500)
188 <u>Vestibule #109</u>				
189 <b>(#57) Fix GWB wall &amp; paint above base @ south side wall</b>	2	MHR	\$117.65	\$235
190 <b>(#58) Install missing corner/'J' bead @ ceiling above storefront</b>	4	MHR	\$120.55	\$482
191 <b>(#59) Fix/Secure loose entry threshold – anchor w/ epoxy</b>	2	MHR	\$108.97	\$218

# DIRECT TRADE COST DETAILS

	ELEMENT	QUANTITY	UNIT	UNIT RATE	TOTAL
192	(#60) Remove paint @ cedar ceiling adjacent to interior storefront	2	MHR	\$94.36	\$142
193	(#114) Fix/Patch/Fill/Repair & Paint exploratory opening @ south elevator wall above base	2	MHR	\$117.65	\$235
	(#115) Water-stained bluestone from leak is unacceptable.				
194	Fix/repair/replace per investigation & repair requirements TBD (Typ)				
195	Temporary egress/entrance, relocate for second phase	1	OPEN	\$15,000.00	\$15,000
196	Temporary laydown area enclosure	1	LS	\$5,000.00	\$5,000
197	Protection of bluestone patio pavers	1	LS	\$10,000.00	\$10,000
198	Remove windows and salvage for reinstall, remove cladding	48	MHR	\$115.46	\$5,542
199	Cut back patio concrete/bluestone edge	144	MHR	\$94.36	\$13,540
200	Install new angle and membrane flashing	72	LF	\$325.00	\$23,319
201	Install bluestone edge at bulding	72	LF	\$150.00	\$10,763
202	Reinstall windows, new sealant	60	MHR	\$115.46	\$6,927
203	New wood cladding	108	SF	\$100.00	\$10,763
204	Clean/Remove Compound/Grout/Sawcut dust on existing west pier brick	2	MHR	\$94.36	\$189
205	Remove shims @ both storefronts (Typ)	4	MHR	\$115.46	\$462
206	Complete card reader installation – install blank plate	2	MHR	\$108.97	\$218
207	Install missing calk/sealant btwn interior storefront & GWB ceiling	3	MHR	\$94.36	\$283
208	Install missing sealant @ conduit penetration in soffit face above vestibule entry doors	2	MHR	\$94.36	\$189
	Verify/Fix/repair/replace automatic door opener so that it will function properly. The exterior terrace doors do not latch in the unlocked position with the key.	3	MHR	\$108.97	\$272
210	Replacement materials	1	LS	\$2,000.00	\$2,000
211					
212	<u>Workroom #110</u>				
213	(#61) Touchup paint HM door frame – both sides	2	MHR	\$117.65	\$235
214	(#62) Adjust cabinet doors to align (Typ)	1	MHR	\$108.97	\$136
215	(#63) Remove scuffs/marks on cabinet drawers/doors	2	MHR	\$94.36	\$189
216	(#64) Replace damaged ACT ceiling tile (x1)	1	MHR	\$110.95	\$55
217	Replacement materials	1	LS	\$100.00	\$100
	(#65) Fix/Patch/Fill scratches/scuffs/marks/gauges @ west drywall & electric panel and paint (scuffs above elect panel, repaint elect panel 2nd coat)	3	MHR	\$117.65	\$294
219	Install missing caulk @ counter/backsplash	2	MHR	\$94.36	\$189
220	Install missing sink set in caulk/sealant	3	MHR	\$142.57	\$428
221					
222	<u>Toilet #111</u>				
223	(#66) Install missing door stop - floor mounted	2	MHR	\$108.97	\$163
224	Replacement materials	1	EA	\$25.00	\$25
225	(#67) FTR installation to be completed	2	MHR	\$108.97	\$218
226	(#68) Install missing caulk - @ lav, @ mirror, repair @ toilet	2	MHR	\$94.36	\$142

