

PERMIT SITE PLAN

for

BRUSH HILL HOMES

at

34 Brush Hill Road in Sherborn, MA

APPLICANT:
FENIX PARTNERS BRUSH HILL, LLC
177 LAKE STREET
SHERBORN, MA 01770

OWNER:
FENIX PARTNERS BRUSH HILL, LLC
ref.
MIDDLESEX REGISTRY OF DEEDS
BOOK: 81892 PAGE: 265

PARCEL ID:
MAP 1, LOT 0, BLOCK 18

ISSUED FOR:
COMPREHENSIVE PERMIT APPLICATION



NO.	APP	DATE	DESCRIPTION
4	BEC	1/15/25	PER PEER REVIEW COMMENTS
3	BEC	12/23/24	REVISED SITE DESIGN
2	BEC	9/19/24	PER BOH REVIEW COMMENTS
1	BEC	6/26/24	DESIGN DEVELOPMENT

DATE: **JUNE 4, 2024**

SCALE: **AS NOTED**

DESIGN:	DRAFTED:	CHECKED:
KMR/BEC	KMR	BEC

PROJECT TITLE:

BRUSH HILL HOMES

34 BRUSH HILL ROAD
SHERBORN, MA 01770

SHEET TITLE:

TITLE SHEET

SHEET:
1 OF 16
PROJECT NO.:
F-25889

C-1

GENERAL NOTES

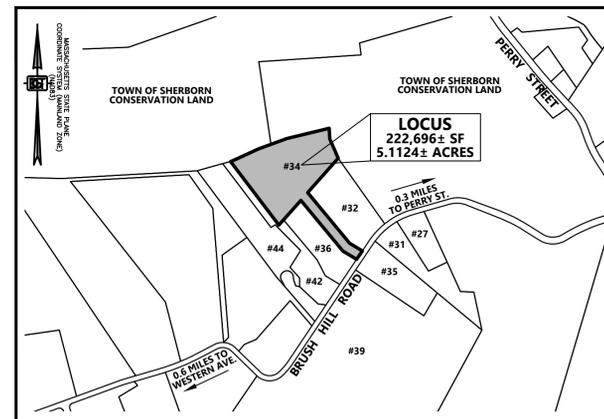
- ELEVATIONS SHOWN HEREON REFER TO NAVD88.
- PROPERTY LINE AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS FROM DGT ASSOCIATES.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND RELATIVE ELEVATION OF BENCHMARKS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION. ANY DISCREPANCY SHALL BE REPORTED TO THE ENGINEER.
- ALL SITE CONSTRUCTION SHALL COMPLY WITH THE TOWN OF SHERBORN DEPARTMENT OF PUBLIC WORKS.
- IN CASES WHERE LEDGE, BURIED FOUNDATIONS OR BOULDERS ARE PRESENT, DGT ASSOCIATES SHALL NOT BE RESPONSIBLE FOR THE AMOUNT OF ROCK OR CONCRETE ENCOUNTERED.
- DGT ASSOCIATES SHALL BE NOTIFIED OF ANY SIGNIFICANT DIFFERENCES IN THE EXISTING CONDITIONS OR UTILITIES THAT MAY AFFECT THE CONSTRUCTION SHOWN ON THIS PLAN FOR ANY NECESSARY PLAN REVISIONS.
- THIS PLAN IS NOT INTENDED TO SHOW AN ENGINEERED BUILDING FOUNDATION DESIGN WHICH WOULD INCLUDE DETAILS AND ELEVATIONS FOR FOOTINGS, FOUNDATION WALL DESIGN AND ANY SUBSURFACE DRAINAGE TO PREVENT FLOODING. COORDINATE WITH THE ARCHITECTURAL AND STRUCTURAL PLANS.
- THE PROPOSED BUILDING CONFIGURATION AS SHOWN HEREON SHALL BE CONSIDERED CONCEPTUAL AND SHALL BE VERIFIED WITH THE FINAL ARCHITECTURAL PLANS AND THE CURRENT ZONING ORDINANCES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND/OR REPLACEMENT OF ANY EXISTING FEATURES DAMAGED DURING CONSTRUCTION THAT ARE NOT INTENDED FOR DEMOLITION AND/OR REMOVAL HEREON.
- SAFETY MEASURES, CONSTRUCTION METHODS AND CONTROL OF WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

GRADING AND UTILITY PLAN NOTES

- LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY. ALL UTILITIES, OBSTRUCTIONS AND/OR SYSTEMS MAY NOT BE SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR FOR LOCATING AND PROTECTING ALL EXISTING UNDERGROUND UTILITIES AND/OR SYSTEMS WHETHER OR NOT SHOWN HEREON.
- UNLESS OTHERWISE SHOWN HEREON, ALL NEW UTILITIES SHALL BE UNDERGROUND.
- RIM ELEVATIONS SHOWN HEREON FOR NEW STRUCTURES ARE PROVIDED TO ASSIST THE CONTRACTOR WITH MATERIAL TAKEOFFS. FINAL RIM ELEVATIONS SHALL MATCH PAVEMENT, GRADING, LANDSCAPING, UNLESS SPECIFICALLY INDICATED OTHERWISE.
- WHERE CONNECTIONS AND STRUCTURES ARE TO BE INSTALLED AT EXISTING UTILITIES, THE CONTRACTOR SHALL CONFIRM THE LOCATION AND ELEVATION PRIOR TO INSTALLATION AND SHALL REPORT ANY SIGNIFICANT DISCREPANCY FROM THE PLAN INFORMATION TO THE ENGINEER.
- CURB RADII AND DIMENSIONS SHOWN HEREON ARE AT THE FACE OF CURB.
- WHERE NEW PAVING MEETS EXISTING PAVING, MEET LINE AND GRADE OF EXISTING.
- AT LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN AND SMOOTH EDGE.
- PERIMETER EROSION CONTROLS SHOWN HEREON SHALL BE INSTALLED PRIOR TO ANY EARTH DISTURBANCE AND SHALL SERVE AS A LIMIT OF WORK, UNLESS OTHERWISE SHOWN.
- THE CONTRACTOR SHALL PROVIDE DUST CONTROL FOR CONSTRUCTION OPERATIONS AS APPROVED BY THE ENGINEER.
- ALL POINTS OF CONSTRUCTION EGRESS OR INGRESS SHALL BE MAINTAINED TO PREVENT THE TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADS.

REGULATORY NOTES

- THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES AND COMPILING INFORMATION FROM PLANS PROVIDED BY UTILITY COMPANIES AND GOVERNMENT AGENCIES. THE LOCATION SHOWN HEREON SHALL BE CONSIDERED APPROXIMATE. BEFORE ANY CONSTRUCTION, DEMOLITION OR SITE WORK, THE LOCATION OF ALL UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR BY CONTACTING "DIG-SAFE" AT 811.
- THE CONTRACTOR SHALL MAKE HIMSELF AWARE OF ALL CONSTRUCTION REQUIREMENTS, CONDITIONS AND LIMITATIONS IMPOSED BY PERMITS AND APPROVALS ISSUED BY REGULATORY AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY WORK. CONTRACTOR SHALL COORDINATE AND OBTAIN ALL CONSTRUCTION PERMITS REQUIRED BY REGULATORY AUTHORITIES.
- ALL WORK OUTSIDE OF THE BUILDING THAT IS LESS THAN 10 FEET FROM THE INSIDE FACE OF THE BUILDING FOUNDATIONS SHALL CONFORM WITH THE UNIFORM STATE PLUMBING CODE OF MASSACHUSETTS, 248 CMR.
- CONSTRUCTION ACTIVITIES SHALL CONFORM TO THE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA).



SITE LOCUS MAP
1" = 500'

SHEET INDEX

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TOPOGRAPHIC PLAN OF LAND IN SHERBORN MASSACHUSETTS
BY DGT ASSOCIATES, DATED 06-25-2024

SITE EARTHWORK (VOLUME) CALCULATIONS

TOTAL FILL VOLUME:	6,545 CY
TOTAL CUT VOLUME:	591 CY
NET IMPORT VOLUME:	5,954 CY

NOTE THAT THE VOLUMES REPORTED ABOVE ARE CALCULATED FROM EXISTING GRADE TO FINISHED GRADE AS SHOWN ON THIS PLAN SET.

Table 1. Summary of Project Site Conditions

General Site Conditions	Land Condition		Land Breakdown		Acres	Square Feet	Coverage (%)	
	Unusable Land	Usable Land	Wetlands	Upland				
					5.1124	222,696	100.0%	
			0.0000	0	0.0000	0	0.0%	
			5.1124	222,696	5.1124	222,696	100.0%	
Existing Conditions	Disturbed	Total	0.0924	4,025	1.8%			
		Building	0.0000	0	0.0%			
		Pavement	0.0000	0	0.0%			
		Sidewalk	0.0000	0	0.0%			
		Pervious	Lawn (usable open space)	0.0924	4,025	1.8%		
		Undisturbed	Total	5.0200	218,671	98.2%		
	Usable Open Space	Upland Woods	5.0200	218,671	98.2%			
	Unusable Open Space	Wetlands	0.0000	0	0.0%			
	Total Usable Open Space	Lawn / Woods	5.1124	222,696	100.0%			
Proposed Conditions	Disturbed	Total	2.2136	96,423	43.3%			
		Building	0.1694	7,380	3.3%			
		Pavement	0.4578	19,943	9.0%			
		Sidewalk	0.0000	0	0.0%			
		Pervious	Lawn (usable open space)	1.5863	69,100	31.0%		
		Undisturbed	Total	2.8988	126,273	56.7%		
	Usable Open Space	Upland Woods	2.8988	126,273	56.7%			
	Unusable Open Space	Wetlands	0.0000	0	0.0%			
	Total Usable Open Space	Lawn / Woods	4.4851	195,373	87.7%			

Table 2. Summary of Proposed Buildings

Item	Total	3 Bedroom
Units	4	4
Bedrooms	12	12

Table 3. Zoning Summary Table (Sherborn Residential B District)

Item	Required	Proposed Conditions	Waiver Required
Minimum Lot Area	2 acres	5.1124 acres	No
Minimum Frontage	200 feet	50.02 feet	Yes
Minimum Lot Width	200 feet	50.02 feet	Yes
Minimum Lot Depth	N/A	N/A	N/A
Minimum Front Setback	60 feet	524.8 feet	No
Minimum Side Setback	40 feet	31.2 feet	Yes
Minimum Rear Setback	30 feet	213.0 feet	No
Maximum Height (stories)	2.5 stories	2 stories	No
Maximum Height (feet)	35 feet	< 35 feet	No
Maximum Lot Coverage	N/A	N/A	N/A

Lot Coverage	
Building	3.3%
Parking / Paved Areas	9.0%
Usable Open Space	87.7%
Unusable Open Space (wetlands)	0.0%
Lot Coverage	12.3%

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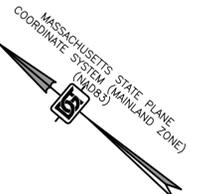
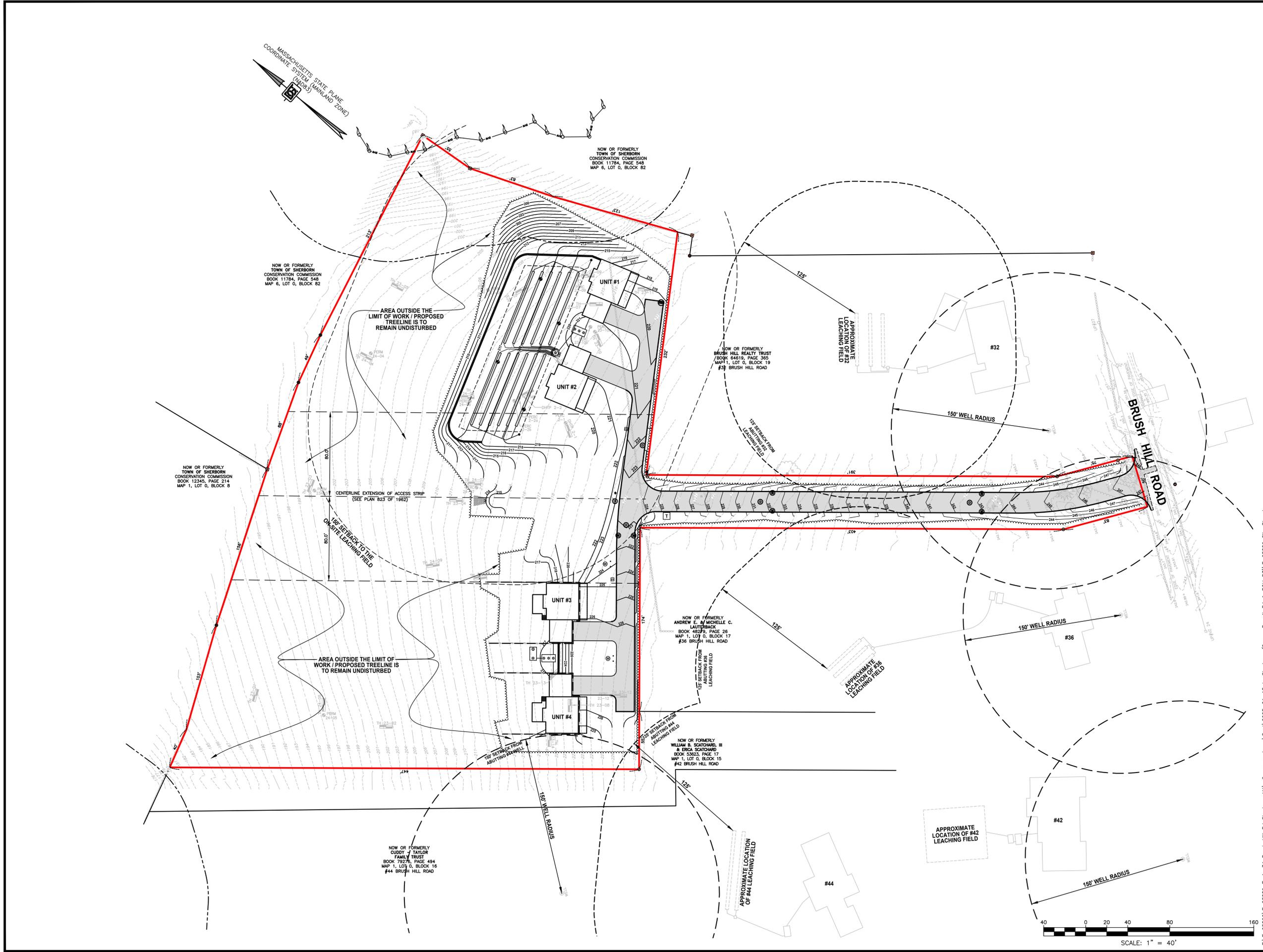
OVERALL SITE PLAN

SHEET:
2 OF 16

PROJECT NO.:
F-25889

C-2

F:\F-25890\F-25890\F-25899 Fenix_34_Brush_Hill_Rd_Sherborn_Ma_L_Correspondence_Smrt\2025-01-15 to_Sherborn (Comp. Permit_R4 & BOH R2)\F-25899 Site Plan.dwg



