

Jeanne Guthrie

From: Bob Murchison <bob.murchison@me.com>
Sent: Tuesday, September 24, 2024 3:36 PM
To: 'Bouley, Steven'; 'Dillon, Peter'
Cc: Jeanne Guthrie
Subject: FW: Response to BOH Comments on Brush Hill Homes
Attachments: Brush Hill Homes deficiency letter.pdf; Brush Hill Floor Plan Eight Homes September 2024.pdf; F25889 BOH Plan Set.pdf

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Hi Steve and Peter,

I am forwarding our response (see below) to Mark Oram's comment letter on Brush Hill Homes.

Thanks,

Bob

From: Bob Murchison <bob.murchison@me.com>
Sent: Tuesday, September 24, 2024 3:34 PM
To: 'Mark Oram' <moram@sherbornma.org>; 'Jessica Edwards' <jedwards@sherbornma.org>
Cc: 'Jean Greco' <jean.greco@sherbornma.org>; 'Jeremy Marsette' <jmarsette@sherbornma.org>; 'Kevin Riopelle' <KRIopelle@dgtassociates.com>; 'Bert Corey' <bcorey@dgtassociates.com>; 'DL - Health' <health@sherbornma.org>; 'Paul Haverty' <paul@bbhslaw.net>
Subject: Response to BOH Comments on Brush Hill Homes

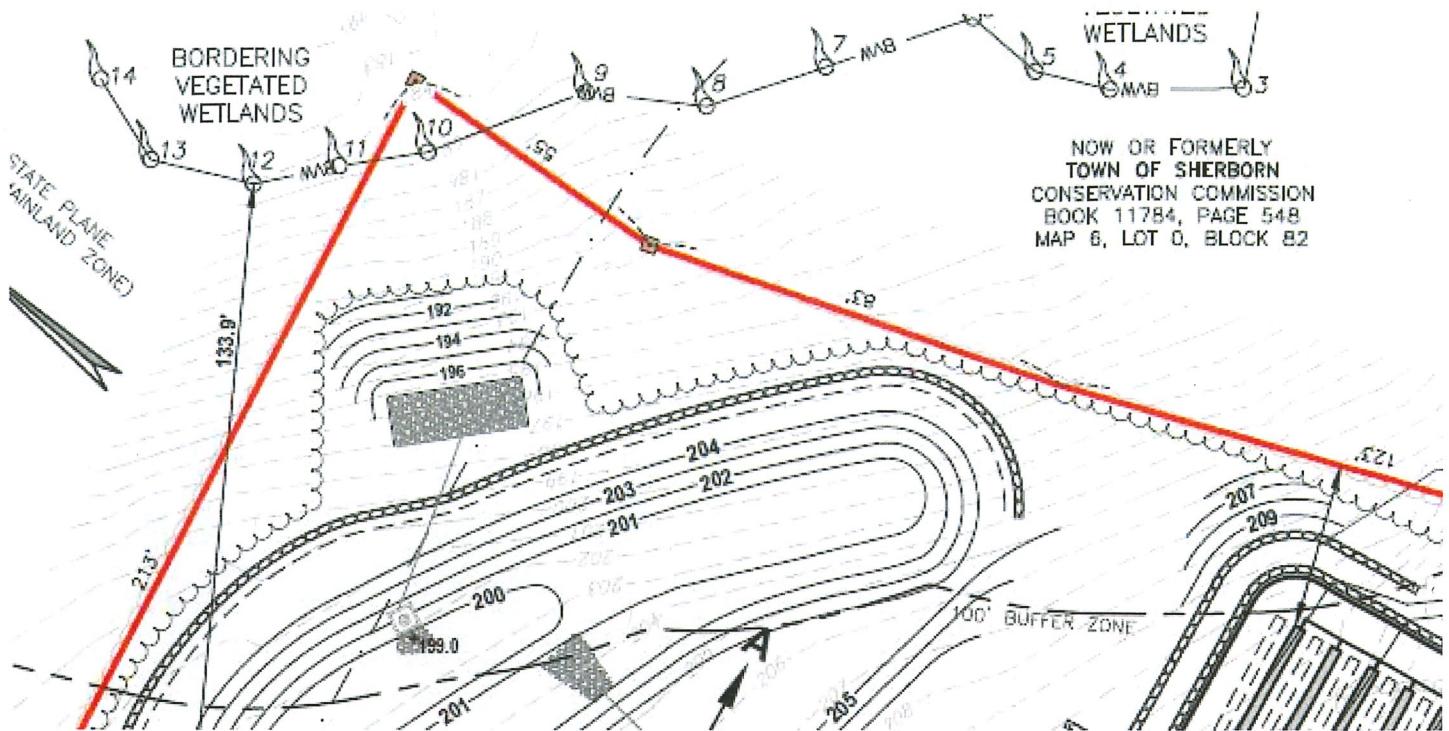
Hi Mark,

In addition to the updated Title V Application plan submitted yesterday (also attached here for convenience), I want to provide a detailed responses to your comments made in a letter on August 7th. Apologies for the delayed response, but your request for additional soil testing took some time.