# DIRECT TRADE COST DETAILS

ELEMENT	QUANTITY	UNIT	UNIT RATE	TOTAL
227 Remove/Fix scuffs/marks & Paint HM frame	2	MHR	\$117.65	\$176
228 Fix water-stained toilet	1	MHR	\$94.36	\$94
229				
230 <u>Children's #112</u>				
231 (#69) <b>Clean/remove joint compound/paint on all aluminum storefronts &amp; curtainwalls</b>	4	MHR	\$94.36	\$377
232 (#70) <b>Install missing Schluter transition strip between tile/carpet tile @ Children's Room entry double doors to Lobby.</b>	2	MHR	\$108.97	\$218
233 (#71) <b>Remove shims @ storefront entry (Typ)</b>	2	MHR	\$115.46	\$231
234 (#72) <b>Fix gap at top of wood base – caulk</b>	1	MHR	\$94.36	\$94
235 (#73) <b>Fix @ Toilet Room Extension is unacceptable – dissimilar materials installed (wood vs drywall &amp; wood base does not extend full length of wall)</b>	4	MHR	\$108.97	\$436
236 (#74) <b>Fill all finished wood nail holes, especially at wood slat and cedar board ceilings (Typ)</b>	4	MHR	\$108.97	\$436
237 (#75) <b>Fix/Cleanup/Touchup Paint of above ceiling black paint line @ east &amp; west side walls/soffits. Align bottom of black paint line with bottom of wood slat ceiling.</b>	2	MHR	\$117.65	\$235
238 (#76) <b>Make all escutcheons and diffusers tight to ceilings/walls (Typ)</b>	4	MHR	\$108.97	\$436
239 (#77) <b>Fix/Repair misaligned wood plank boards to align (x12)</b>	6	MHR	\$108.97	\$654
240 (#78) <b>Fix/Repair scratches/scuffs/marks @ cedar above FTR @ 6.9/G</b>	1	MHR	\$108.97	\$109
241 (#79) <b>Fix/Patch/Fill/Paint hole/open box @ east wall behind elevator shaft</b>	2	MHR	\$117.65	\$176
242 (#80) <b>Fix/Patch/Fill/Paint scuffs/marks @ north wall above vestibule storefront</b>	2	MHR	\$117.65	\$176
243 (#81) <b>Fix/Patch/Fill/Paint scuffs/marks @ elevator north wall below cedar ceiling</b>	2	MHR	\$117.65	\$176
244 (#82) <b>Install missing door stops @ Program-Crafts double doors - floor mounted (x2)</b>	3	MHR	\$108.97	\$327
245 (#83) <b>Touchup paint @ southwest corner</b>	1	MHR	\$117.65	\$118
246 (#84) <b>Fix/Patch/Fill/Paint scuffs/marks @ center soffit around diffusers (Typ)</b>	4	MHR	\$117.65	\$471
247 (#85) <b>Fix/Patch/Fill/Paint scuffs/marks @ center soffit column enclosures @ wood benches/shelving (Typ)</b>	3	MHR	\$117.65	\$353
248 (#86) <b>Fix/Patch/Fill/Paint scuffs/marks @ north-east corner above exposed sprinkler line</b>	1	MHR	\$117.65	\$118
249 (#87) <b>Fix/Cleanup sealant joints @ all windows throughout (Typ)</b>	6	MHR	\$94.36	\$566
250 (#88) <b>Caulk/Seal @ wood benches &amp; shelving unit &amp; GWB</b>	3	MHR	\$94.36	\$283
251 (#89) <b>Straighten middle light fixture @ low ceiling, first row</b>	1	MHR	\$140.82	\$141
252 (#90) <b>Fix/Clean/Remove/Paint below wood slat ceiling first bay above children's desk</b>	2	MHR	\$117.65	\$176

# DIRECT TRADE COST DETAILS

	ELEMENT	QUANTITY	UNIT	UNIT RATE	TOTAL
253	(#91) Provide missing bottom bumpers/cushions @ each Children's desk cabinet doors	2	MHR	\$108.97	\$218
254	<b>Replacement materials</b>	2	EA	\$500.00	\$1,000
255	(#92) Provide wall stops @ each cabinet door adjacent to GWB wall (x2)	1	MHR	\$108.97	\$109
256	(#93) Touchup stain children's desk @ bottom cedar boards	1	MHR	\$117.65	\$118
257	(#113) Remove/Fix/Patch/Fill/Repair & Paint tape/scuff/mark/gauge @ exit sign above patio double doors	1	MHR	\$117.65	\$118
258	Verify all FTR end caps are secure – secure screw from bottom to make tight (Typ)	2	MHR	\$108.97	\$218
259	FTR is out of line/not plumb @ bay F-G on 6.9 Line	1	MHR	\$108.97	\$109
260	Install missing cushions at wood benches	1	MHR	\$94.36	\$47
261	Fix/Secure dangling pendant light fixture @ low ceiling behind circ desk & adjacent to window. Verify that all electrical light boxes are properly secured/hung above the ceiling @ all pendant light mounted locations.	3	MHR	\$140.82	\$422
262	Fix/Patch/Fill/Repair & Paint scuff/mark/gauges/compound along 1-Line window heads. Close gaps bwn GWB/wood slat ceiling & paint exposed metal above ceiling black (TYP)	4	MHR	\$117.65	\$471
263	Clean skylight glass panels & window glazing/storefronts, including behind FTRs, as reviewed on-site on 12/21/2022	8	MHR	\$115.46	\$924
264	Speciality lift for access	1	DAY	\$4,000.00	\$4,000
265	Fill nail/screw holes & paint soffit/pocket @ south facing window	2	MHR	\$117.65	\$235
266	Fix/repair/paint water stains @ center soffit south of K-Line	2	MHR	\$117.65	\$235
267	Remove/Fix/Patch/Fill/Repair & Paint scuff/mark/gauge @ center soffit ceiling mounted exit sign	1	MHR	\$117.65	\$118
268	Stain all skylight cedar wrapped beam repairs (putty) to match (Typ)	3	MHR	\$117.65	\$353
269					
270	<u>Program / Crafts #113</u>				
271	(#94) Install missing door stops @ Program-Crafts double doors - floor mounted (x2)	2	MHR	\$108.97	\$163
272	<b>Replacement materials</b>	2	EA	\$25.00	\$50
273	(#95) Fix/Repair vinyl/rubber base @ right side of cabinet	1	MHR	\$122.30	\$122
274	(#96) Provide wall stops @ each cabinet door adjacent to GWB wall (x2)	2	MHR	\$108.97	\$163
275	<b>Replacement materials</b>	2	EA	\$15.00	\$30
276	(#97) Fix/Adjust weight @ handheld faucet for pull out operation	1	MHR	\$142.57	\$143
277	(#98) Fix/Cleanup sealant joint @ window – unacceptable (Typ)	2	MHR	\$94.36	\$189
278	(#99) Fix/Repair bulged/bubbled vinyl/rubber base along west wall	2	MHR	\$122.30	\$183
279	(#100) Fix/Patch/Fill/Paint scuffs/marks @ walls & ceilings throughout	4	MHR	\$117.65	\$471
280	(#101) Make all escutcheons and diffusers tight to ceilings/walls (Typ)	3	MHR	\$108.97	\$327