NOW OR FORMERLY
TOWN OF SHERBORN
CONSERVATION COMMISSION
BOOK 11784, PAGE 548
MAP 6, LOT 0, BLOCK 82

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NOW OR FORMERLY
TOWN OF SHERBORN
CONSERVATION COMMISSION
BOOK 12345, PAGE 214
MAP 1, LOT 0, BLOCK 8

NOW OR FORMERLY
BRUSH HILL REALTY TRUST
BOOK 64619, PAGE 305
MAP 1, LOT 0, BLOCK 19
#32 BRUSH HILL ROAD

NOW OR FORMERLY
ANDREW E. & MICHELLE C.
LAUTERBACK
BOOK 48279, PAGE 26
MAP 1, LOT 0, BLOCK 17
#36 BRUSH HILL ROAD

NOW OR FORMERLY
WILLIAM B. SCATCHARD, III
& ERICA SCATCHARD
BOOK 33653, PAGE 17
MAP 1, LOT 0, BLOCK 15
#42 BRUSH HILL ROAD

NOW OR FORMERLY
CUDDY J TAYLOR
FAMILY TRUST
BOOK 79276, PAGE 494
MAP 1, LOT 0, BLOCK 16
#44 BRUSH HILL ROAD

AREA OUTSIDE THE
LIMIT OF WORK / PROPOSED
TREELINE IS TO
REMAIN UNDISTURBED

AREA OUTSIDE THE LIMIT OF
WORK / PROPOSED TREELINE IS
TO REMAIN UNDISTURBED

APPROXIMATE
LOCATION OF
#32
LEACHING FIELD

APPROXIMATE
LOCATION OF
#36
LEACHING FIELD

APPROXIMATE
LOCATION OF #42
LEACHING FIELD

APPROXIMATE
LOCATION
OF #44
LEACHING FIELD

CENTERLINE EXTENSION OF ACCESS STRIP
(SEE PLAN 823 OF 1982)

150' SETBACK TO THE
ON-SITE LEACHING FIELD

150' SETBACK FROM
ADJUTING #36
LEACHING FIELD

150' SETBACK FROM
ADJUTING #42
LEACHING FIELD

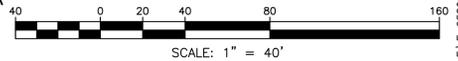
150' SETBACK FROM
ADJUTING #44
LEACHING FIELD

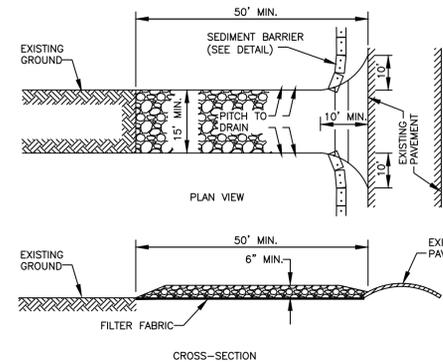
150' WELL RADIUS

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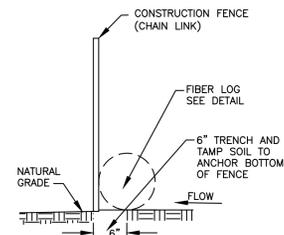




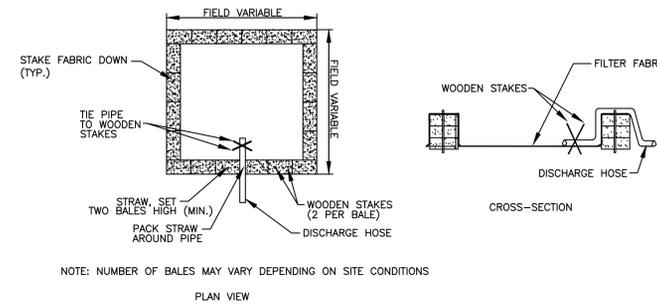
CONSTRUCTION SPECIFICATIONS:

- STONE SIZE - USE 1 1/2" TO 3 1/2" WASHED, ANGULAR STONE.
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - FIFTEEN (15) FEET MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
- FILTER FABRIC - SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. USE MIRAFI HP-370 OR EQUAL.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF WAY MUST BE REMOVED IMMEDIATELY.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED.

STONE TRACKING PAD (CONSTRUCTION ENTRANCE)
(NO SCALE)



CONSTRUCTION FENCE WITH FIBER LOG DETAIL
(NO SCALE)

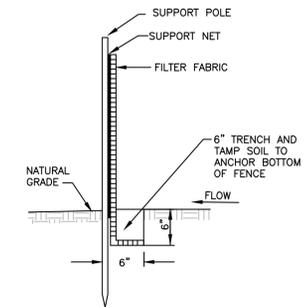


NOTE: NUMBER OF BALES MAY VARY DEPENDING ON SITE CONDITIONS

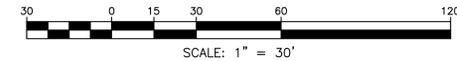
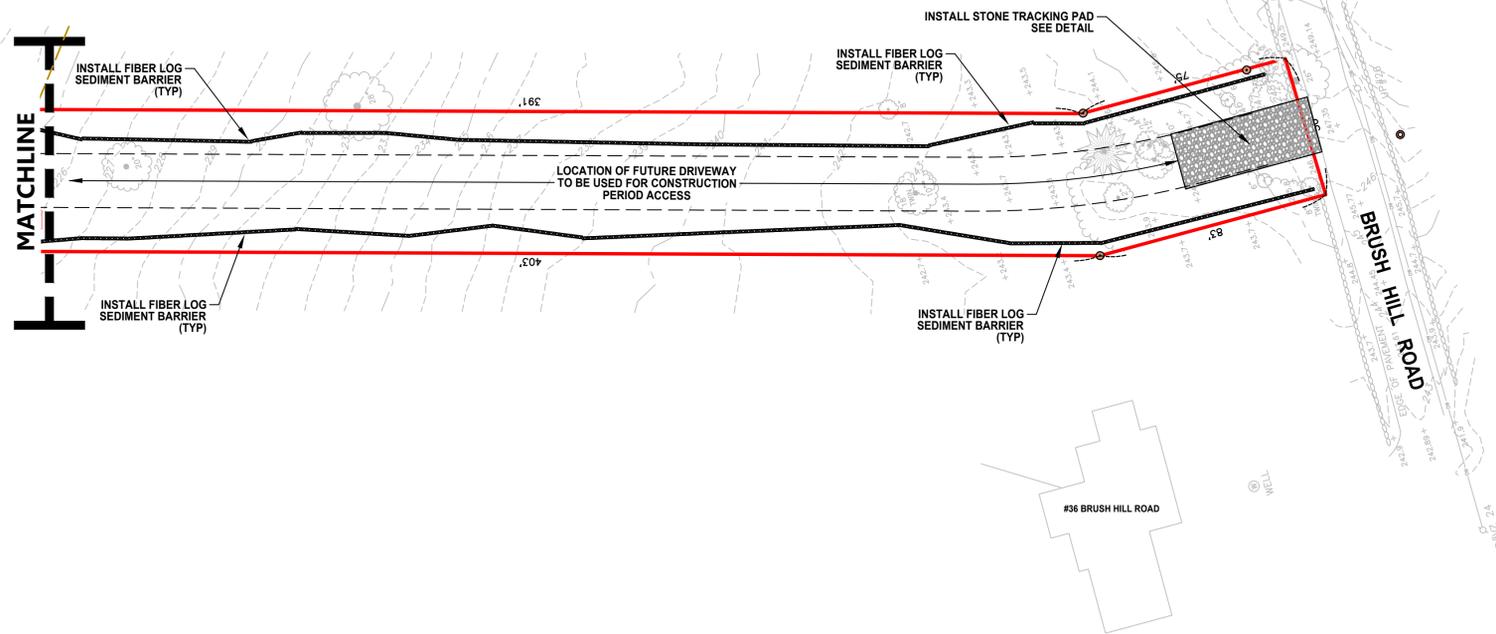
DEWATERING OF EXCAVATIONS NOTES:

- DISCHARGE FROM DEWATERING PUMPS OR TEMPORARY TRENCH OR EXCAVATION DRAINS SHALL NOT DISCHARGE DIRECTLY TO WETLAND RESOURCE AREAS, ON-SITE SUBSURFACE SEWAGE DISPOSAL SYSTEM, OR EXISTING/PROPOSED DRAINAGE SYSTEMS. THE DISCHARGES SHALL BE DIRECTED INTO A CONSTRUCTED SEDIMENT BASIN OR A STRAW BALE SETTLING BASIN.

STRAW BALE SETTLING BASIN
(NO SCALE)



SILT FENCE INSTALLATION
(NO SCALE)



EROSION AND SEDIMENT CONTROL NOTES

1. CONSTRUCTION PERIOD EROSION AND SEDIMENT CONTROL

- THE PURPOSE OF THE CONSTRUCTION PERIOD EROSION AND SEDIMENT CONTROL PLAN IS TO MINIMIZE THE INTRODUCTION OF SEDIMENTS ONTO PUBLIC RIGHT OF WAYS, ADJUTING PROPERTIES, AND TO POST-DEVELOPMENT STORMWATER BMP'S RESULTING FROM THE LAND DISTURBANCE ACTIVITIES DURING CONSTRUCTION.
- INSPECTIONS SHALL BE CONDUCTED BY THE GENERAL CONTRACTOR ON A BI-WEEKLY BASIS (EVERY TWO WEEKS), OR FOLLOWING SIGNIFICANT STORM EVENTS (RAINFALL OF 0.5 OR MORE) THAT CAN AFFECT THE SEDIMENT AND EROSION CONTROL PRACTICES IMPLEMENTED AT THE SITE. THE PURPOSE OF THE INSPECTIONS IS TO EVALUATE THE EFFECTIVENESS OF THE CONTROLS AND ANY REQUIRED MAINTENANCE ACTIVITIES. IF AN EROSION/SEDIMENTATION CONTROL MEASURE IS FOUND TO BE INADEQUATE FOR PROPERLY CONTROLLING SEDIMENT, AN ADEQUATE MEASURE SHALL BE DESIGNED AND IMPLEMENTED. A COPY OF THE WRITTEN INSPECTION SHALL BE KEPT ON FILE AT THE CONSTRUCTION SITE.
- DURING CONSTRUCTION, PROPOSED STORMWATER MANAGEMENT STRUCTURES SHALL BE PROTECTED FROM SEDIMENT. ALL PROPOSED NEW STORMWATER MANAGEMENT STRUCTURES THAT INFILTRATE RUNOFF ARE PARTICULARLY SENSITIVE TO DAMAGE BY SEDIMENT. INFILTRATION TECHNOLOGIES ARE NOT DESIGNED TO HANDLE THE HIGH CONCENTRATIONS OF SEDIMENTS TYPICALLY FOUND IN CONSTRUCTION RUNOFF, AND MUST BE PROTECTED FROM CONSTRUCTION RELATED SEDIMENT LOADINGS. SITE RUNOFF FROM UNSTABILIZED AREAS SHALL NOT BE DISCHARGED INTO THE PROPOSED INFILTRATION SYSTEMS, TRENCH DRAIN, AND CATCH BASINS UNTIL THE TRIBUTARY DRAINAGE AREA IS STABLE OR THE RUNOFF IS TREATED TO BE ESSENTIALLY FREE FROM SEDIMENT TO THE SATISFACTION OF THE ENGINEER. THE CONTRACTOR SHALL PROVIDE TEMPORARY BY-PASS SYSTEMS AS NECESSARY TO PREVENT CONSTRUCTION SITE RUNOFF FROM ENTERING THE INFILTRATION SYSTEMS. THE INFILTRATION SYSTEMS SHALL REMAIN OFF-LINE AND PROTECTED. CLEAN ROOF RUNOFF MAY DISCHARGE INTO THE INFILTRATION SYSTEMS IF IT IS PIPED DIRECTLY TO THE SYSTEMS AND NOT DIRECTED OVER DISTURBED AREAS.
- NO STOCKPILING IS ALLOWED WITHIN THE FOOTPRINT OF THE PROPOSED INFILTRATION SYSTEMS OR THE FOOTPRINT OF THE PROPOSED SOIL ABSORPTION FIELD. CONTRACTOR IS TO LOCATE THE PROPOSED AREAS FOR THESE SYSTEMS PRIOR TO THE START OF CONSTRUCTION.
- DURING THE INSTALLATION OF THE INFILTRATION SYSTEMS, NO PARKING WILL BE PERMITTED OVER THE SYSTEM UNTIL IT HAS BEEN PROPERLY BACKFILLED AND PROTECTED FROM SEDIMENT AND VEHICULAR LOADS.
- NO PARKING IS ALLOWED OVER THE FOOTPRINT OF THE PROPOSED SOIL ABSORPTION SYSTEM AT ANYTIME DURING THE CONSTRUCTION PROCESS.

2. GENERAL PERFORMANCE STANDARDS:

- THE CONTRACTOR SHALL INSTALL, ROUTINELY INSPECT AND MAINTAIN ALL SEDIMENT AND EROSION CONTROLS SUCH THAT THEY ARE IN PROPER WORKING ORDER AT ALL TIMES DURING THE CONSTRUCTION PROJECT UNTIL SUCH TIME AS ALL AREAS OF THE SITE TRIBUTARY TO THOSE EROSION CONTROLS ARE IN A PERMANENTLY STABILIZED CONDITION.
- THE CONTRACTOR SHALL MANAGE THE SITE SUCH THAT EROSION AND SEDIMENT FROM RUNOFF AND WIND BLOWN DUST ARE CONTROLLED AND MINIMIZED AT ALL TIMES. THE EROSION CONTROLS SHOWN ON THIS PLAN INCLUDE THE INITIAL SETUP OF EROSION CONTROLS AND BASIC INFORMATION, TO MEET THE REQUIREMENT OF BEST MANAGEMENT PRACTICES. THE CONTRACTOR MUST MANAGE THE SITE PROPERLY WHICH MAY INCLUDE, BUT NOT BE LIMITED TO: MINIMIZING AREAS OF EXPOSED SOIL; INSTALLING TEMPORARY COVER; MAKE NECESSARY ADJUSTMENTS TO THE EROSION CONTROL INSTALLATIONS TO IMPROVE FUNCTION; PROVIDE TEMPORARY SEDIMENT BASINS; INSTALL ADDITIONAL EROSION CONTROL WHERE NECESSARY.
- THE EROSION CONTROL WORK SHOWN ON THIS PLAN ARE ALSO SUBJECT TO OTHER STATE AND LOCAL APPROVALS. THE CONTRACTOR SHALL OBTAIN AND BE RESPONSIBLE FOR COMPLIANCE WITH THE CONDITIONS AND REQUIREMENTS OF THOSE PERMITS.
- DESIGN, INSTALLATION AND MAINTENANCE OF SEDIMENT AND EROSION CONTROLS SHALL BE IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES FOLLOWING THE GUIDELINES INCLUDE IN THE FOLLOWING:
 - "STORMWATER MANAGEMENT FOR CONSTRUCTION ACTIVITIES, DEVELOPING POLLUTION PREVENTION PLANS AND BEST MANAGEMENT PRACTICES" U.S. ENVIRONMENTAL PROTECTION AGENCY, OCTOBER 1992.
 - "MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS, A GUIDE FOR PLANNERS, DESIGNERS AND MUNICIPAL OFFICIALS", MASS. EXECUTIVE OFFICE OF ENVIRONMENTAL AFFAIRS, MAY 2003.
 - U.S.D.A. NATURAL RESOURCES AND CONSERVATION SERVICES (NRCS) GUIDELINES.

