

PERMIT SITE PLAN

for

WASHINGTON STREET SHERBORN HOMES, LLC

at

Lot 3 - Washington Street in Sherborn, MA

GENERAL NOTES

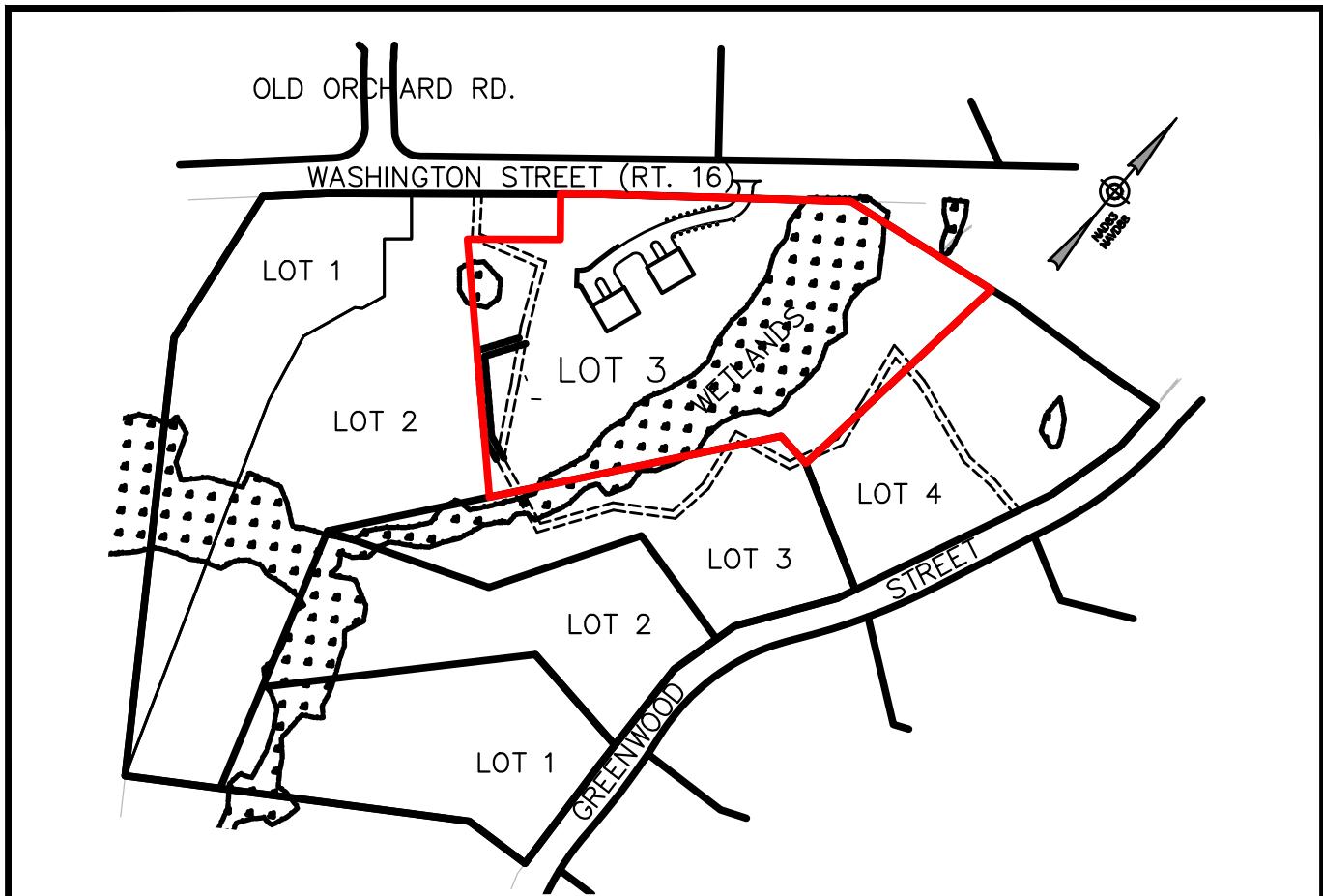
- ELEVATIONS SHOWN HEREON REFER TO NAVD88.
- PROPERTY LINE AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS FROM A PLAN ENTITLED "PLAN OF LAND" BY SAMIOTES CONSULTANTS, INC. AS REVISED THROUGH 01/2024.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND RELATIVE ELEVATION OF BENCHMARKS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION. ANY DISCREPANCY SHALL BE REPORTED TO THE ENGINEER.
- ALL SITE CONSTRUCTION SHALL COMPLY WITH THE TOWN OF SHERBORN DEPARTMENT OF PUBLIC WORKS.
- IN CASES WHERE LEDGE, BURIED FOUNDATIONS OR BOULDERS ARE PRESENT, DGT ASSOCIATES SHALL NOT BE RESPONSIBLE FOR THE AMOUNT OF ROCK OR CONCRETE ENCOUNTERED.
- DGT ASSOCIATES SHALL BE NOTIFIED OF ANY SIGNIFICANT DIFFERENCES IN THE EXISTING CONDITIONS OR UTILITIES THAT MAY AFFECT THE CONSTRUCTION SHOWN ON THIS PLAN FOR ANY NECESSARY PLAN REVISIONS.
- THIS PLAN IS NOT INTENDED TO SHOW AN ENGINEERED BUILDING FOUNDATION DESIGN WHICH WOULD INCLUDE DETAILS AND ELEVATIONS FOR FOOTINGS, FOUNDATION WALL DESIGN AND ANY SUBSURFACE DRAINAGE TO PREVENT FLOODING. COORDINATE WITH THE ARCHITECTURAL AND STRUCTURAL PLANS.
- THE PROPOSED BUILDING CONFIGURATION AS SHOWN HEREON SHALL BE CONSIDERED CONCEPTUAL AND SHALL BE VERIFIED WITH THE FINAL ARCHITECTURAL PLANS AND THE CURRENT ZONING ORDINANCES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND/OR REPLACEMENT OF ANY EXISTING FEATURES DAMAGED DURING CONSTRUCTION THAT ARE NOT INTENDED FOR DEMOLITION AND/OR REMOVAL HEREON.
- SAFETY MEASURES, CONSTRUCTION METHODS AND CONTROL OF WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