# DIRECT TRADE COST DETAILS

	ELEMENT	QUANTITY	UNIT	UNIT RATE	TOTAL
281	Clean skylight glass panels & window glazing/storefronts, including behind FTRs, as reviewed on-site on	8	MHR	\$115.46	\$924
282	Speciality lift for access	1	DAY	\$4,000.00	\$4,000
283	<b>First Floor - Addition Total</b>				<b>\$135,428</b>
284					
285					
286	<b>Second Floor - Addition</b>				
287	<u>Corridor #206</u>				
288	<b>(#102) Repair wood base adjacent to elevator @ right side return</b>	2	MHR	\$108.97	\$163
289	<b>(#103) Fix gap at top of wood base – caulk</b>	1	MHR	\$94.36	\$94
290	<b>(#104) Fill all finish nail holes @ all wood door lites (Typ)</b>	1	MHR	\$108.97	\$109
291	<b>(#105) Fix/Replace kickplate finish that appears uneven between double doors &amp; toilet room door (x3)</b>	2	MHR	\$108.97	\$218
292	<b>Replacement materials</b>	3	EA	\$100.00	\$300
293	<b>(#106) Fix/Patch/Fill/Paint scuffs/marks @ east &amp; west walls (Toilet Room side of Corridor)</b>	4	MHR	\$117.65	\$471
294	<b>(#107) Fix/Repair or Replace malfunctioning roof access window.</b>	4	MHR	\$108.97	\$436
295	<b>(#108) Fix/Patch/Fill/Paint scuffs/marks around elevator, @ corner adjacent to FEC, around corridor double doors</b>	2	MHR	\$117.65	\$176
	Fix/Patch/Fill/Paint scuffs/marks above base @ right side of Tutor				
296	<b>Rm door, around all sides of roof access window, @ lower left HM Tutor Rm HM frame, @ head of double door HM frame around receiver.</b>	3	MHR	\$117.65	\$353
297	Fix/Repair/Replace damaged/peeling corners & cracking/splitting laminate @ both door closer end faces	2	MHR	\$108.97	\$163
298					
299	<u>Toilet #207</u>				
300	<b>(#109) Install missing caulk @ toilet</b>	1	MHR	\$94.36	\$94
301	<b>(#110) Repair/Replace tile behind toilet (@ pipe penetration)</b>	1	MHR	\$142.23	\$142
302	<b>Replacement materials</b>	1	LS	\$50.00	\$50
303	Repair/Fix/Replace damaged caulk @ S-E inside corner btwn grab bars	1	MHR	\$94.36	\$94
304	Fix water-stained toilet	1	MHR	\$94.36	\$94
305	Clean throughout	3	MHR	\$94.36	\$236
306					
307	<u>Tutoring #208</u>				
308	<b>(#111) Fix gap at top of wood base – caulk</b>	1	MHR	\$94.36	\$94
309	<b>(#112) Paint electric panels at north wall.</b>	1	MHR	\$117.65	\$118
	Fix/Patch/Fill/Paint scuffs/marks @ all walls – north wall above				
310	base, south wall @ left above base, east wall around window & sill, west wall various locations.	3	MHR	\$117.65	\$294
311	<b>Second Floor - Addition Total</b>				<b>\$3,701</b>
312					

# DIRECT TRADE COST DETAILS

ELEMENT	QUANTITY	UNIT	UNIT RATE	TOTAL
313				
314				
315	<b>B) BUILDING ADDITION EXTERIOR</b>			
316				
317	<b>Roof</b>			
318	(#135) <i>Install HVAC module for BACNET connection.</i>	2	MHR	\$140.82
319	<b>Roof Total</b>			<b>\$211</b>
320				
321				
322	<b>East Side - Facing Sanger Street</b>			
323	(#139) <i>Trim all visible shims (below granite band)</i>	2	MHR	\$94.36
324	(#140) <i>Fix/Repair/Fill gaps @ both sides of L-M storefront &amp; K-L curtainwall masonry sills</i>	4	MHR	\$115.46
325	(#144 & 146) <i>Clean all windows (Typ)</i>	4	MHR	\$94.36
326	Remove existing wood board mounted to existing south-east corner of existing building	1	MHR	\$94.36
327	Clean exterior soffits free of debris/mildew, especially area over Stair 2 window	3	MHR	\$94.36
328	Clean/remove dirt/mildew/stains around Stair 2 window on cedar & granite band @ lower right & upper left corners	2	MHR	\$94.36
329	Cover exposed roof membrane @ underside of high roof @ south side return along E-Line (looking up from grade @ roof cap)	3	MHR	\$108.97
330	Remove plastic sheeting & staples @ existing soffit above areaway on D-Line	2	MHR	\$94.36
331	Fill all nail holes & paint existing soffit face, including underside of soffit	3	MHR	\$117.65
332	Install missing caulk/sealant btwn granite/brick/cedar & existing building joint @ D-Line (TYP)	4	MHR	\$94.36
333	Cover all exposed below grade waterproofing/flashing (green) – various locations	4	MHR	\$94.36
334	<b>East Side - Facing Sanger Street Total</b>			<b>\$3,112</b>
335				
336				
337	<b>South Side Facing</b>			
338	(#141) <i>Attach cast iron boot to masonry wall @ Nora's Treehouse east side fin wall</i>	1	MHR	\$94.36
339	(#144 & 146) <i>Clean all windows (Typ)</i>	4	MHR	\$94.36
340	Install missing flat irregular shaped stone cap pitched to drain @ retaining wall (1/C-111)	20	MHR	\$137.79
341	Supply missing flat irregular shaped stone cap	20	LF	\$185.00
342	<b>South Side Facing Total</b>			<b>\$6,928</b>
343				
344				
345				