3. FEDERAL NPDES PHASE II COMPLIANCE:

- THIS PROJECT IS SUBJECT TO THE FEDERAL CLEAN WATER ACT REQUIREMENTS FOR CONSTRUCTION SITES ADMINISTERED BY THE U.S. ENVIRONMENTAL PROTECTION AGENCY (EPA). THIS PROGRAM IS THE "NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) - PHASE II FOR CONSTRUCTION SITES. FOR COMPLIANCE WITH THIS PROGRAM, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING A COMPLETE "STORMWATER POLLUTION PREVENTION PLAN" (SWPPP) IN CONFORMANCE WITH THE CURRENT CONSTRUCTION GENERAL PERMIT AND FILING A NOTICE OF INTENT WITH THE EPA UNDER THE NPDES PROGRAM. THE CONTRACTOR SHALL THEN MANAGE THE SITE IN COMPLIANCE WITH THE SWPPP AND IN COMPLIANCE WITH THE CONSTRUCTION GENERAL PERMIT. NOTE THAT THE SWPPP IS TO BE CONSISTENT WITH THIS EROSION AND SEDIMENT CONTROL PLAN AND OTHER APPLICABLE APPROVALS. THE EROSION AND SEDIMENT CONTROL PLAN INCLUDED IN THIS PLAN SET MAY BE USED AS PART OF THE DOCUMENTATION REQUIRED FOR THE PREPARATION OF A SWPPP, BUT IS NOT TO BE CONSIDERED AS MEETING THE FULL REQUIREMENTS OF A SWPPP PREPARED FOR COMPLIANCE WITH THE NPDES PROGRAM.

4. PERIMETER FIBER LOG / SILT FENCING AND LIMIT OF WORK:

- PRIOR TO ANY DISTURBANCE OR ALTERATIONS OF ANY AREA ON THE SITE, AN EROSION CONTROL BARRIER AND CONSTRUCTION FENCE SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE PLAN.
- INSTALL THE FIBER LOGS ON THE UPHILL SIDE OF THE SILT FENCE AS SHOWN, IN THOSE AREAS WHERE THE TOPOGRAPHY INDICATES THAT STORMWATER RUNOFF WILL BE CONCENTRATED (AT LOW POINTS), ADDITIONAL FIBER LOGS, AS NECESSARY, SHALL BE STAKED ON THE UPGRADE SIDE OF THE SEDIMENT BARRIER FOR ADDED FILTRATION AND PROTECTION. THE REQUIRED LOCATIONS FOR THE ADDED FIBER LOG INSTALLATION WILL BE SELECTED BY THE ENGINEER AND / OR THE AUTHORIZED INSPECTOR / SWPPP COORDINATOR UPON COMPLETION OF THE SEDIMENT BARRIER INSTALLATION. (SEE DETAIL).
- ONCE INSTALLED, THE STAKED FIBER LOGS AND CONSTRUCTION FENCE SHALL BE MAINTAINED IN PLACE UNTIL ALL AREAS UPGRADEMENT FROM THE BARRIERS HAVE BEEN PERMANENTLY STABILIZED.
- ALL DISTURBED AREAS NOT OTHERWISE DEVELOPED OR WHERE SPECIAL STABILIZATION MEASURES OR LANDSCAPE PLANTINGS ARE PROPOSED SHALL BE LOAMED AND SEEDED OR SODDED. SIX INCHES OF LOAM TOPSOIL (MIN. COMPACTED DEPTH) SHALL BE APPLIED UNLESS, OTHERWISE SPECIFIED. (SEE LANDSCAPE PLAN AND OTHER PLANS AS APPLICABLE).
- THE PERIMETER FIBER LOGS AND CONSTRUCTION FENCE ARE ALSO LIMITS OF WORK. ALL AREAS OUTSIDE THE LIMIT ARE TO BE LEFT UNDISTURBED. DURING THE SITE WORK, ALL PERSONS AND EQUIPMENT SHALL STAY OUT OF THESE AREAS TO PRESERVE THE EXISTING VEGETATION AND SOIL COVER.

5. CONSTRUCTION ENTRANCE:

- AT THE START OF SITE WORK, A STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT THE ACCESS TO THE SITE FROM THE ACCESS EASEMENT DRIVEWAY TO CONTROL THE TRACKING OF MUD OFF THE SITE. THE ENTRANCE SHALL BE MAINTAINED UNTIL THE SITE IS IN A STABILIZED CONDITION WHEN THE POSSIBILITY OF VEHICLES TRACKING MUD OFF SITE HAS BEEN ELIMINATED.
- THE CONTRACTOR SHALL SWEEP THE ADJACENT ROADWAYS WHEN MUD, DUST, DIRT, DEBRIS, ETC. HAS SHOWN SIGNS OF BUILDUP ON THE ROADWAYS EXITING THE SITE. THE CONTRACTOR SHALL PAY PARTICULAR ATTENTION TO THIS MATTER AND IMMEDIATE ATTENTION IS ALWAYS REQUIRED.

6. DEWATERING OF EXCAVATIONS:

- DISCHARGE FROM DEWATERING PUMPS OR TEMPORARY TRENCH OR EXCAVATION DRAINS SHALL NOT BE DISCHARGED DIRECTLY TO THE ON-SITE DRAINAGE SYSTEM, WETLANDS, OR SEWAGE DISPOSAL SYSTEM. DISCHARGES SHALL BE DIRECTED TO A TREATMENT SYSTEM CONSISTING OF A SEDIMENT BASIN, STRAW BALE SEDIMENT BASIN, FILTER BAG SYSTEM OR OTHER APPROVED METHOD TO FILTER THE DISCHARGE WATER AND PREVENT EROSION.
- ALL DEWATERING DRAINAGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES SHALL COMPLY WITH THE TOWN OF SHERBORN REQUIREMENTS, UNITED STATES ENVIRONMENTAL PROTECTION AGENCY, MASSACHUSETTS DEP AND OTHER APPROPRIATE AGENCIES. UNDER NO CIRCUMSTANCE SHALL DEWATERING DRAINAGE BE DISCHARGED INTO SANITARY SEWER.

7. SOIL STOCKPILES:

- STOCKPILES OF SOIL MATERIALS SHALL BE PLACED WITHIN AREAS THAT ARE PROTECTED BY PERIMETER EROSION CONTROLS, OR SHALL BE SURROUNDED BY PROPER SILT FENCE OR FIBER LOGS.
- STOCKPILES THAT ARE TO BE IN PLACE FOR EXTENDED PERIODS OF TIME (MORE THAN 30 DAYS) SHALL BE COVERED OR OTHERWISE TEMPORARILY STABILIZED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES.

8. CATCH BASIN INLET PROTECTION

- CATCH BASINS AND TRENCH DRAINS WITHIN THE WORK AREA OR THAT WILL RECEIVE RUNOFF FROM THE WORK AREA SHALL BE PROTECTED WITH A SILT SACK AND OR OTHER APPROVED INSTALLATION TO MINIMIZE THE SEDIMENT LOAD TO THE CATCH BASIN

9. DUST CONTROL:

- THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES DURING SITE WORK TO MINIMIZE WIND BLOWN DUST FROM EXPOSED SOIL SURFACES. MEASURES INCLUDE BUT ARE NOT LIMITED TO:
 - SPRINKLING WATER ON EXPOSED SURFACES
 - APPLICATION OF TEMPORARY COVER SUCH AS HYDRO MULCH AND TACKIFIER, STRAW MATTING, JUTE NETTING ETC.

APPLICANT:
FENIX PARTNERS BRUSH HILL, LLC
177 LAKE STREET
SHERBORN, MA 01770

OWNER:
FENIX PARTNERS BRUSH HILL, LLC
ref.
MIDDLESEX REGISTRY OF DEEDS
BOOK: 81892 PAGE: 265

PARCEL ID:
MAP 1, LOT 0, BLOCK 18

ISSUED FOR:
COMPREHENSIVE PERMIT APPLICATION



NO.	APP	DATE	DESCRIPTION
4	BEC	1/15/25	PER PEER REVIEW COMMENTS
3	BEC	12/23/24	REVISED SITE DESIGN
2	BEC	9/19/24	PER BOH REVIEW COMMENTS
1	BEC	6/26/24	DESIGN DEVELOPMENT

DATE: **JUNE 4, 2024**

SCALE: **1" = 30'**

DESIGN:	DRAFTED:	CHECKED:
KMR/BEC	KMR	BEC

PROJECT TITLE:

BRUSH HILL HOMES

34 BRUSH HILL ROAD
SHERBORN, MA 01770

SHEET TITLE:

EROSION & SEDIMENT CONTROL PLAN & DETAILS - 02

SHEET:
4 OF 16
PROJECT NO.:
F-25889

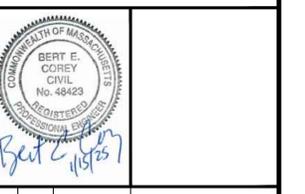
C-4

APPLICANT:
FENIX PARTNERS BRUSH HILL, LLC
177 LAKE STREET
SHERBORN, MA 01770

OWNER:
FENIX PARTNERS BRUSH HILL, LLC
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MIDDLESEX REGISTRY OF DEEDS
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PROJECT TITLE:

BRUSH HILL HOMES

**34 BRUSH HILL ROAD
SHERBORN, MA 01770**

SHEET TITLE:

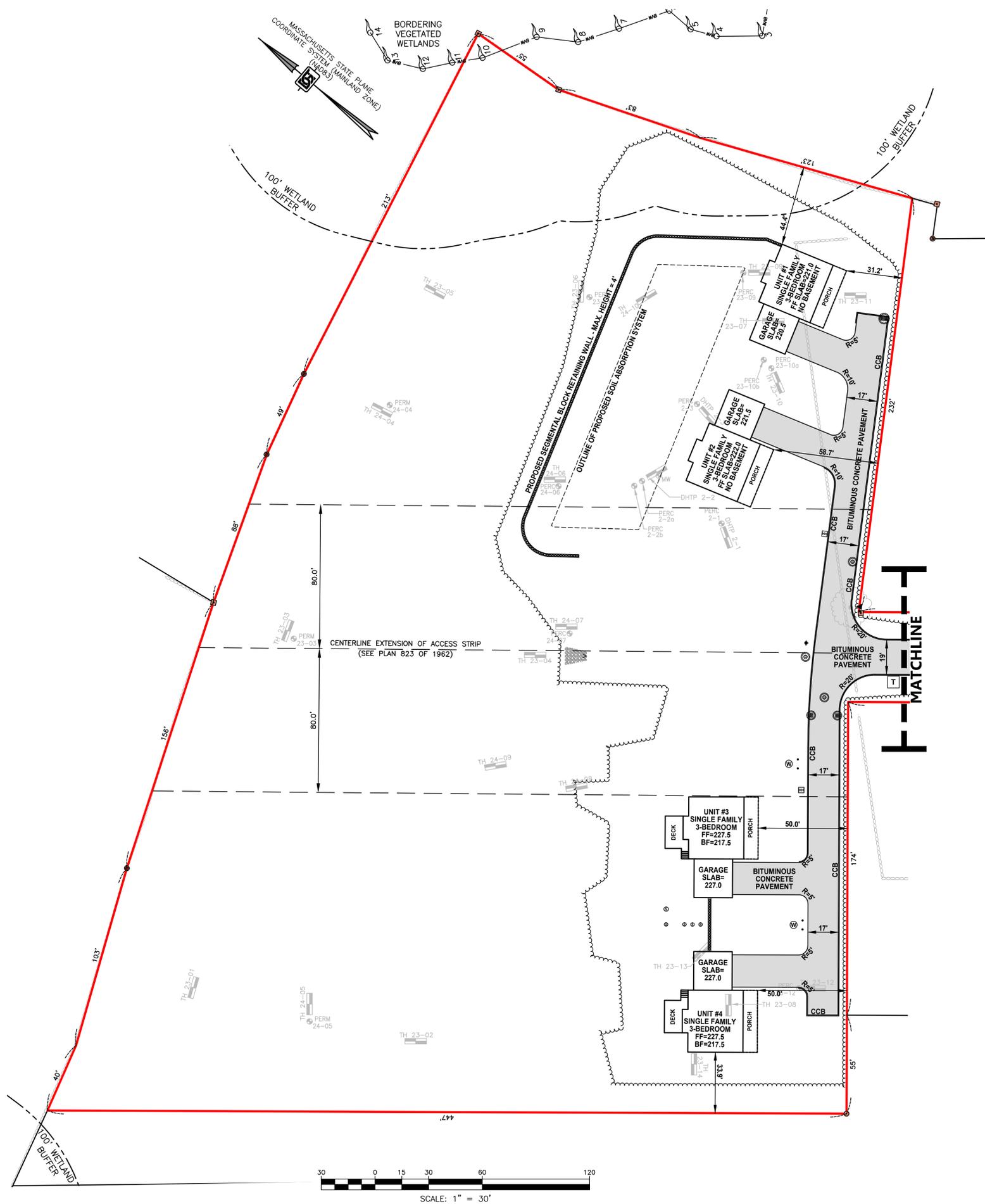
LAYOUT AND MATERIALS PLAN - 01

SHEET:
5 OF 16

PROJECT NO.:
F-25889

C-5

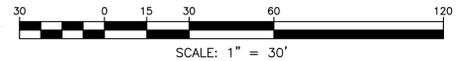
F:\F-25889\F-25889 Fenix_34_Brush_Hill_Rd_Sherborn_MA_L_Correspondence\Draw\2025-01-15 to Sherborn (Comp. Permit_R4 & BOH R2)\F-25889 Site Plan.dwg



PARKING DATA

EACH DWELLING HAS A TWO CAR GARAGE
EACH DWELLING HAS A DRIVEWAY CAPABLE OF PROVIDING 2 SPACES
EACH DWELLING HAS A TOTAL CAPACITY OF 4 PARKING SPACES

- LEGEND**
- PROPOSED DRAINAGE STRUCTURE
 - ⊕ PROPOSED DEEP SUMP CATCH BASIN
 - ⊖ PROPOSED AREA DRAIN
 - ⊙ PROPOSED SEWER MANHOLE
 - R=20' RADIUS = 20 FEET
 - CCB PROPOSED CAPE COD BERM
 - VGC PROPOSED VERTICAL GRANITE CURB
 - ∧ HDPE FLARED END SECTION
 - BITUMINOUS CONCRETE PAVEMENT