GRADING AND UTILITY PLAN NOTES

- LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY. ALL UTILITIES, OBSTRUCTIONS AND/OR SYSTEMS MAY NOT BE SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR FOR LOCATING AND PROTECTING ALL EXISTING UNDERGROUND UTILITIES AND/OR SYSTEMS WHETHER OR NOT SHOWN HEREON.
- UNLESS OTHERWISE SHOWN HEREON, ALL NEW UTILITIES SHALL BE UNDERGROUND.
- RIM ELEVATIONS SHOWN HEREON FOR NEW STRUCTURES ARE PROVIDED TO ASSIST THE CONTRACTOR WITH MATERIAL TAKEOFFS. FINAL RIM ELEVATIONS SHALL MATCH PAVEMENT, GRADING, LANDSCAPING, UNLESS SPECIFICALLY INDICATED OTHERWISE.
- WHERE CONNECTIONS AND STRUCTURES ARE TO BE INSTALLED AT EXISTING UTILITIES, THE CONTRACTOR SHALL CONFIRM THE LOCATION AND ELEVATION PRIOR TO INSTALLATION AND SHALL REPORT ANY SIGNIFICANT DISCREPANCY FROM THE PLAN INFORMATION TO THE ENGINEER.
- CURB RADII AND DIMENSIONS SHOWN HEREON ARE AT THE FACE OF CURB.
- WHERE NEW PAVING MEETS EXISTING PAVING, MEET LINE AND GRADE OF EXISTING.
- AT LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN AND SMOOTH EDGE.
- PERIMETER EROSION CONTROLS SHOWN HEREON SHALL BE INSTALLED PRIOR TO ANY EARTH DISTURBANCE AND SHALL SERVE AS A LIMIT OF WORK, UNLESS OTHERWISE SHOWN.
- THE CONTRACTOR SHALL PROVIDE DUST CONTROL FOR CONSTRUCTION OPERATIONS AS APPROVED BY THE ENGINEER.
- ALL POINTS OF CONSTRUCTION EGRESS OR INGRESS SHALL BE MAINTAINED TO PREVENT THE TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADS.