# DIRECT TRADE COST DETAILS

ELEMENT	QUANTITY	UNIT	UNIT RATE	TOTAL
346 <b>West Side - Facing Police Station / Town Hall Parking</b>				
347 (#142) <i>Install missing sealant at joint along M-Line.</i>	3	MHR	\$94.36	\$283
(#143) <i>Verify above top of reveal @ east side wall of Nora's</i>				
348 <i>Treehouse – Installation not per contract documents. If top side is not covered water infiltration could be an issue.</i>	2	MHR	\$108.97	\$218
349 (#144 & 146) <i>Clean all windows (Typ)</i>	4	MHR	\$94.36	\$377
350 Fix rusted nails @ cedar piers on K & L along 6.9-Line	2	MHR	\$108.97	\$218
351 Trim/Fix exposed below grade waterproofing/flashing (green) above retaining wall @ Nora's Treehouse	4	MHR	\$94.36	\$377
352 Fill gap between bluestone & window sill at J-K bay & K-L bay (expandable filler)	3	MHR	\$94.36	\$283
353 Stain exposed cut end grains of soffit vent openings & install vents flush along 6.9-Line	4	MHR	\$94.36	\$377
354 Finish/Install covers @ open electric boxes adjacent to entry in existing soffit & @ cedar enclosure @ E-6.9	2	MHR	\$140.82	\$282
355 Secure strings hung @ terrace cedar soffit electrical boxes btwn D-E & F-G	4	MHR	\$140.82	\$563
356 Plug woodpecker hole & stain @ north side of elevator overrun	2	MHR	\$117.65	\$235
357 Flash elevator exhaust louver opening @ all sides – verify & provide photos.	3	MHR	\$108.97	\$272
358 <b>West Side - Facing Police Station / Town Hall Parking Total</b>				<b>\$3,487</b>
359				
360				
361				
<b>362 C) EXISTING BUILDING INTERIOR</b>				
363				
364 <b>Ground Floor - Existing Building</b>				
365 <u>General Storage #205</u>				
366 Provide (6) covers for open electrical boxes in ceiling.	2	MHR	\$140.82	\$211
367 Supply missing cover plate for elec box	6	EA	\$15.00	\$90
368 Clean/touchup pair of doors leading to ramp.	2	MHR	\$117.65	\$235
369				
370 <u>Corridor #002</u>				
371 Supply second coat of paint to wall at Restroom and staff room.	2	MHR	\$117.65	\$235
372 Fill hole in ceiling at light fixture.	1	MHR	\$108.97	\$109
373 Cut down (2) screws sticking out of CMU wall.	1	MHR	\$94.36	\$94
374				
375 <u>Fire Protection Room #010</u>				
376 Remove tape from door latch.	1	MHR	\$94.36	\$47
377 Repaint long wall.	3	MHR	\$117.65	\$294
378 Touch up paint behind control assembly.	1	MHR	\$117.65	\$59
379				
380 <u>Electrical Room #009</u>				
381 Clean floor.	2	MHR	\$94.36	\$142
382 Add fire stripping to door and frame.	2	MHR	\$108.97	\$163