APPLICANT:
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 177 LAKE STREET
 SHERBORN, MA 01770

OWNER:
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PROJECT TITLE:

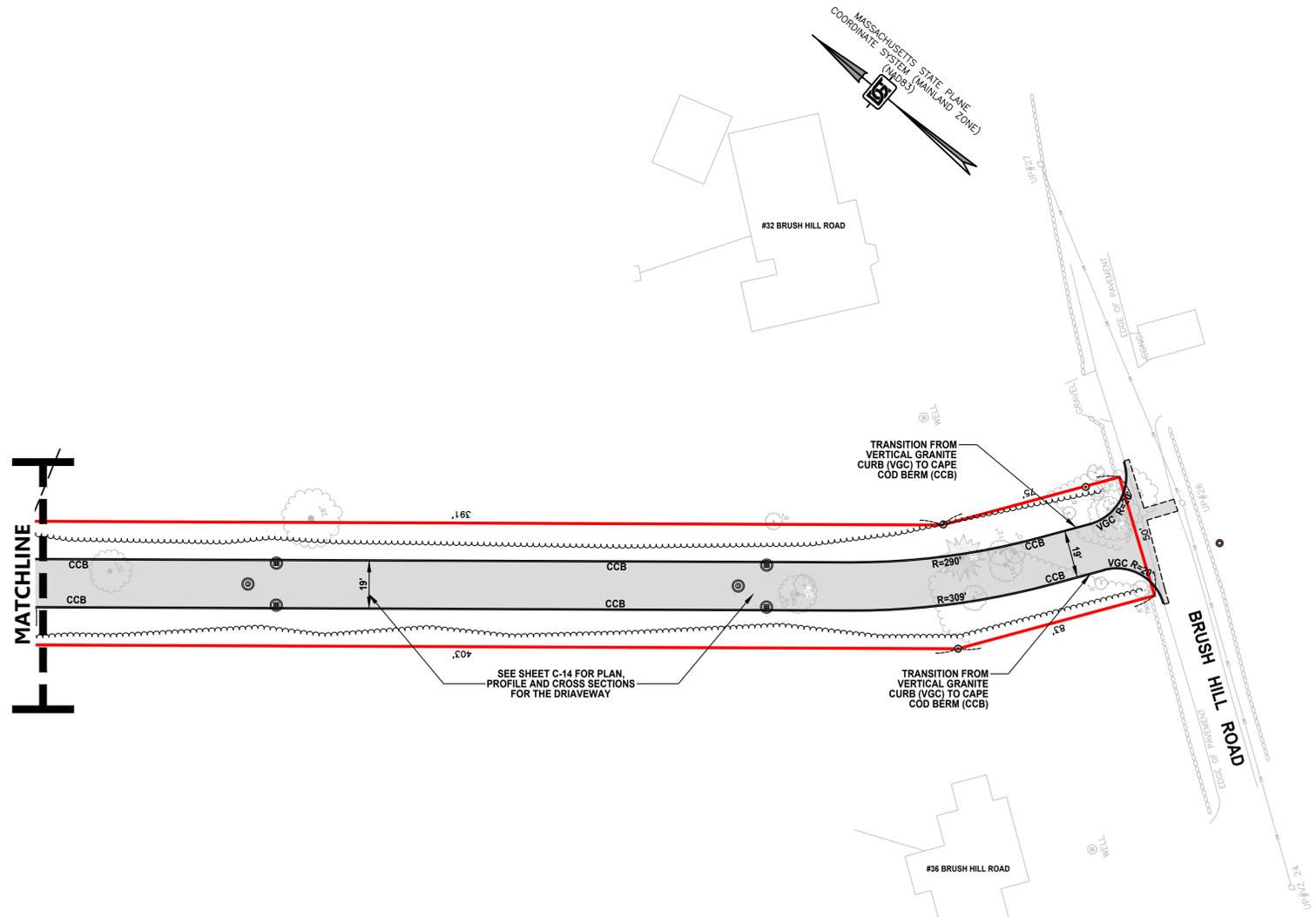
BRUSH HILL HOMES

34 BRUSH HILL ROAD
SHERBORN, MA 01770

SHEET TITLE:

LAYOUT AND MATERIALS PLAN - 02

SHEET: 6 OF 16	C-6
PROJECT NO.: F-25889	

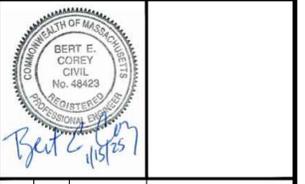


APPLICANT:
FENIX PARTNERS BRUSH HILL, LLC
177 LAKE STREET
SHERBORN, MA 01770

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ref.
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BOOK: 81892 PAGE: 265

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BRUSH HILL HOMES

**34 BRUSH HILL ROAD
SHERBORN, MA 01770**

SHEET TITLE:

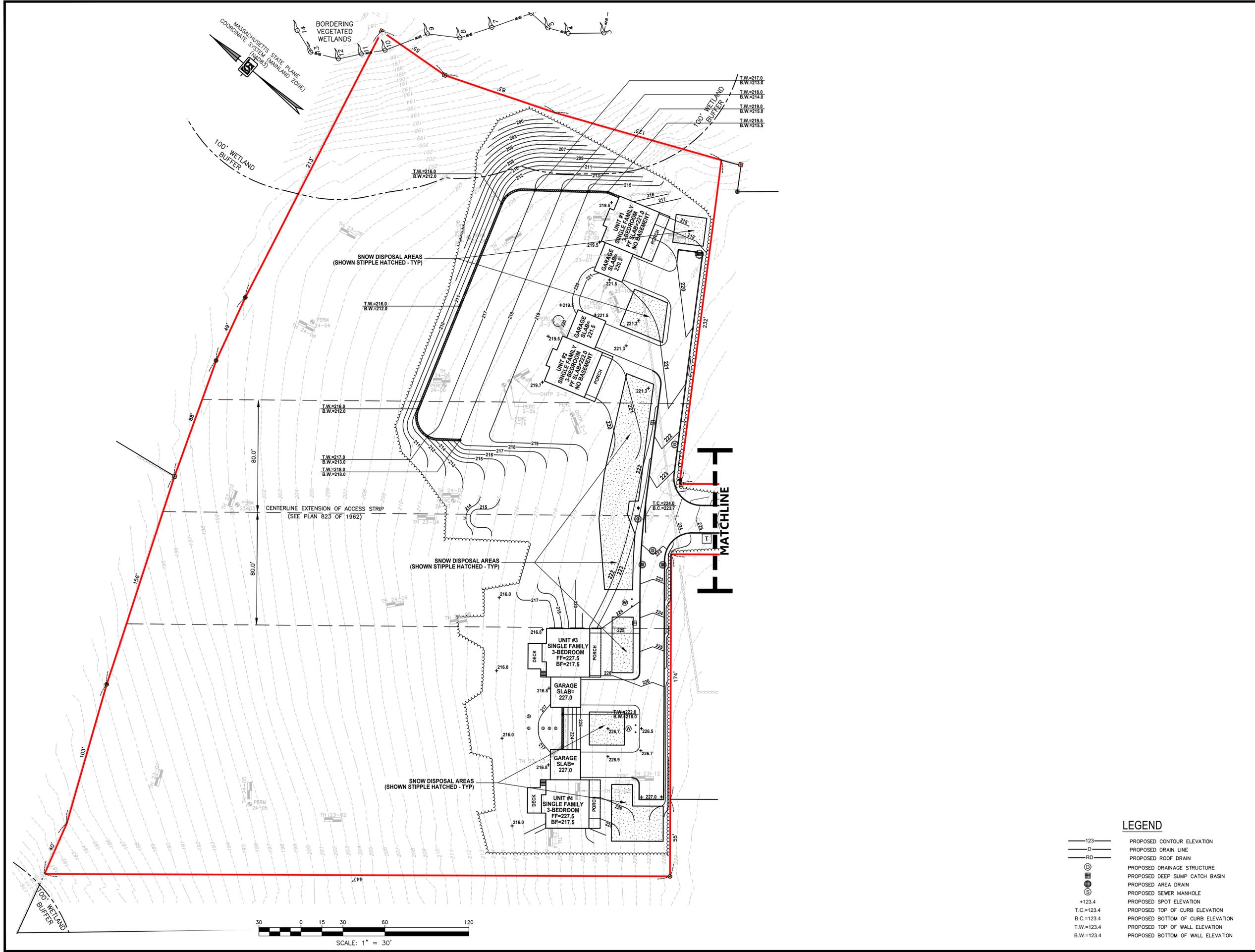
**SITE GRADING
PLAN - 01**

SHEET:
7 OF 16

PROJECT NO.:
F-25889

C-7

F:\25889\F-25889_Fenix_34_Brush_Hill_Rd_Sherborn_MA\Correspondence\Site\2025-01-15 to Sherborn (Comp. Permit_R4 & BOH R2)\F-25889_Site_Plan.dwg



APPLICANT:
FENIX PARTNERS BRUSH HILL, LLC
177 LAKE STREET
SHERBORN, MA 01770

OWNER:
FENIX PARTNERS BRUSH HILL, LLC
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MIDDLESEX REGISTRY OF DEEDS
BOOK: 81892 PAGE: 265

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BRUSH HILL HOMES

34 BRUSH HILL ROAD
SHERBORN, MA 01770

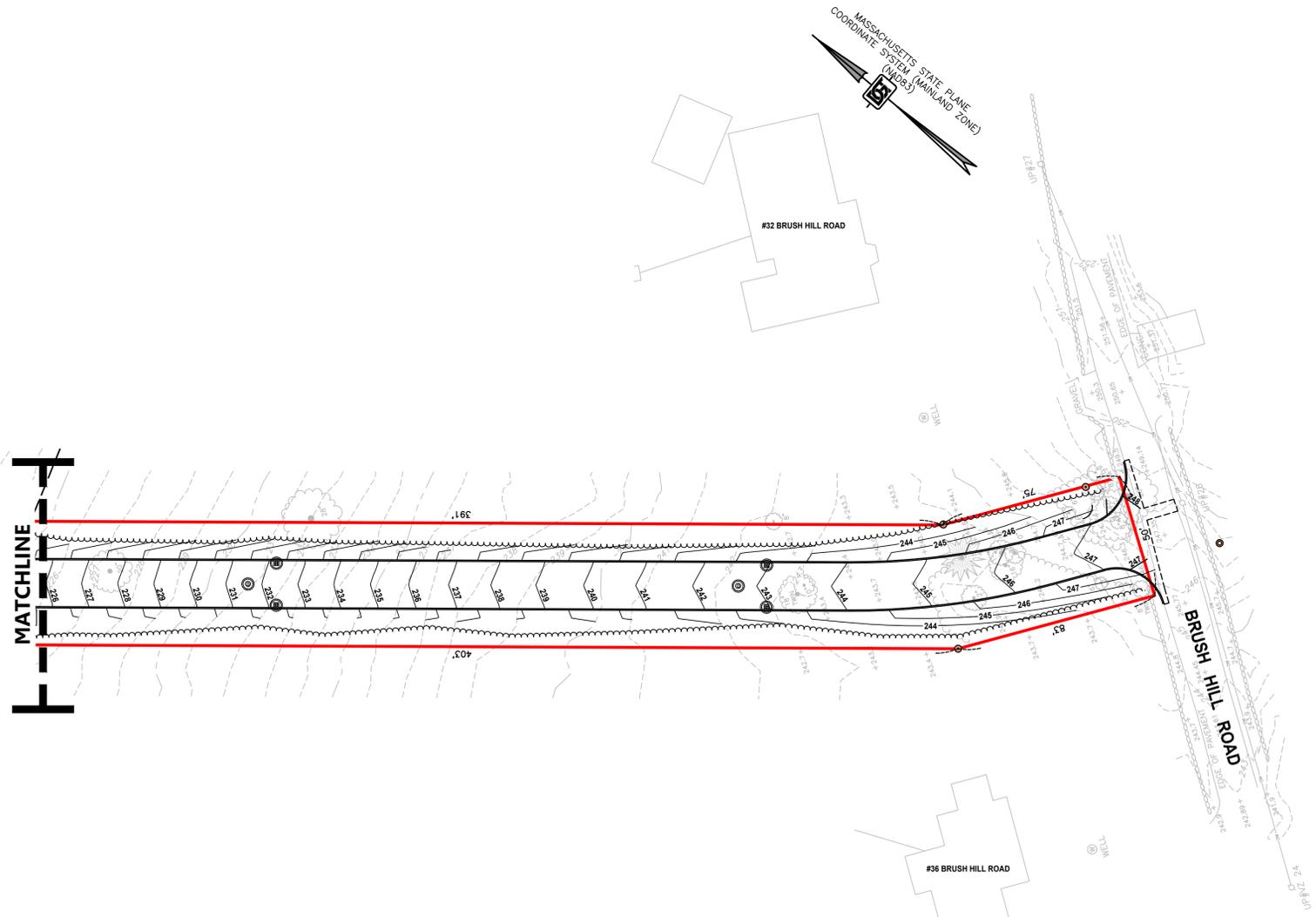
SHEET TITLE:

SITE GRADING PLAN - 02

SHEET: **8 OF 16**

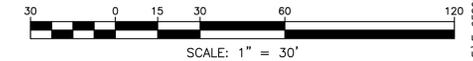
PROJECT NO.: **F-25889**

C-8



LEGEND

- 123— PROPOSED CONTOUR ELEVATION
- D- PROPOSED DRAIN LINE
- RD- PROPOSED ROOF DRAIN
- ⊕ PROPOSED DRAINAGE STRUCTURE
- ⊞ PROPOSED DEEP SUMP CATCH BASIN
- ⊞ PROPOSED AREA DRAIN
- ⊙ PROPOSED SEWER MANHOLE
- +123.4 PROPOSED SPOT ELEVATION
- T.C.=123.4 PROPOSED TOP OF CURB ELEVATION
- B.C.=123.4 PROPOSED BOTTOM OF CURB ELEVATION
- T.W.=123.4 PROPOSED TOP OF WALL ELEVATION
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F:\F-25889\F-25889 Fenix_34_Brush_Hill_Rd_Sherborn_MA_Correspondence\Draw\2025-01-15 to Sherborn (Comp. Permit_R4 & BOH R2)\F-25889 Site Plan.dwg

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BRUSH HILL HOMES

**34 BRUSH HILL ROAD
SHERBORN, MA 01770**

SHEET TITLE:

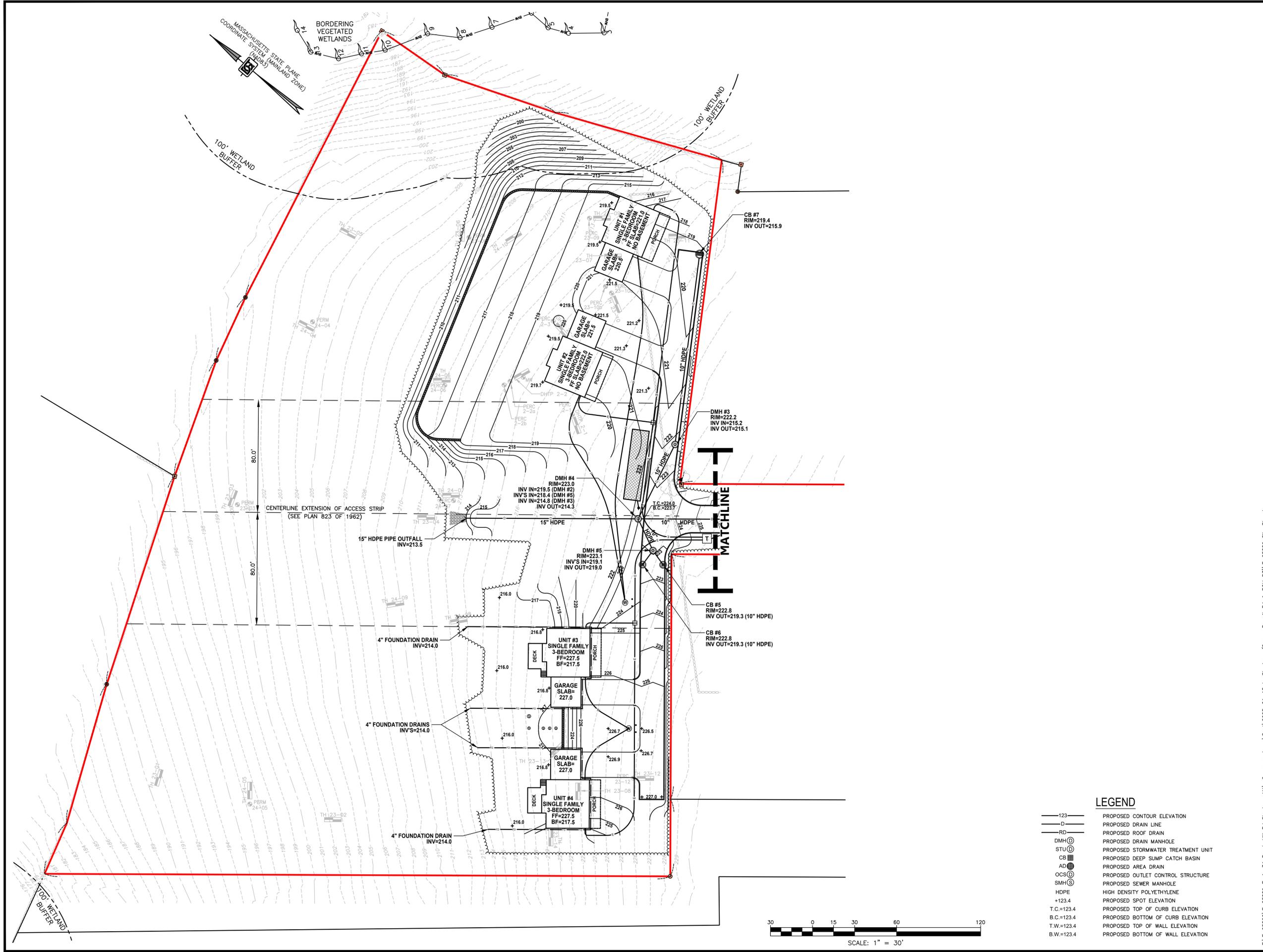
DRAINAGE PLAN - 01

SHEET:
9 OF 16

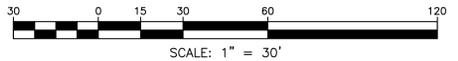
PROJECT NO.:
F-25889

C-9

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- LEGEND**
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 - RD- PROPOSED ROOF DRAIN
 - DMH(⊙) PROPOSED DRAIN MANHOLE
 - STU(⊙) PROPOSED STORMWATER TREATMENT UNIT
 - CB(■) PROPOSED DEEP SUMP CATCH BASIN
 - AD(■) PROPOSED AREA DRAIN
 - OCS(⊙) PROPOSED OUTLET CONTROL STRUCTURE
 - SMH(⊙) PROPOSED SEWER MANHOLE
 - HDPE PROPOSED HIGH DENSITY POLYETHYLENE
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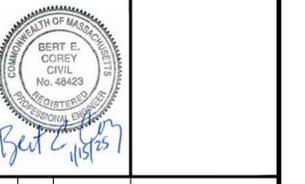


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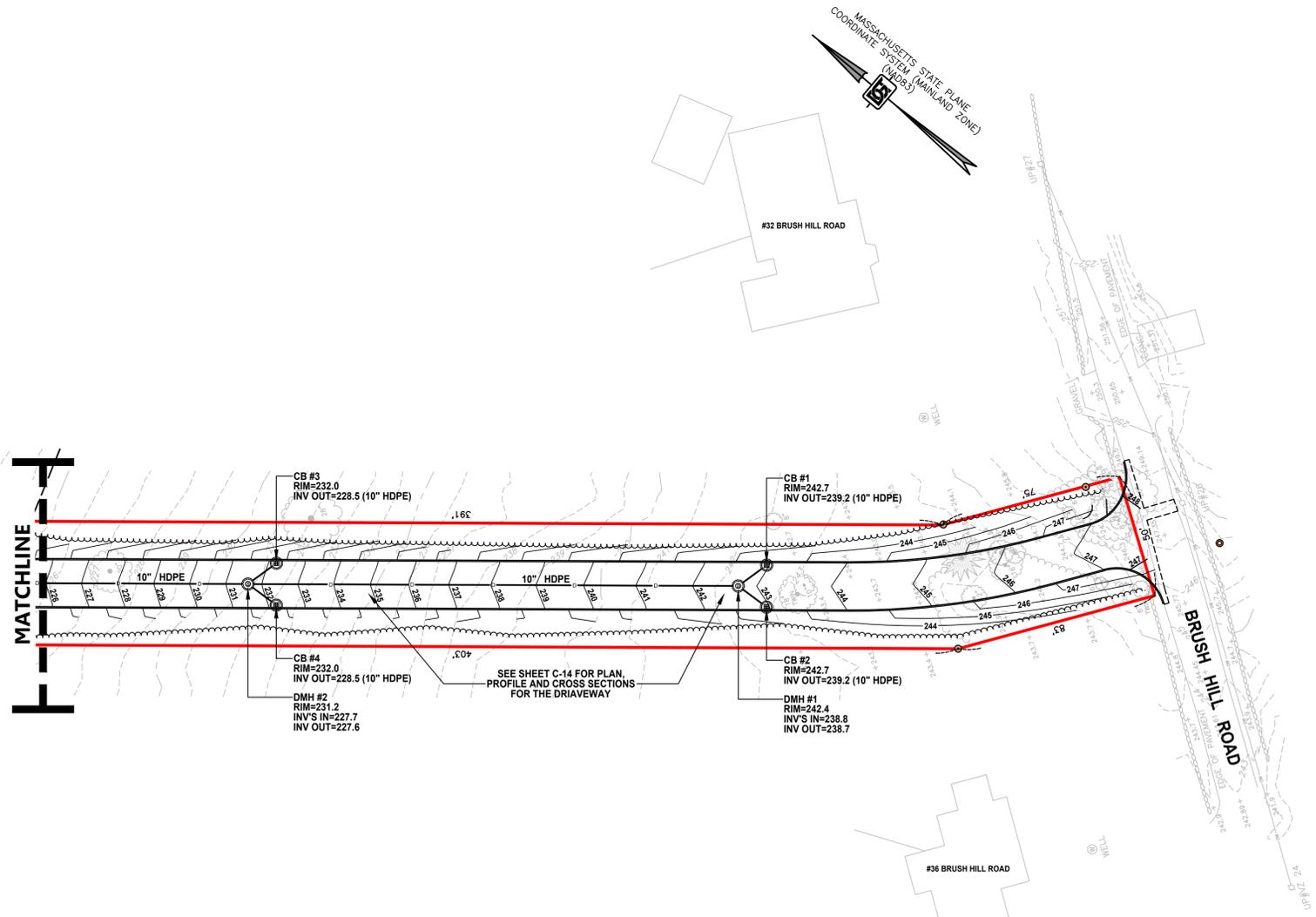
PROJECT TITLE:
BRUSH HILL HOMES
34 BRUSH HILL ROAD
SHERBORN, MA 01770

SHEET TITLE:
DRAINAGE PLAN - 02

SHEET:
10 OF 16
 PROJECT NO.:
F-25889

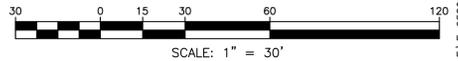
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LEGEND

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B.W.=123.4	PROPOSED BOTTOM OF WALL ELEVATION



SCALE: 1" = 30'

SCHEDULE OF ELEVATIONS

FIRST FLOOR ELEVATIONS	=	SEE PLAN
BUILDING SEWER INVERT AT FOUNDATIONS	=	SEE PLAN
SEPTIC TANK #1 INLET INVERT	=	219.25
SEPTIC TANK #1 OUTLET INVERT	=	219.00
SEPTIC TANK #2 INLET INVERT	=	214.25
SEPTIC TANK #2 OUTLET INVERT	=	214.00
PUMP CHAMBER INLET INVERT	=	213.90
PUMP CHAMBER OUTLET INVERT	=	213.70
DISTRIBUTION BOX INLET INVERT	=	218.70
DISTRIBUTION BOX OUTLET INVERT	=	218.50

DESIGN DATA

FLOW CALCULATIONS

1. BUILDING USE:	SINGLE FAMILY RESIDENTIAL DWELLINGS
2. DESIGN FLOW - TITLE 5:	110 GPD/BEDROOM
3. FOUR (4) 3-BEDROOM DWELLINGS:	1,320 GPD
4. TOTAL DAILY FLOW - TITLE 5:	1,320 GALLONS

SYSTEM REQUIREMENTS

1. DESIGN PERCOLATION RATE:	39 MINUTES PER INCH
2. SOIL CLASS:	CLASS III
3. LONG TERM ACCEPTANCE RATE (LTAR):	0.25 GAL/SF
4. GARBAGE GRINDER:	NO - DEED RESTRICTION REQUIRED
5. TOTAL AREA REQUIRED - TITLE 5:	5,280 SF
6. TOTAL AREA PROVIDED: (12 TRENCHES @ 73.5' LONG - BUTTERFLY FIELD)	5,292 SF

SEPTIC TANK #1 CALCULATIONS - UNIT #1 AND UNIT #2

VOLUME COMPARTMENT #1 (200% DAILY FLOW):	1,320 GALLONS
VOLUME COMPARTMENT #2 (100% DAILY FLOW):	660 GALLONS
MINIMUM REQUIRED SEPTIC TANK VOLUME:	1,980 GALLONS
PROVIDED SEPTIC TANK #1 (2 COMPARTMENT):	2,000 GALLONS

SEPTIC TANK #2 CALCULATIONS - UNIT #3 AND UNIT #4

VOLUME COMPARTMENT #1 (200% DAILY FLOW):	1,320 GALLONS
VOLUME COMPARTMENT #2 (100% DAILY FLOW):	660 GALLONS
MINIMUM REQUIRED SEPTIC TANK VOLUME:	1,980 GALLONS
PROVIDED SEPTIC TANK #2 (2 COMPARTMENT):	2,000 GALLONS

NITROGEN LOADING LIMITATIONS (310 CMR 15.214)
222,696 SF / 40,000 SF = 5.5674 ACRES
5.5674 ACRES x 440 GPD PER ACRE = 2,450 GPD
2,450 GPD > 1,320 GPD <- OKAY

PRIMARY TRENCH DESIGN DATA

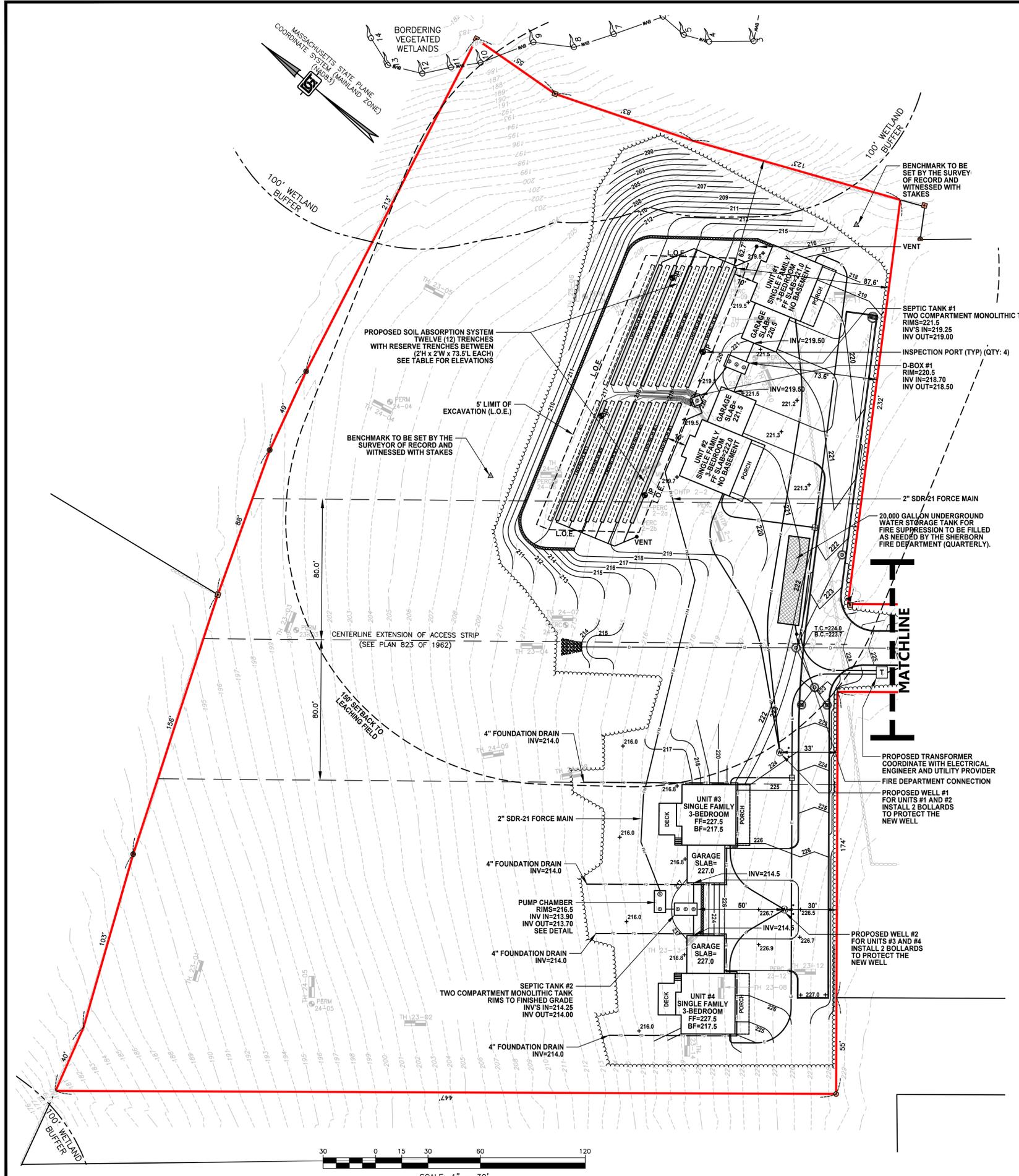
TRENCH NO.	1 & 2	3 & 4	5 & 6	7 & 8	9 & 10	11 & 12
BREAKOUT ELEVATION AT BEGINNING	218.80	218.30	217.80	217.30	216.80	216.30
BREAKOUT ELEVATION AT END	218.30	217.80	217.30	216.80	216.30	215.80
INVERT ELEVATION AT BEGINNING	218.30	217.80	217.30	216.80	216.30	215.80
INVERT ELEVATION AT END	217.90	217.40	216.90	216.40	215.90	215.40
BOTTOM OF STONE ELEVATION	215.90	215.40	214.90	214.40	213.90	213.40
DESIGN GROUNDWATER ELEVATION	211.83	211.40	210.81	210.21	209.62	209.09

RESERVE TRENCH DESIGN DATA

TRENCH NO.	1 & 2	3 & 4	5 & 6	7 & 8	9 & 10	11 & 12
BOTTOM OF STONE ELEVATION	215.65	215.15	214.65	214.15	213.65	213.15
DESIGN GROUNDWATER ELEVATION	211.65	211.10	210.51	209.91	209.32	208.72

GENERAL NOTES

- SEE SHEET C-2 FOR SETBACK DISTANCES TO ABUTTING WELLS AND LEACHING AREAS.
- SEE SUBSURFACE SEWAGE DISPOSAL PLANS BY DGT ASSOCIATES FOR ALL SEWAGE DISPOSAL SYSTEM PERFORMANCE STANDARDS, NOTES AND DETAILS FILED WITH THE SHERBORN BOARD OF HEALTH.