Please see our responses in **green** below:

1. The buffer line on the northwest portion of the plot plan on Sheet 1 of 4 does not define the buffer zone.

The wetland line and 100' buffer zone are both shown on page 1 of the plan. See screenshot below.



2. The room count for each unit is not provided on the plot plan in the design criteria noted on Sheet 1 of 4.

Sheet 1 of the plan in the design data section describes eight two-bedroom dwellings for a total of sixteen bedrooms (note the number of bedrooms has been reduced from eighteen to sixteen in the updated plan). See attached floor plan for the eight two-bedroom units.

DESIGN DATA

FLOW CALCULATIONS

1. BUILDING USE: SINGLE FAMILY RESIDENTIAL DWELLINGS
2. DESIGN FLOW - TITLE 5: 110 GPD/BEDROOM
3. EIGHT (8) 2-BEDROOM DWELLINGS: 1,760 GPD
4. TOTAL DAILY FLOW - TITLE 5: 1,760 GALLONS

3. There is to be a profile of the force main distribution line to assure there are no sags in this force main.

The profile has been updated on Sheet BOH-2 to show the entire run of the force main. Note that there is a minimum of 4.5' of cover over the entire length of the force main and it drains to the pump chamber.

4. The note on the septic tank minimum cover shall also note the maximum cover allowed on Sheet 3 of 4 under note B-4.

This note has been added to note B-4.

5. The pump chamber maximum cover shall be noted on Sheet 4 of 4 in the profile section of the pump chamber that notes the minimum cover.

The pump chamber detail on Sheet BOH-4 has been updated to show the maximum allowable cover.

6. The legal documents required by 310 CMR 15.000 (Title 5) for this shared system shall include the required maintenance for the annual septic tank pumping and outlet tee effluent cleaning, see notes B 2 and 3 on Sheet 3 of 4.

The notes on the plan state these requirements. These requirements will also be incorporated into a Homeowner Association (HOA) operating manual.

7. The groundwater levels at the inlet and outlet inverts for the septic tank are to be provide the groundwater level for compliance with 310 CMR 15.227(5).

The estimated seasonal high groundwater has been added to the profile on Sheet BOH-2. Note that both the septic tank and pump chamber inlet/outlet pipes are above existing grade.

8. Each septic tank compartment capacity has not been shown on the profile on Sheet 3 of 4.

The septic tank compartment sizes have been added to the profile on Sheet BOH-2.

9. There is no indication on the plan that the boundaries are legal boundaries.

The boundaries shown on the plans are based on the record survey plans.

10. The soil testing has not been spaced uniformly over the proposed soil absorption area.

Additional testing was performed on August 19th as witnessed by the BOH Agent. Note that the soil logs have been added to Sheet BOH-5 and the test pit locations are shown on the plans. The five deep holes and six perc tests used for design are now uniformly distributed across the system.

11. The basement levels for each unit are to be shown. As provided for Unit 5 on Sheet 2 of 4, a profile showing the basement floors and the existing invert for the building pipes for each unit shall be provided.

Units 1, 2 and 8 do not have basements. Units 3, 4, 5, 6 and 7 all have basements and the basement slab elevations have been added to Sheet BOH-1.

12. There is a structure shown at the northwest corner of the lot that is not labelled. This unit appears to be part of the drainage structure.

This is a subsurface stormwater infiltration system and it has been labeled accordingly on Sheet BOH-1.

13. The location of the pump alarms has not been provided.

The location of the pump alarms is noted on Sheet BOH-1.

14. The location of the electric circuits for the pumps and pump alarm have not been provided.

The location of the electric circuits for the pumps and pump alarm have been shown on BOH-1.

15. The water source for the water storage tank for fire suppression has not been provided.

Sherborn Fire Department fills the tanks in town quarterly. The callout on Sheet BOH-1 has been updated accordingly.

Additional Notes:

A. The septic plan has not been reviewed and approved by the Conservation Commission.

This is a Title V application only. Conservation Commission approval is not a requirement of Title V.

B. The well applications and fees have not been received.

This is a Title V application only. Wells (and any fees) are reviewed by the ZBA under our Comprehensive Permit Application.

C. Deed recordings prohibiting the installation of garbage grinders are to be completed prior to the septic and well plan being released for construction.

To the extent this is required by Title V, we agree.

D. The well water line to Unit 4 is under the garage slab. Please indicate the methods to be utilized to prevent this water line from freezing.

This is a Title V application only. Wells are reviewed by the ZBA under our Comprehensive Permit Application.

E. The noted units are shown as conceptual. Revised septic and well plans shall be submitted showing actual units to be built.

Unit floor plans are attached. To the extent required by Title V, units will be deed restricted to two bedrooms.

F. There is to be a note on the septic plans that indicate if this is an open space proposal. The reason for this notice is to assure that individual septic systems for each lot are not required per the shared system requirements in 310 CMR 15.000 (Title 5).

The project is a condominium and not an Open Space Subdivision.