# DIRECT TRADE COST DETAILS

ELEMENT	QUANTITY	UNIT	UNIT RATE	TOTAL
383 Finish Drywall around wall mounted light switch.	1	MHR	\$120.55	\$60
384 Touch up Electric Room/Life Safety Room door and frame.	1	MHR	\$117.65	\$59
385				
386 <u>Restroom #004</u>				
387 Clean all fixtures.	1	MHR	\$94.36	\$94
388 Adjust water flow in sink.	1	MHR	\$142.57	\$143
389				
390 <u>Staff Room #003</u>				
391 Touch up wall corner.	1	MHR	\$120.55	\$121
392 Affix closer arm to door frame.	1	MHR	\$108.97	\$109
393 Base looks terrible – lumpy and bumpy.	4	MHR	\$108.97	\$436
394 Replacement base cabinet	6	LF	\$175.00	\$1,050
395 Install sink and faucet in counter. Clean counter.	4	MHR	\$142.57	\$570
396 Replace gouged VCT flooring tiles (20-25).	2	MHR	\$122.30	\$245
397 Replacement tiles	25	EA	\$1.75	\$44
398				
399 <u>Service Entry #001</u>				
400 <b>(#131) Clean/paint door frame and door.</b>	2	MHR	\$117.65	\$235
401 <b>(#132) Firestopping at one conduit above door to storage 028.</b>	1	MHR	\$108.97	\$54
402 Fill hole in ceiling.	1	MHR	\$108.97	\$109
403 Fix (2) holes in walls.	1	MHR	\$120.55	\$121
404 Replace astragal on exit doors.	4	MHR	\$108.97	\$381
405 Replacement astragal	1	SET	\$250.00	\$250
406 Touch up gouged painted walls at door.	1	MHR	\$117.65	\$118
407 Remove cement adhesive form storage door frame and repaint.	3	MHR	\$117.65	\$294
408 <b>(#130) Terminate loose wires, conduit in storage closet.</b>	2	MHR	\$140.82	\$282
409				
410 <u>Mechanical Room #008</u>				
411 Fix entry door/sprinkler pipe conflict (door does not open)	4	MHR	\$146.77	\$587
412 Touch up doors and frame, all sides	4	MHR	\$117.65	\$471
413 <b>(#136) Complete HVAC controls and training.</b>	8	MHR	\$140.82	\$1,127
414 <b>(#137) Resolve trip at AHU system at VRF unit.</b>	2	MHR	\$140.82	\$282
415				
416 <u>Storage #026</u>				
417 Paint high wall. Behind shelving unit.	3	MHR	\$117.65	\$353
418 <b>Ground Floor - Existing Building Total</b>				<b>\$9,273</b>
419				
420				
421 <b>First Floor - Existing Building</b>				
422 <u>Entry Vestibule #101</u>				
423 Clean and touch up nicks in both doors and frames.	1	MHR	\$117.65	\$118
424 Remove all exposed bolts and brackets flush w/ brick.	3	MHR	\$94.36	\$236
425 Install cover for empty box on west wall.	1	MHR	\$140.82	\$70
426 Supply missing cover plate for elec box	1	EA	\$15.00	\$15

# DIRECT TRADE COST DETAILS

	ELEMENT	QUANTITY	UNIT	UNIT RATE	TOTAL
427	Remove adhesive from floor.	2	MHR	\$94.36	\$189
428	<b>(#124) Caulk bottom of windows on either side of exterior door.</b>	3	MHR	\$108.97	\$327
	<b>Add weatherstripping at doors.</b>				
429	Door weatherstrip materials	1	OPEN	\$350.00	\$350
430					
431	<u>Periodicals #102</u>				
432	Repair leaking skylight near west end chimney. Refer to WJE report recommendations.				
433	Speciality lift for access	4	WKS	\$7,500.00	\$30,000
434	Protection of clay tile roofing	1,512	SF	\$10.00	\$15,116
435	Sealant materials	704	LF	\$10.00	\$7,040
436	Install sealant bead at gasket	96	MHR	\$115.46	\$11,084
437	Restore interior finish water damage	1	LS	\$10,000.00	\$10,000
438	Clean splatters on brick wall at entry doors.	2	MHR	\$94.36	\$189
439	Clean circular stain and black splatters form stone floor.	2	MHR	\$142.23	\$213
440	Seal conduit at stone floor penetration	1	MHR	\$142.23	\$71
441	Clean stone floor throughout entry area.	2	MHR	\$142.23	\$213
442	Remove tape and clean circulation desk.	2	MHR	\$94.36	\$189
443	Clean liquid stain at stone floor entry to Stair#1	2	MHR	\$142.23	\$213
444	Clean stain spot on stone floor near circ desk.	1	MHR	\$142.23	\$142
445	Clean/remove/replace stain spot on carpet tiles x2	1	MHR	\$122.30	\$122
446	Install bottom weatherstripping to upper storefront glass panel in small bay on south side.	2	MHR	\$115.46	\$173
447	Window weatherstrip materials	1	OPEN	\$350.00	\$350
448	<b>(#116) Reinstall wood valence for lights above desks (2)</b>	2	MHR	\$108.97	\$163
449	Cut back and make safe conduit at built in desk pier – north side	1	MHR	\$140.82	\$141
450	North side window bay, remove tape residue from lower sash area.	1	MHR	\$94.36	\$94
451	Add (2) covers to WAP boxes.	1	MHR	\$140.82	\$141
452	Supply missing cover plate for elec box	1	EA	\$15.00	\$15
453	Clean and refinish entire storefront frame in small bay, north side, next to entrance.	2	MHR	\$117.65	\$176
454	Clean excess caulk from brick pier – small bay, north side next to entry.	2	MHR	\$94.36	\$189
455	Attach top rail of fireplace enclosure to stone lintel at midpoint. It is too flimsy.	2	MHR	\$108.97	\$163
456	<b>(#118) Further cleaning at bluestone behind circ desk. Clean glue residue and stains.</b>	20	MHR	\$142.23	\$2,845
457	<b>(#133) Replace damaged floor outlet cover.</b>	1	MHR	\$140.82	\$70
458	Replacement cover plate for elec box	1	EA	\$15.00	\$15
459	<b>(#134) Install missing thresholds at exterior doors (2)</b>	3	MHR	\$108.97	\$327
460	New exterior threshold materials	2	OPEN	\$350.00	\$700
461	<b>(#129) Patch hole next to hallway light conduit.</b>	1	OPEN	\$117.65	\$59
462	Add cover to WAP box on ceiling near circ desk.	1	MHR	\$140.82	\$70
463	New cover plate for elec box	1	EA	\$15.00	\$15