REGULATORY NOTES

- THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES AND COMPILED INFORMATION FROM PLANS PROVIDED BY UTILITY COMPANIES AND GOVERNMENT AGENCIES. THE LOCATION SHOWN HEREON SHALL BE CONSIDERED APPROXIMATE. BEFORE ANY CONSTRUCTION, DEMOLITION OR SITE WORK, THE LOCATION OF ALL UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR BY CONTACTING "DIG-SAFE" AT 811.
- THE CONTRACTOR SHALL MAKE HIMSELF AWARE OF ALL CONSTRUCTION REQUIREMENTS, CONDITIONS AND LIMITATIONS IMPOSED BY PERMITS AND APPROVALS ISSUED BY REGULATORY AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY WORK. CONTRACTOR SHALL COORDINATE AND OBTAIN ALL CONSTRUCTION PERMITS REQUIRED BY REGULATORY AUTHORITIES.
- ALL WORK OUTSIDE OF THE BUILDING THAT IS LESS THAN 10 FEET FROM THE INSIDE FACE OF THE BUILDING FOUNDATIONS SHALL CONFORM WITH THE UNIFORM STATE PLUMBING CODE OF MASSACHUSETTS, 248 CMR.
- CONSTRUCTION ACTIVITIES SHALL CONFORM TO THE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA).



SITE LOCUS MAP

1" = 250'

SHEET INDEX

C-1	TITLE SHEET
C-2	OVERALL SITE PLAN
C-3	EROSION & SEDIMENT CONTROL PLAN
C-4	EROSION & SEDIMENT CONTROL NOTES & DETAILS
C-5	LAYOUT AND MATERIALS PLAN
C-6	SITE GRADING AND DRAINAGE PLAN
C-7	SITE UTILITIES PLAN
C-8	SITE DETAILS - 01
C-9	SITE DETAILS - 02

EX-1 PLAN OF LAND BY SAMIOTES CONSULTANTS, INC. AS REVISED THROUGH 01/18/2024

CUT & FILL ANALYSIS

TOTAL SITE CUT: 300 CY
TOTAL SITE FILL: 3,200 CY
NET SITE FILL: 2,900 CY

Table 1. Summary of Project Site Conditions

General Site Conditions	Land Condition	Land Breakdown	Acres	Square Feet	Coverage (%)
	Total Area	4.6250	201,463	100.0%	
Usable Land	Upland	3.3607	146,393	72.7%	
Unusable Land	Wetlands	1.2642	55,070	37.6%	
Existing Conditions	Disturbed	Total	0.0000	0	0.0%
	Building	0.0000	0	0	0.0%
	Pavement	0.0000	0	0	0.0%
	Sidewalk	0.0000	0	0	0.0%
	Pervious	Lawn (usable open space)	0.0000	0	0.0%
Undisturbed	Total	4.6250	201,463	100.0%	
	Usable Open Space	Upland Woods	3.3607	146,393	72.7%
	Unusable Open Space	Wetlands	1.2642	55,070	27.3%
	Total Usable Open Space	Upland Woods	3.3607	146,393	72.7%
Proposed Conditions	Disturbed	Total	1.1872	51,713	25.7%
	Building	0.0918	4,000	2.0%	
	Pavement	0.1602	6,979	3.5%	
	Sidewalk	0.0000	0	0.0%	
	Pervious	Lawn (usable open space)	0.9351	40,734	20.2%
Undisturbed	Total	3.4378	149,750	74.3%	
	Usable Open Space	Upland Woods	2.1736	94,680	47.0%
	Unusable Open Space	Wetlands	1.2642	55,070	27.3%
	Total Usable Open Space	Lawn / Woods	3.1087	135,414	67.2%