LEGEND

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APPLICANT:
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177 LAKE STREET
SHERBORN, MA 01770

OWNER:
FENIX PARTNERS BRUSH HILL, LLC
ref.
MIDDLESEX REGISTRY OF DEEDS
BOOK: 81892 PAGE: 265

PARCEL ID:
MAP 1, LOT 0, BLOCK 18

ISSUED FOR:
COMPREHENSIVE PERMIT APPLICATION

Professional Engineer Seal for Bert E. Corey, No. 48429, State of Massachusetts. Includes a signature.

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PROJECT TITLE:

BRUSH HILL HOMES

**34 BRUSH HILL ROAD
SHERBORN, MA 01770**

SHEET TITLE:

SITE UTILITIES PLAN - 01

SHEET:
11 OF 16
PROJECT NO.:
F-25889

C-11

APPLICANT:
FENIX PARTNERS BRUSH HILL, LLC
177 LAKE STREET
SHERBORN, MA 01770

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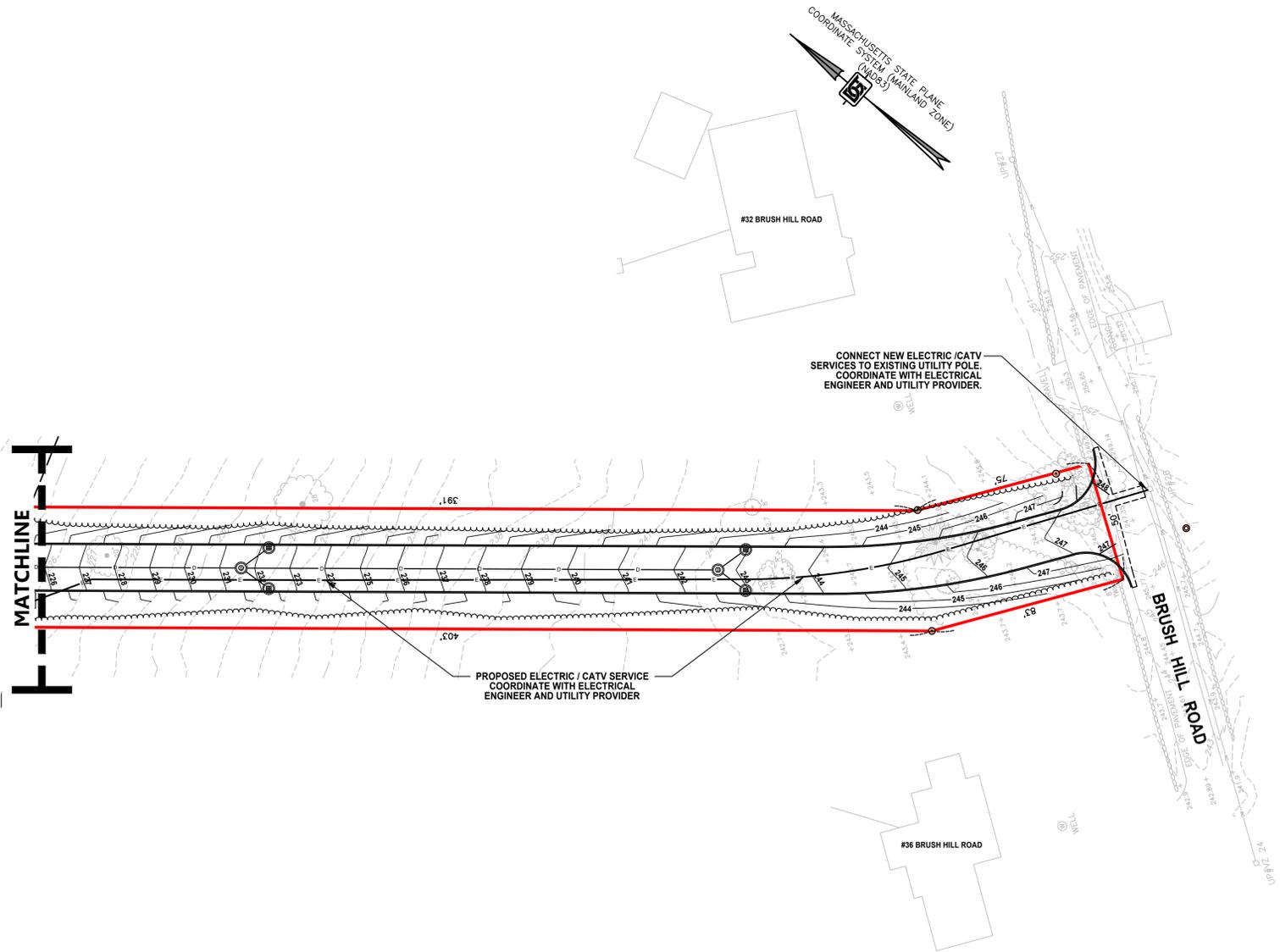
34 BRUSH HILL ROAD
SHERBORN, MA 01770

SHEET TITLE:

SITE UTILITIES PLAN - 02

SHEET:
12 OF 16
PROJECT NO.:
F-25889

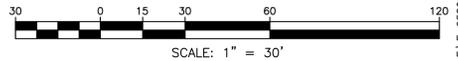
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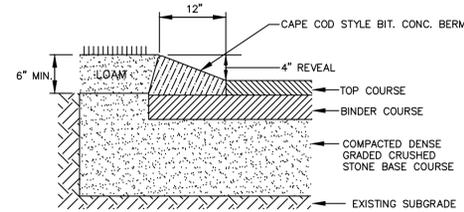
MATCHLINE

LEGEND

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- +123.4 PROPOSED SPOT ELEVATION
- T.C.=123.4 PROPOSED TOP OF CURB ELEVATION
- B.C.=123.4 PROPOSED BOTTOM OF CURB ELEVATION
- T.W.=123.4 PROPOSED TOP OF WALL ELEVATION
- B.W.=123.4 PROPOSED BOTTOM OF WALL ELEVATION

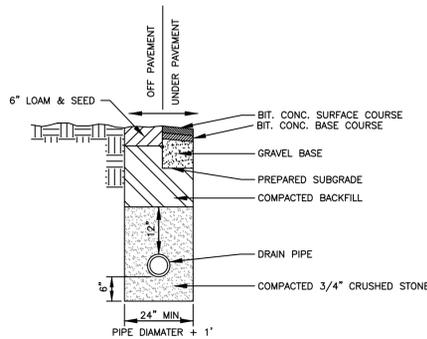


F:\F-25889\F-25889 Fenix_34_Brush_Hill_Rd_Sherborn_MA\Correspondence\Sheet\2025-01-15 to Sherborn (Comp. Permit_R4 & BOH R2)\F-25889 Site Plan.dwg



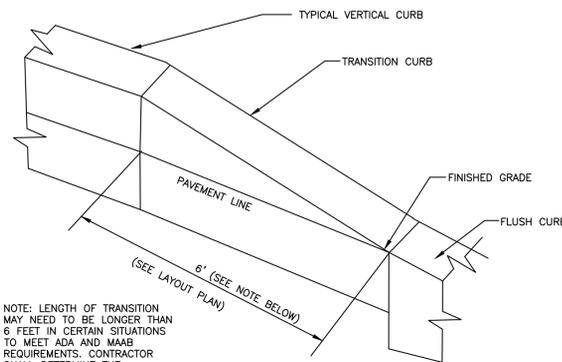
NOTES:
1. BITUMINOUS CONCRETE SHALL BE CLASS 1, TYPE 1-1.

CAPE COD BERM
(NO SCALE)



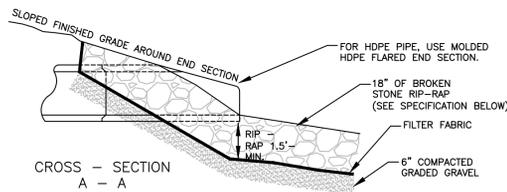
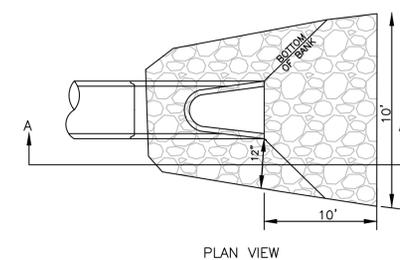
NOTES:
1. TRENCH BACKFILL SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS AS CONTAINED IN MASSACHUSETTS HIGHWAY DEPARTMENT STANDARDS AND SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, 1989.

TYPICAL DRAIN PIPE BEDDING
(NO SCALE)



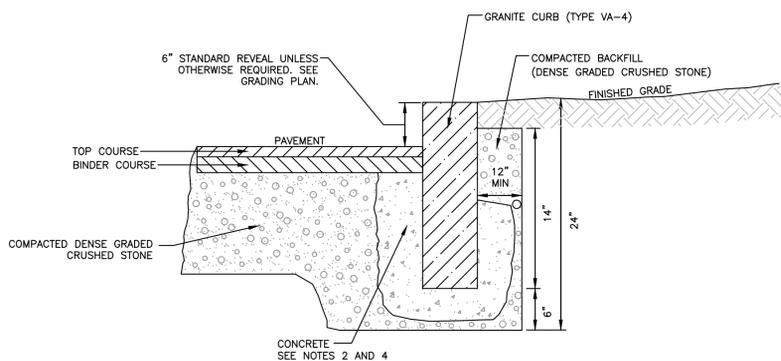
NOTE: LENGTH OF TRANSITION MAY NEED TO BE LONGER THAN 6 FEET IN CERTAIN SITUATIONS TO MEET ADA AND MAAB REQUIREMENTS. CONTRACTOR SHALL DETERMINE THE REQUIRED LENGTH TO MEET GRADES AS REQUIRED.

TRANSITIONAL CURB
(NO SCALE)



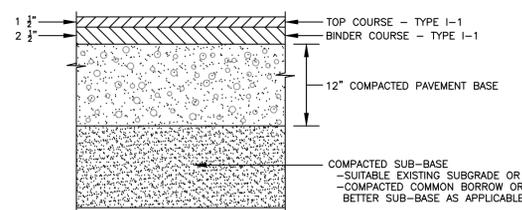
NOTES:
1. RIP-RAP SHALL CONSIST OF EVENLY GRADED 6" TO 12" ANGULAR BROKEN STONE, (AVG. STONE SIZE = 9") WITH A THICKNESS OF 18 INCHES. NOT MORE THAN 15 PERCENT OF THE STONE MAY BE SCATTERED SPALLS AND STONES LESS THAN 4" IN SIZE.
2. SIZE DESIGNATION REFERS TO MEAN SPHERICAL DIAMETER.
3. LENGTH OF RIP-RAP TO BE PER THIS DETAIL.

PIPE END SECTION WITH RIP-RAP APRON
(NO SCALE)



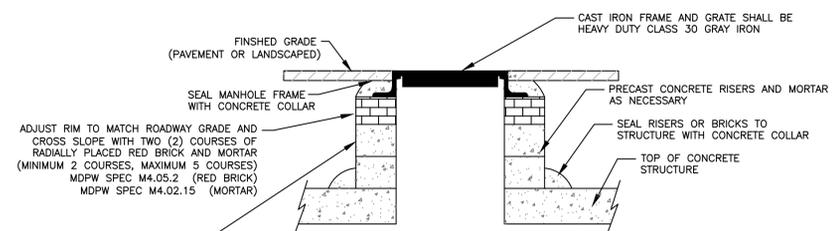
NOTES:
1. CURB INSTALLATION ALONG EXISTING ROAD PAVEMENT SHALL BE SAW CUT AND PATCHED WITH A 2" BITUMINOUS GRADE BINDER COURSE, AND TOPPED WITH A 1-1/2" WEAR COURSE OF TYPE 1. THE CUT JOINT SHALL BE THOROUGHLY SEALED WITH ASPHALT EMULSION AND SAND. TOP OF CURB SHALL BE 6" ABOVE GUTTER GRADE.
2. AT ALL LOCATIONS WHERE GRANITE CURBING IS PROPOSED, INCLUDING REPLACEMENT, THE CURB IS TO BE SET IN 6" THICK CONTINUOUS ZERO SLUMP CONCRETE.
3. GRANITE CURB INSTALLATION TO BE PER MHD SECTION 501 AND THE LATEST MUNICIPAL STANDARDS.
4. CONCRETE TO BE AIR ENTRAINED CLASS D CONFORMING TO MHD M4.02.00.
5. GROUTING OF CURB JOINTS TO BE NON-SHRINK GROUTING CONFORMING TO ASTM C-827.