# DIRECT TRADE COST DETAILS

	ELEMENT	QUANTITY	UNIT	UNIT RATE	TOTAL
464					
465	<u>Work Room #103</u>				
466	Remove white residue from brick wall and brick pier at bookdrop.	2	MHR	\$94.36	\$189
467	Fix dent in top of entry door. Touch up door and frame.	3	MHR	\$117.65	\$353
468	Clean pencil marks and splatters on book drop.	1	MHR	\$94.36	\$47
469	Adjust door to book drop box.	1	MHR	\$108.97	\$109
470	Clean tape residue and food spatters from existing counter	1	MHR	\$94.36	\$94
471	Add sealant to joint with brick wall on top of book drop.	1	MHR	\$94.36	\$47
472	Book drop wall GWB and paint finish is terrible.	4	MHR	\$238.20	\$852
473	Book drop wall sealant is terrible.	1	MHR	\$94.36	\$47
474	Remove unistrut from ceiling, patch holes.	4	MHR	\$94.36	\$377
475	<b>(#119) Replace existing sink.</b>	3	MHR	\$142.57	\$356
476	New sink, sealant	1	FIX	\$1,750.00	\$1,750
477					
478	<u>Stair #1</u>				
479	Check latching and closers on (3) doors – all levels -they don't close correctly.	3	MHR	\$108.97	\$327
480	Touch-up door frames all levels.	6	MHR	\$117.65	\$706
481	Infill missing grout joint between stone and rubber floor -1 <sup>st</sup> floor.	3	MHR	\$142.23	\$427
482	Exterior exit door – add threshold at transition.	2	MHR	\$108.97	\$163
483	New exterior threshold materials	1	OPEN	\$350.00	\$350
484	Clean wall scuffs on GWB.	2	MHR	\$117.65	\$235
485	Patch and paint glu -lam post.	2	MHR	\$117.65	\$235
486	Secure top of rail to side wall – Ground level	1	MHR	\$108.97	\$109
487	Touch up GWB wall adjacent to door and at door – First level	1	MHR	\$117.65	\$118
488	Clean GW dust from brick wall at 2 <sup>nd</sup> floor landing.	2	MHR	\$94.36	\$142
489	Remove sticker on window, clean clerestory window.	2	MHR	\$94.36	\$142
490	Fix gouges in rubber treads between first and second levels.	2	MHR	\$122.30	\$183
491	Clean stair door window glass (3)	2	MHR	\$94.36	\$142
492	Install permanent sign – First floor	2	MHR	\$108.97	\$163
493	New sign	1	LS	\$750.00	\$750
494	<b>(#128) Install Ceiling in Stair #1.</b>	4	MHR	\$120.55	\$482
495					
496	<u>Local History #106</u>				
497	Clean floor	2	MHR	\$94.36	\$189
498	Clean spatters on brick walls next to stair and next to grille.	2	MHR	\$94.36	\$189
499	Add caps to thermostat boxes	1	MHR	\$147.38	\$147
500	Add cover plate to wifi box	1	MHR	\$140.82	\$70
501	New cover plate for elec box	1	EA	\$15.00	\$15
502					
503	<u>Women's #105</u>				
504	Clean spatters on tile wall next to toilet.	2	MHR	\$94.36	\$189
505	Adjust sink flow	2	MHR	\$94.36	\$142
506	Clean toilet and grout at floor	2	MHR	\$94.36	\$189

# DIRECT TRADE COST DETAILS

ELEMENT	QUANTITY	UNIT	UNIT RATE	TOTAL
507 <b>(#120) Connect flex duct to bathroom fan.</b>	2	MHR	\$147.38	\$295
508 <b>(#121) Install coat hook on door.</b>	1	MHR	\$108.97	\$54
509				
510 <u>Men's #104</u>				
511 Check door manual locking system, otherwise door can be opened manually when occupancy light is on.	1	MHR	\$108.97	\$109
512 Clean stain on toilet.	2	MHR	\$94.36	\$189
513 Clean spackle from handrail over toilet.	1	MHR	\$94.36	\$94
514 Vanity is nicked and has multiple gouges. It was not protected and must be replaced.	4	MHR	\$108.97	\$436
515 Replacement vanity	2	LF	\$150.00	\$225
516 Tighten floor stop to floor.	1	MHR	\$94.36	\$94
517 Reinstall missing existing to remain black retractable window shade	1	MHR	\$108.97	\$109
518 Finish round hole at overhead sprinkler over toilet.	1	MHR	\$120.55	\$121
519 <b>(#122) Install coat hook on door.</b>	1	MHR	\$108.97	\$54
520				
521 <u>Custodian #107</u>				
522 Fix lockset at door.	2	MHR	\$108.97	\$163
523 <b>(#123) Unclog janitor's sink.</b>	2	MHR	\$142.57	\$214
524				
525 <u>Stair #3</u>				
526 Clean spatters form brick walls.	3	MHR	\$94.36	\$236
527 Check door latching for doors – all levels – doors do not latch.	3	MHR	\$108.97	\$327
528 Clean ceiling boards at first floor vestibule.	3	MHR	\$94.36	\$236
529 <b>(#138) Adjust brick side handrail per AHJ comment. Make smooth to touch.</b>	3	MHR	\$94.36	\$283
530 Install exterior exit lighting at landing.	3	MHR	\$140.82	\$352
531 <b>First Floor - Existing Building Total</b>				<b>\$95,221</b>
532				
533				
534 <b>Second Floor - Existing Building</b>				
535 <u>Young Adults #203</u>				
536 Sand gouge in corner of glulam post near mechanical louvre door, and refinish.	3	MHR	\$108.97	\$272
537 Infill hole in ceiling and finish gwb to rafter joint next to crawl space door – south side.	2	MHR	\$120.55	\$181
538 Paint metal return on wall leading to elevator corridor.	2	MHR	\$117.65	\$176
539 Clean side of chimney brick@ new tutoring room wall.	2	MHR	\$94.36	\$189
540 Clean white adhesive (6x) from chimney brick and wood head over fireplace.	2	MHR	\$94.36	\$189
541 Add replacement peg at alcove on north side.	1	MHR	\$108.97	\$109
542 Attach top rail of fireplace enclosure to stone lintel at midpoint. It is too flimsy.	2	MHR	\$108.97	\$163
543 Remove drywall screws from ceiling @ elevator corridor.	1	MHR	\$94.36	\$94
544 Remove (2) lights from rafter near fireplace (West side).	3	MHR	\$140.82	\$352