Table 2. Summary of Proposed Buildings (Two Duplex Buildings)

Units	4
Bedrooms per Unit	3
Total Bedroom Count	12

Table 3. Zoning Summary Table (Sherborn Residential B District)

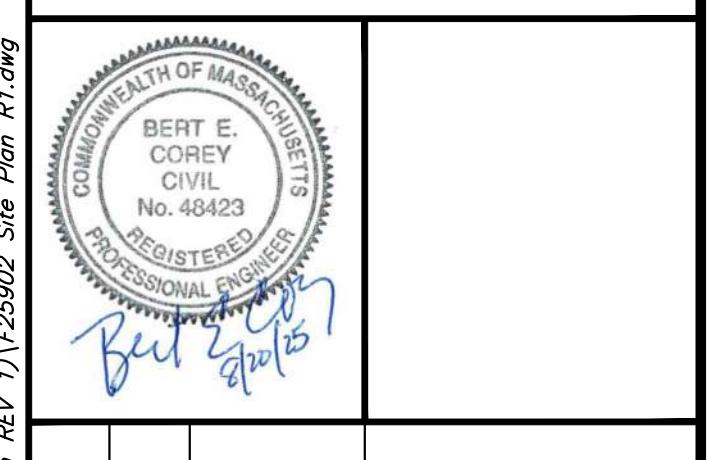
Item	Required	Proposed Conditions	Waiver Required
Minimum Lot Area	2 acres	4.6250 acres	No
Minimum Frontage	200 feet	391 feet	No
Minimum Lot Width	200 feet	391 feet	No
Minimum Lot Depth	N/A	N/A	N/A
Minimum Front Setback	60 feet	70.3 feet	No
Minimum Side Setback	40 feet	99.0 feet	No
Minimum Rear Setback	30 feet	185.7 feet	No
Maximum Height (stories)	2.5 stories	< 2.5 stories	No
Maximum Height (feet)	35 feet	< 35 feet	No
Maximum Lot Coverage	N/A	N/A	N/A
Lot Coverage			
Building	2.0%		
Parking / Paved Areas	3.5%		
Usable Open Space	67.2%		
Unusable Open Space (wetlands)	27.3%		
Lot Coverage	5.5%		

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OWNER/APPLICANT:
WASHINGTON STREET
SHERBORN HOMES, LLC
ROBERT MURCHISON
177 LAKE STREET
SHERBORN, MA 01770

PARCEL ID:
MAP 7, LOT 0, BLOCK 49

ISSUED FOR:
COMPREHENSIVE
PERMIT APPLICATION



1 BEC 8/20/25 PEER REVIEW COMMENTS
NO. APP DATE DESCRIPTION

DATE: JUNE 5, 2025

SCALE: 1" = 30'

DESIGN: BEC/KMR DRAFTED: BEC/KMR CHECKED: BEC

PROJECT TITLE:

LOT 3
WASHINGTON
STREET

0 WASHINGTON STREET
SHERBORN, MASSACHUSETTS 01770

SHEET TITLE:

TITLE SHEET

SHEET:
1 OF 9
PROJECT NO.:
F-25902
C-1

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BERNARD E. COREY, C.E.T.
PROFESSIONAL ENGINEER, S.R.E.
REGISTERED
No. 48423

*Bernard E. Corey
Sp/2025*

1 BEC 8/20/25 PEER REVIEW COMMENTS
NO. APP DATE DESCRIPTION

DATE: JUNE 5, 2025

SCALE: 1" = 50'

DESIGN: BEC/KMR DRAFTED: BEC/KMR CHECKED: BEC

PROJECT TITLE:

LOT 3 WASHINGTON STREET

0 WASHINGTON STREET
SHERBORN, MASSACHUSETTS 01770

SHEET TITLE:

OVERALL SITE PLAN

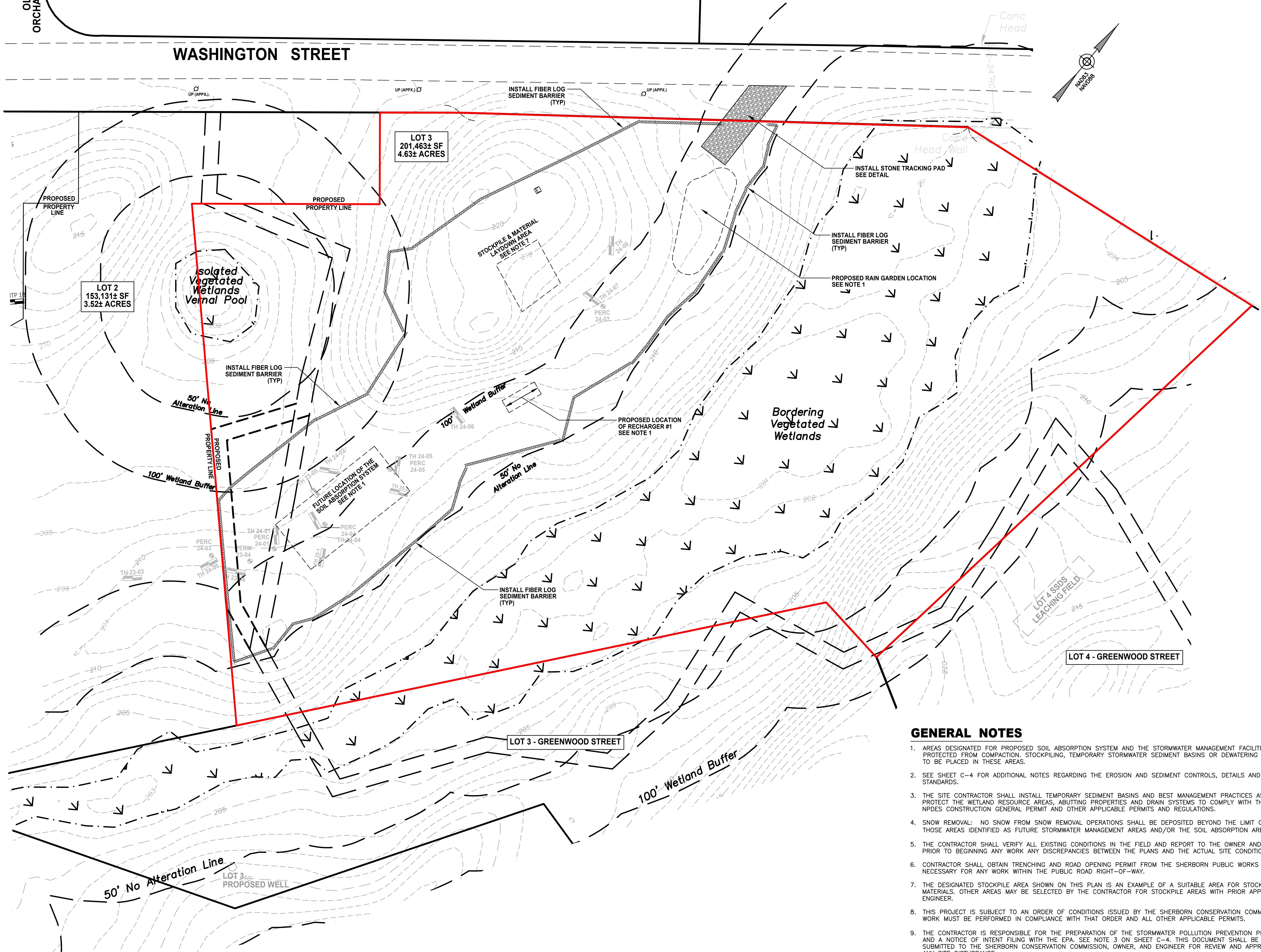
SHEET:
2 OF 9

PROJECT NO.:
F-25902

C-2

F-25902 (F-25902 Murchison Washington St. Sherborn) Correspondence | Sheet 1 of 20 | 2025-06-20 to Client (Lot 3 Corp. Permit Plan REV 1) F-25902 Site Plan REV 1.dwg