GRANITE CURB
(NO SCALE)

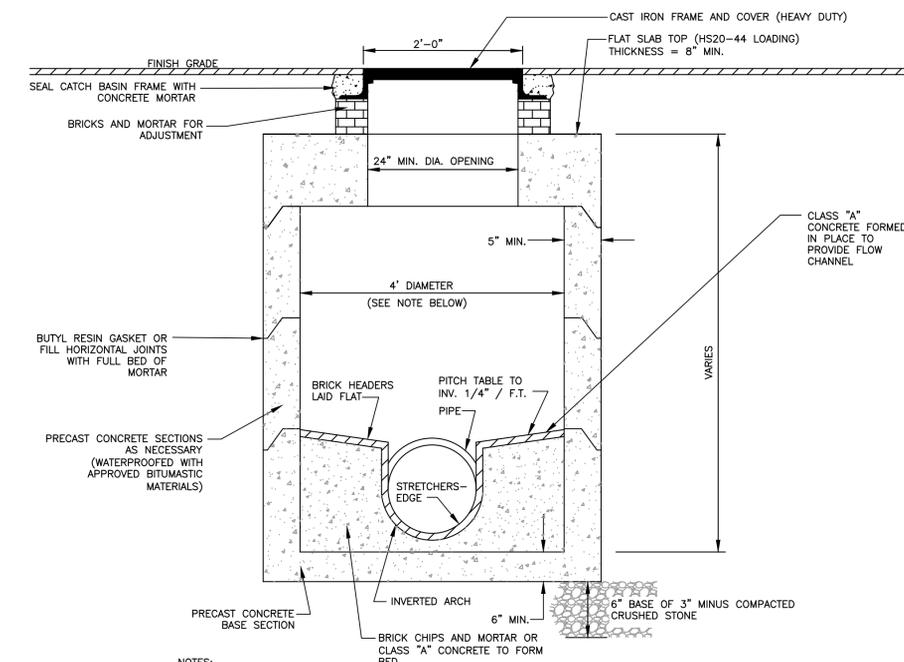


NOTES:
1. COMPACTED PAVEMENT BASE TO CONFORM TO MASS. HIGHWAY DEPT. SPEC. M. 2.01.7.
2. COMPACTED COMMON BORROW. NO STONES LARGER THAN 6 INCHES.
3. BITUMINOUS CONCRETE SHALL BE CLASS 1, TYPE 1-1.
4. AT AREAS OF LEDGE/BEDROCK, REMOVE LEDGE TO A DEPTH OF 18 INCHES MINIMUM BELOW PAVEMENT COURSE.
5. COMPACTED PAVEMENT BASE TO EXTEND 12 INCHES MINIMUM BEYOND THE EDGE OF PAVEMENT.

BITUMINOUS CONCRETE PAVEMENT
(NO SCALE)

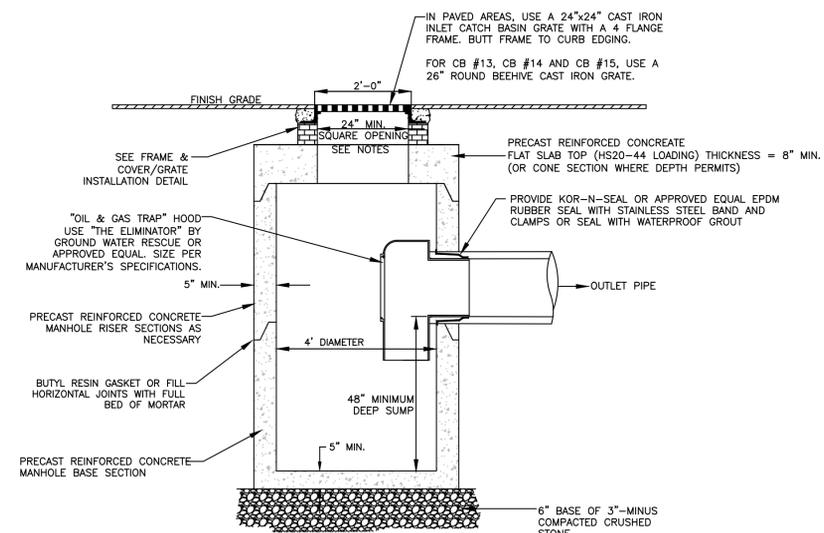


FRAME & COVER/GRATE INSTALLATION DETAIL
(NO SCALE)



NOTES:
1. USE 5 FT. DIAMETER (OR LARGER WHERE NECESSARY) WHEN TOTAL INSIDE DEPTH EXCEEDS 12 FT. OR WHERE PIPE ARRANGEMENT WILL DAMAGE THE INTEGRITY OF THE MANHOLE SECTIONS.
2. MANHOLE CONNECTION TO PIPE SHALL BE BY MEANS OF A FLEXIBLE RUBBER SLEEVE OR MORTAR. PROJECT PIPE 1"-3" INTO MANHOLE.

DRAIN MANHOLE DETAIL
(NO SCALE)



DEEP SUMP CATCH BASIN
(NO SCALE)

APPLICANT:
FENIX PARTNERS BRUSH HILL, LLC
177 LAKE STREET
SHERBORN, MA 01770

OWNER:
FENIX PARTNERS BRUSH HILL, LLC
ref.
MIDDLESEX REGISTRY OF DEEDS
BOOK: 81892 PAGE: 265

PARCEL ID:
MAP 1, LOT 0, BLOCK 18

ISSUED FOR:
COMPREHENSIVE PERMIT APPLICATION

Professional Engineer Seal for Bert E. Corey, No. 48429, State of Massachusetts.

NO.	APP	DATE	DESCRIPTION
4	BEC	1/15/25	PER PEER REVIEW COMMENTS
3	BEC	12/23/24	REVISED SITE DESIGN
2	BEC	9/19/24	PER BOH REVIEW COMMENTS
1	BEC	6/26/24	DESIGN DEVELOPMENT

DATE: **JUNE 4, 2024**

SCALE: **AS NOTED**

DESIGN:	DRAFTED:	CHECKED:
KMR/BEC	KMR	BEC

PROJECT TITLE:

BRUSH HILL HOMES

**34 BRUSH HILL ROAD
SHERBORN, MA 01770**

SHEET TITLE:

SITE DETAILS - 01

SHEET:
13 OF 16
PROJECT NO.:
F-25889

C-13

APPLICANT:
FENIX PARTNERS BRUSH HILL, LLC
177 LAKE STREET
SHERBORN, MA 01770

OWNER:
FENIX PARTNERS BRUSH HILL, LLC
ref.
MIDDLESEX REGISTRY OF DEEDS
BOOK: 81892 PAGE: 265

PARCEL ID:
MAP 1, LOT 0, BLOCK 18

ISSUED FOR:
COMPREHENSIVE PERMIT APPLICATION



NO.	APP	DATE	DESCRIPTION
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DATE: **JUNE 4, 2024**

SCALE: **AS NOTED**

DESIGN:	DRAFTED:	CHECKED:
KMR/BEC	KMR	BEC

PROJECT TITLE:

BRUSH HILL HOMES

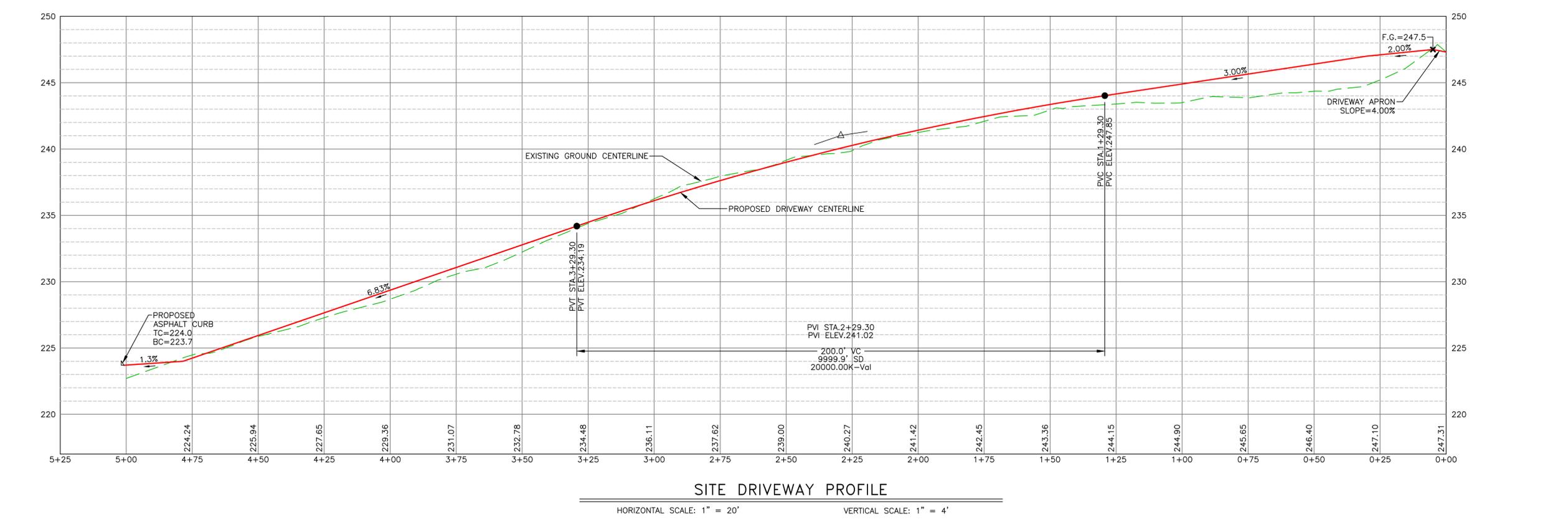
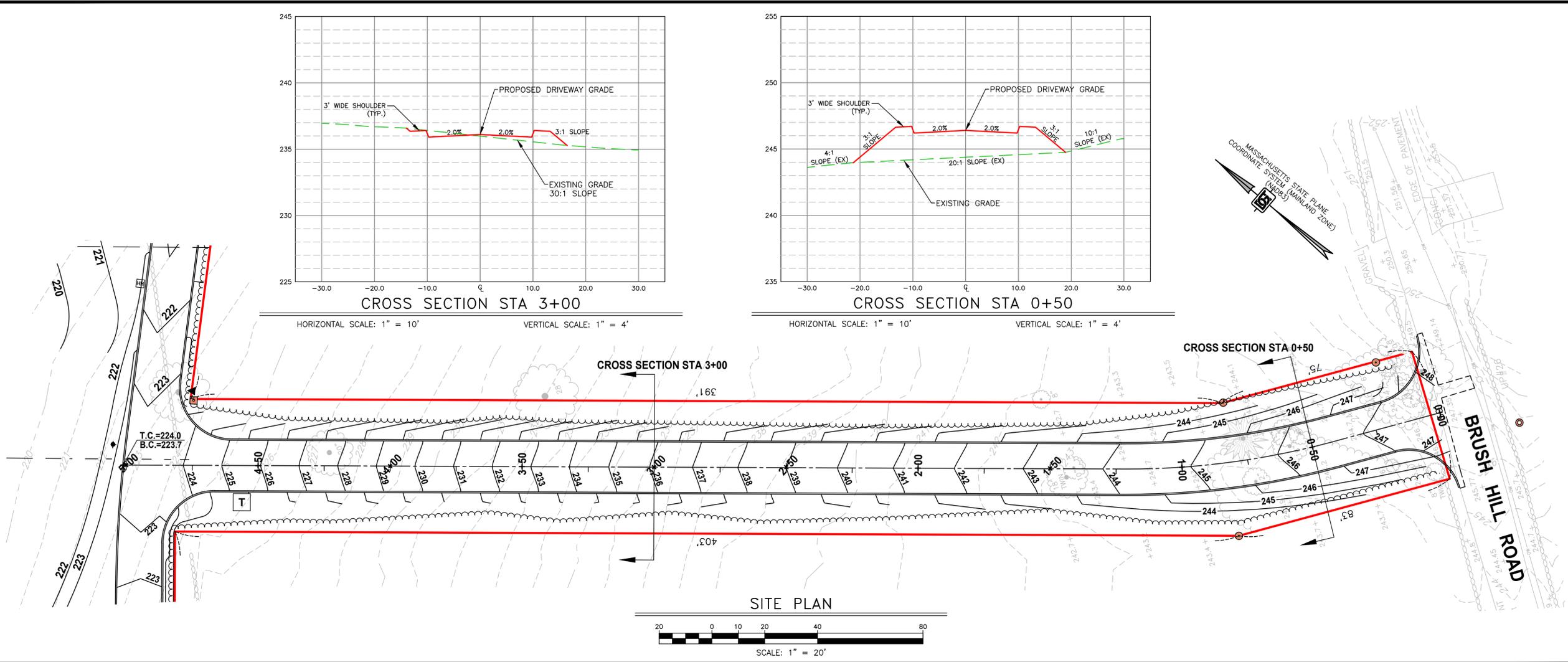
34 BRUSH HILL ROAD
SHERBORN, MA 01770

SHEET TITLE:

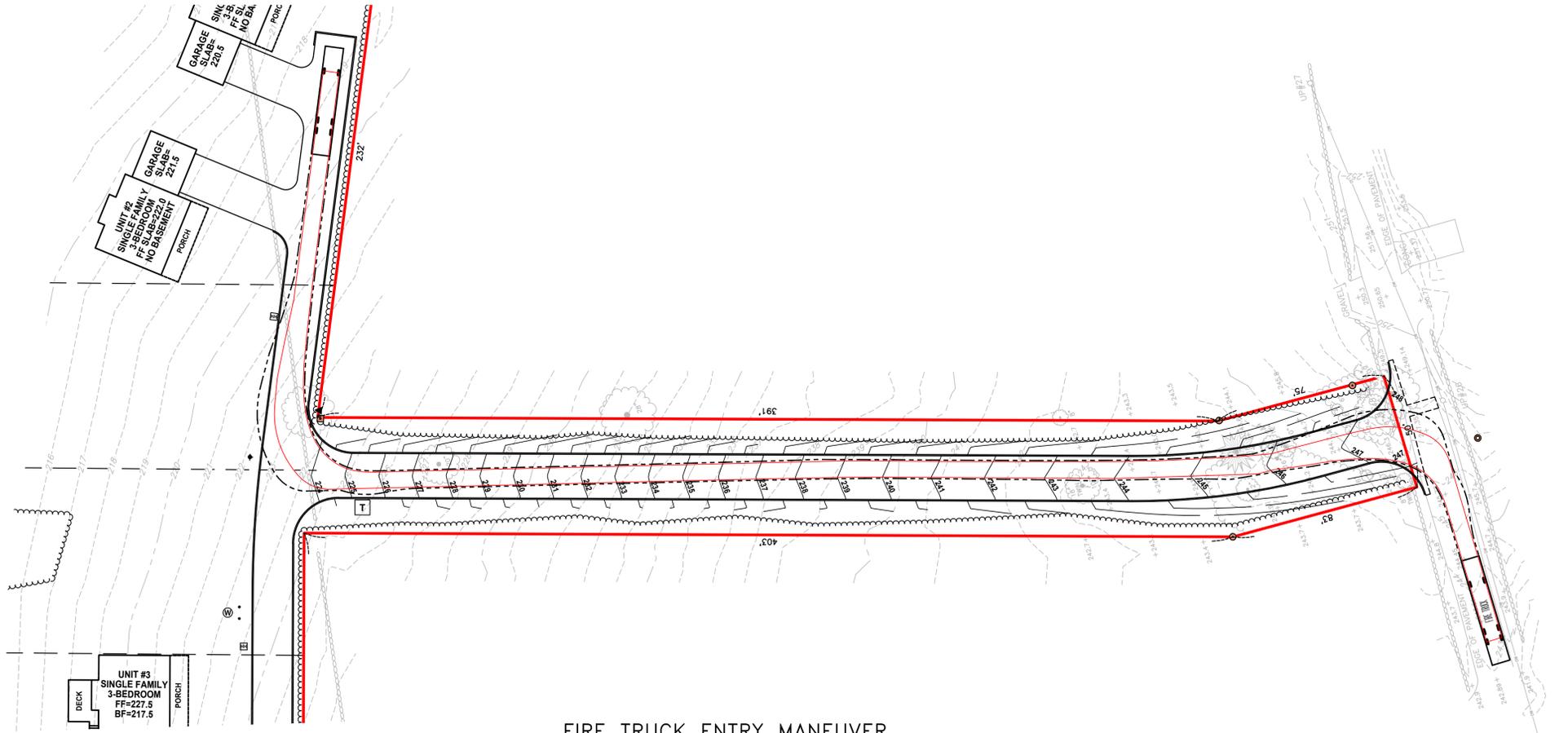
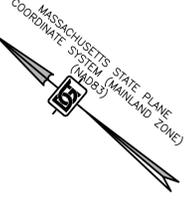
SITE DRIVEWAY PLAN & PROFILE