# DIRECT TRADE COST DETAILS

	ELEMENT	QUANTITY	UNIT	UNIT RATE	TOTAL
545	Add floor stop for louvred door at mechanical room next to Directors office.	1	MHR	\$108.97	\$54
546					
547	<u>Tutoring Room #209</u>				
548	Check and adjust door latch, its noisy.	1	MHR	\$108.97	\$109
549					
550	<u>Conference Room #204</u>				
551	Fill existing nail holes & wall gouge and paint - south wall.	2	MHR	\$117.65	\$176
552	Hide electrical wires from view on rafter above east wall window.	2	MHR	\$140.82	\$211
553	Stain wood patch to match existing at track lighting and cover plate.	2	MHR	\$117.65	\$176
554	Add cover to WAP box.	1	MHR	\$140.82	\$70
555	New cover plate for elec box	1	EA	\$15.00	\$15
556	Wood base under east window is a bad match, remedy.	2	MHR	\$108.97	\$163
557					
558	<u>Director's Office #205</u>				
559	Add wood base and repaint GWB wall behind door.	1	MHR	\$226.62	\$227
560	Balance supply vent.	2	MHR	\$147.38	\$295
561	Patch/paint around vent.	1	MHR	\$117.65	\$118
562					
563	<u>Men's #201</u>				
564	Sink is out of level by $\frac{3}{4}$ ", fix.	2	MHR	\$142.57	\$285
565	Clean splatters on tile wall @ stair #1.	1	MHR	\$94.36	\$94
566					
567	<u>Women's #207</u>				
568	Replace wall tile at toilet flushometer.	4	MHR	\$142.23	\$569
569	Adjust sink flow.	1	MHR	\$142.57	\$143
570	Reverse trash bin section of paper towel dispenser.	1	MHR	\$108.97	\$109
571					
572	<u>Tutoring Room #208</u>				
573	Touch up marks on wall at entry door.	2	MHR	\$117.65	\$176
574	Replace (1) damaged ACT tile next to window.	1	MHR	\$110.95	\$111
575	<b>Second Floor - Existing Building Total</b>				<b>\$4,829</b>
576					
577					
578					
579	<b>D) EXISTING BUILDING EXTERIOR</b>				
580					
581	<b>East Side - Facing Sanger Street</b>				
582	Patch and paint gouge in rake boards.	2	MHR	\$117.65	\$176
583	Remove tape and clean at the removed sign at entry doors in areaway.	2	MHR	\$94.36	\$142
584	Cut and cap electrical conduit from transformer pad.	2	MHR	\$140.82	\$211
585	Clean concrete splash on exit door.	1	MHR	\$94.36	\$94

# DIRECT TRADE COST DETAILS

ELEMENT	QUANTITY	UNIT	UNIT RATE	TOTAL
586 Remove plastic from fascia.	2	MHR	\$94.36	\$142
<b>587 East Side - Facing Sanger Street Total</b>				<b>\$765</b>
588				
589				
<b>590 South Side - Facing Terrace</b>				
591 Cut and remove (2) bolts.	1	MHR	\$94.36	\$94
592 Add sand between joints at existing flag stone.	1	MHR	\$142.23	\$142
593 Fill and paint empty box and (1) hole near entry.	2	MHR	\$117.65	\$235
594 Clean spray and debris on brick and soffit in bay next to addition.	3	MHR	\$94.36	\$283
595 Remove and clean tape residue at skylight face, Bay 3 from west chimney.	3	MHR	\$115.46	\$346
596 Paint second coat on new 8" facia and scotia at roof edge for entire length.	4	MHR	\$117.65	\$471
<b>597 South Side - Facing Terrace Total</b>				<b>\$1,572</b>
598				
599				
<b>600 North Side</b>				
601 Cut (8) bolts flush with brick.	4	MHR	\$94.36	\$377
602 Remove debris on flagstone at water line.	1	MHR	\$94.36	\$94
603 Entry Bay – Install card reader cover.	1	MHR	\$140.82	\$141
604 Entry Bay - Remove tape and clean book drop slot.	2	MHR	\$94.36	\$142
605 Entry Bay – Verify exterior lighting.	2	MHR	\$140.82	\$282
606 Add covers to open pipes in ground.	1	MHR	\$94.36	\$94
607 Empty box hole to be covered.	1	MHR	\$140.82	\$70
608 New cover plate for elec box	1	EA	\$30.00	\$30
609 Replace broken flag stone.	2	MHR	\$142.23	\$284
610 Fill joints between flag stones with sand.	1	MHR	\$142.23	\$142
611 Fill hole and paint fascia to left of entry.	2	MHR	\$117.65	\$176
612 Cover ground mounting pipe.	1	MHR	\$108.97	\$109
613 Paint second coat on new 8" facia and scotia at roof edge for entire length.	4	MHR	\$117.65	\$471
<b>614 North Side Total</b>				<b>\$2,413</b>
615				
616				
<b>617 West Side - Facing Police Station / Town Hall Parking</b>				
618 Cut and remove (2) bolts flush with brick.	1	MHR	\$94.36	\$94
619 Clean concrete splash form brick and doors (18" high) exit alcove.	1	MHR	\$94.36	\$94
620 Install exterior lighting over door.	3	MHR	\$140.82	\$352
621 Seal around electrical penetration.	1	MHR	\$94.36	\$94
622 Seal concrete slab around doors.	2	MHR	\$94.36	\$142
623 Caulk joints at new LVL headers over doors.	3	MHR	\$94.36	\$236
624 Fill nail holes and paint new LVL heads over doors.	3	MHR	\$117.65	\$294

# DIRECT TRADE COST DETAILS

ELEMENT	QUANTITY	UNIT	UNIT RATE	TOTAL
625 Fill all nail holes and paint entire rake boards (second coat).	4	MHR	\$117.65	\$471
<b>626 West Side - Facing Police Station / Town Hall Parking Total</b>				<b>\$1,777</b>
627				
628				
629				
<b>630 MECHANICAL AND ELECTRICAL</b>				
631				
<b>632 NV5 SCO (Punchlist) dated Nov 7, 2022</b>				
633 <u>HVAC</u>				
634 (H-1) Provide "hard ducted" (no flex) connection into inlet of VAV box.	2	MHR	\$147.38	\$295
635 Ductwork materials	1	LS	\$1,500.00	\$1,500
636 (H-2) Provide "hard ducted" (no flex) connection from discharge of VAV box	2	MHR	\$147.38	\$295
637 Ductwork materials	1	LS	\$1,500.00	\$1,500
638 (H-5) Submit Operating and Maintenance manuals and CD's - Submitted, Arch. to verify				BAA
639 (H-6) Provide (6) complete sets of operating, service and replacement data for all equipment - Submitted, Arch. to verify				BAA
640 (H-7) Submit record drawings - Submitted, Arch. to verify				BAA
641 (H-8) Submit warranties - Submitted, Arch. to verify				BAA
642 (H-9) Provide start-up, training, supervision, and assistance of owner's maintenance staff - Submitted, Arch. to verify				BAA
643 (H-10) Submit testing and balancing report and certificates - Submitted, Arch. to verify				BAA
644 (H-11) Provide automatic temperature control as-builts - Submitted, Arch. to verify				BAA
645 (H-12) Provide automatic temperature control test reports - Submitted, Arch. to verify				BAA
<b>646 NV5 SCO (Punchlist) dated Nov 7, 2022 Total</b>				<b>\$3,590</b>
647				
648				
<b>649 NV5 SCO (Punchlist) dated July 8, 2022</b>				
650 <u>Plumbing</u>				
651 (P-2) Ensure that water heater is turned on and that water is provided to all fixture prior to turn-over to owner	1	MHR	\$142.57	\$143
652 (P-4) Submit compaction reports for all piping systems where backfill and compacting is completed - Arch. to verify				BAA
653 (P-10) Submit Operating and Maintenance manuals - Arch. to verify				BAA
654 (P-11) Provide field operating and maintenance instructions - Arch. to verify				BAA
655 (P-12) Submit record drawings - Arch. to verify				BAA
656 (P-13) Submit warranties - Arch. to verify				BAA

# DIRECT TRADE COST DETAILS

	ELEMENT	QUANTITY	UNIT	UNIT RATE	TOTAL
657	(P-14) Submit a uniform hazardous waste manifest with all applicable signoffs - Arch. to verify				BAA
658	(P-15) Submit a copy of startup report for all major equipment - Arch. to verify				BAA
659	(P-16) Provide valve chart list - Arch. to verify				BAA
660	(P-17) Provide certificates of inspection and/or approval - Arch. to verify				BAA
661	(P-18) Provide water system disinfection reports - Arch. to verify				BAA
662					
663	<u>Electrical</u>				
664	(E-5) Provide updated typewritten panel directories	4	MHR	\$142.57	\$570
665	(E-6) Submit Operating and Maintenance manuals and CD's - Arch. to verify				BAA
666	(E-7) Submit As-Built Record Drawings - Arch. to verify				BAA
667	(E-8) Submit Warranties - Arch. to verify				BAA
668	(E-9) Submit certification memorandum stating all emergency and exit lighting systems operational - Arch. to verify				BAA
669	(E-10) Submit certification memorandum stating all lighting control components and systems operational - Arch. to verify				BAA
670	(E-13) Submit Automatic Transfer Switch (ATS) test report- Arch. to verify				BAA
671	<b>NV5 SCO (Punchlist) dated July 8, 2022 Total</b>				<b>\$713</b>
672					
673					
674					

Responsibly  
Improving the  
World We Live In