SHEET:	C-14
14 OF 16	
PROJECT NO.:	
F-25889	

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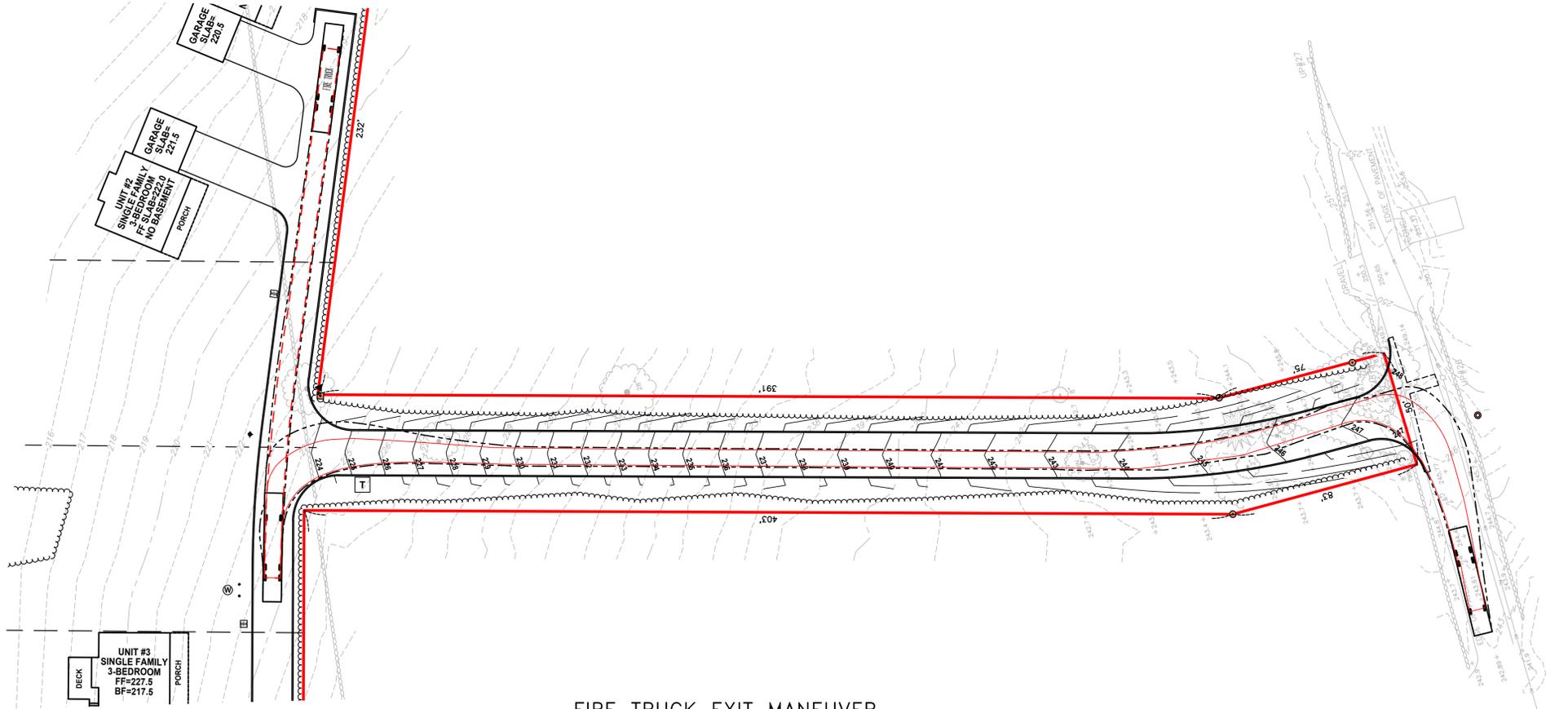


SITE DRIVEWAY PROFILE
HORIZONTAL SCALE: 1" = 20' VERTICAL SCALE: 1" = 4'



FIRE TRUCK ENTRY MANEUVER

SCALE: 1" = 20'



FIRE TRUCK EXIT MANEUVER

SCALE: 1" = 20'

APPLICANT:
FENIX PARTNERS BRUSH HILL, LLC
177 LAKE STREET
SHERBORN, MA 01770

OWNER:
FENIX PARTNERS BRUSH HILL, LLC
ref.
MIDDLESEX REGISTRY OF DEEDS
BOOK: 81892 PAGE: 265

PARCEL ID:
MAP 1, LOT 0, BLOCK 18

ISSUED FOR:
COMPREHENSIVE PERMIT APPLICATION



F:\F-25889\F-25889 Fenix_34_Brush_Hill_Rd_Sherborn_Ma\Correspondence\Draw\2025-01-15 to Sherborn (Comp. Permit_R4 & BOH_R2)\F-25889 Site Plan.dwg

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1	BEC	6/26/24	DESIGN DEVELOPMENT

DATE: **JUNE 4, 2024**

SCALE: **1" = 30'**

DESIGN:	DRAFTED:	CHECKED:
KMR/BEC	KMR	BEC

PROJECT TITLE:

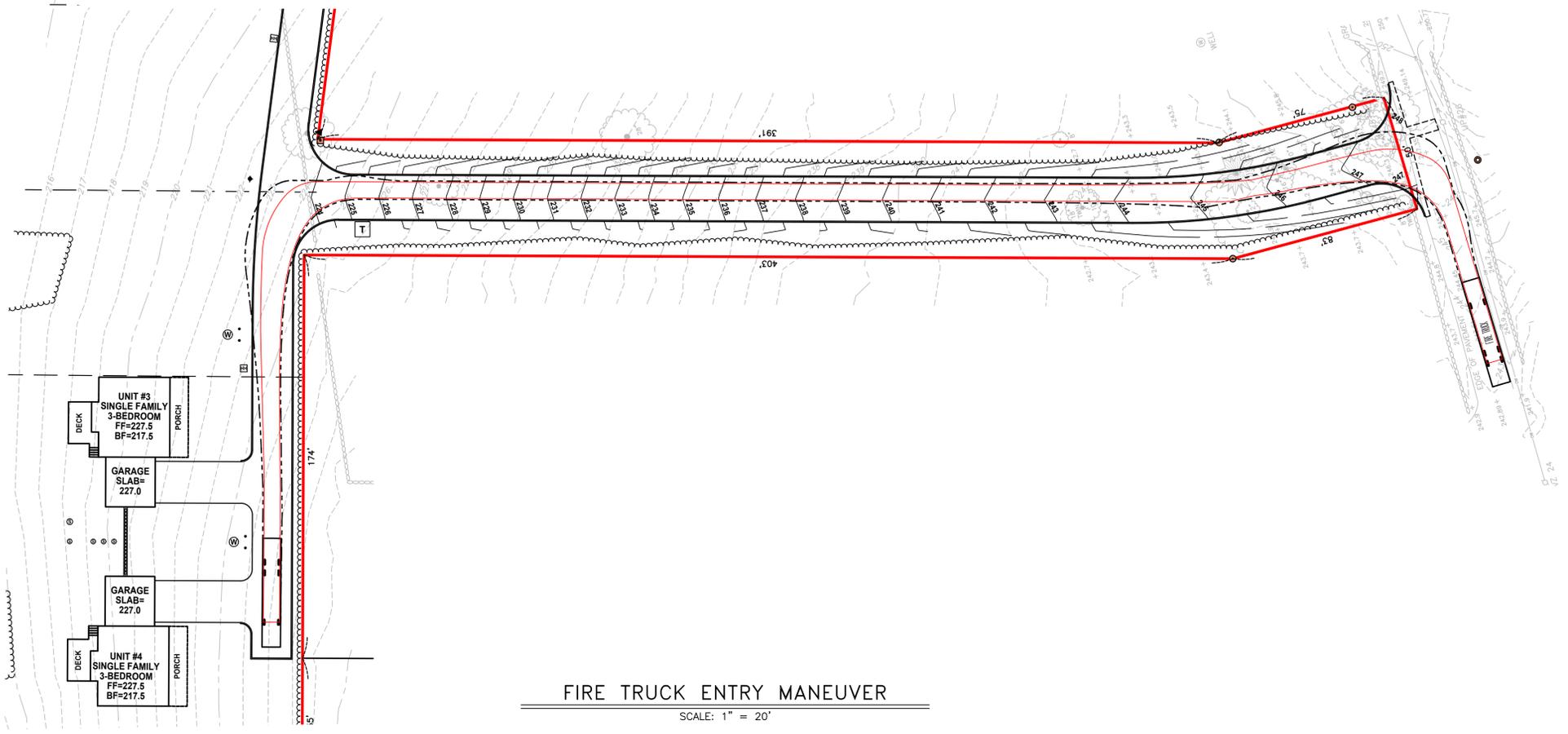
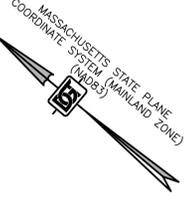
BRUSH HILL HOMES

**34 BRUSH HILL ROAD
SHERBORN, MA 01770**

SHEET TITLE:

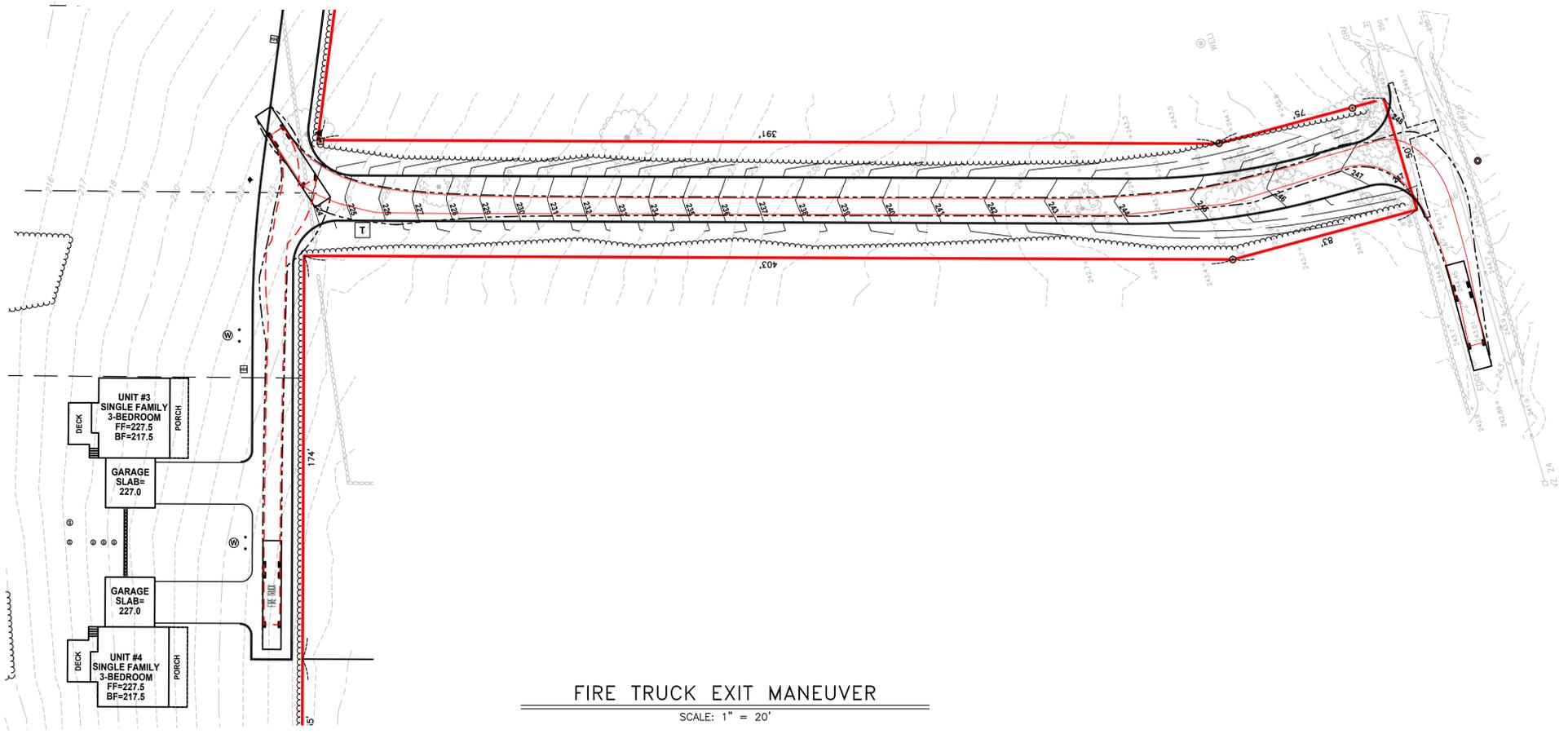
**FIRE TRUCK
MANEUVER PLAN
UNITS #1 & #2**

SHEET: 15 OF 16	C-15
PROJECT NO.: F-25889	



FIRE TRUCK ENTRY MANEUVER

SCALE: 1" = 20'



FIRE TRUCK EXIT MANEUVER

SCALE: 1" = 20'

APPLICANT:
FENIX PARTNERS BRUSH HILL, LLC
177 LAKE STREET
SHERBORN, MA 01770

OWNER:
FENIX PARTNERS BRUSH HILL, LLC
ref.
MIDDLESEX REGISTRY OF DEEDS
BOOK: 81892 PAGE: 265

PARCEL ID:
MAP 1, LOT 0, BLOCK 18

ISSUED FOR:
COMPREHENSIVE PERMIT APPLICATION



NO.	APP	DATE	DESCRIPTION
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1	BEC	6/26/24	DESIGN DEVELOPMENT

DATE: **JUNE 4, 2024**

SCALE: **1" = 30'**

DESIGN:	DRAFTED:	CHECKED:
KMR/BEC	KMR	BEC

PROJECT TITLE:

BRUSH HILL HOMES

**34 BRUSH HILL ROAD
SHERBORN, MA 01770**

SHEET TITLE:

**FIRE TRUCK
MANEUVER PLAN
UNITS #3 & #4**

SHEET: 16 OF 16	C-16
PROJECT NO.: F-25889	

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