WASHINGTON STREET


 OWNER/APPLICANT:
WASHINGTON STREET
SHERBORN HOMES, LLC
ROBERT MURCHISON
177 LAKE STREET
SHERBORN, MA 01770

 PARCEL ID:
MAP 7, LOT 0, BLOCK 49

 ISSUED FOR:
COMPREHENSIVE
PERMIT APPLICATION

 Bert E. Corey
Civil
No. 48423
REGISTERED
PROFESSIONAL ENGINEER

 1 BEC 8/20/25 PEER REVIEW COMMENTS
NO. APP DATE DESCRIPTION

DATE: JUNE 5, 2025

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 DESIGN: BEC/KMR DRAFTED: BEC/KMR CHECKED: BEC
PROJECT TITLE:

LOT 3 WASHINGTON STREET

 0 WASHINGTON STREET
SHERBORN, MASSACHUSETTS 01770
SHEET TITLE:

EROSION AND SEDIMENT CONTROL PLAN

 SHEET:
3 OF 9
PROJECT NO.: F-25902
C-3
SCALE: 1" = 30'
F-25902 | Correspondence | Sheet 1 of 20 | 06-20 to Client | Lot 3 Cont. Permit Plan REV 1 | F-25902 Site Plan Rev 1.dwg

EROSION AND SEDIMENT CONTROL NOTES

1. CONSTRUCTION PERIOD EROSION AND SEDIMENT CONTROL

1.1 THE PURPOSE OF THE CONSTRUCTION PERIOD EROSION AND SEDIMENT CONTROL PLAN IS TO MINIMIZE THE INTRODUCTION OF SEDIMENTS ONTO PUBLIC RIGHT OF WAYS, ABUTTING PROPERTIES, WETLAND RESOURCE AREAS AND TO POST-DEVELOPMENT STORMWATER BMP'S RESULTING FROM THE LAND DISTURBANCE ACTIVITIES DURING CONSTRUCTION.

1.2 INSPECTIONS SHALL BE CONDUCTED BY THE GENERAL CONTRACTOR ON A BI-WEEKLY BASIS (EVERY TWO WEEKS), FOLLOWING A SIGNIFICANT STORM EVENT (RATE OF 1 INCH OR MORE). THE CONTRACTOR SHALL CONDUCT EROSION AND SEDIMENT CONTROL PRACTICES IMPLEMENTED AT THE SITE. THE PURPOSE OF THE INSPECTION IS TO EVALUATE THE EFFECTIVENESS OF THE CONTROLS AND ANY REQUIRED MAINTENANCE ACTIVITIES. IF AN EROSION/SEDIMENTATION CONTROL MEASURE IS FOUND TO BE INADEQUATE FOR PROPERLY CONTROLLING SEDIMENT, AN ADEQUATE MEASURE SHALL BE DESIGNED AND IMPLEMENTED. A COPY OF THE WRITTEN INSPECTION SHALL BE KEPT ON FILE AT THE CONSTRUCTION SITE.

1.3 DURING CONSTRUCTION, PROPOSED STORMWATER MANAGEMENT STRUCTURES SHALL BE PROTECTED FROM SEDIMENT. ALL PROPOSED NEW STORMWATER MANAGEMENT STRUCTURES THAT INFILTRATE RUNOFF ARE PARTICULARLY SENSITIVE TO DAMAGE BY SEDIMENT. INFILTRATION TECHNOLOGIES ARE NOT DESIGNED TO HANDLE THE HIGH CONCENTRATIONS OF SEDIMENTS TYPICALLY FOUND IN CONSTRUCTION RUNOFF, AND MUST BE PROTECTED FROM CONSTRUCTION RELATED SEDIMENT LOADINGS. SITE RUNOFF FROM UNSTABILIZED AREAS SHALL NOT BE DISCHARGED INTO THE PROPOSED INFILTRATION SYSTEM (RECHARGER #1, TRENCH DRAIN OR RAIN GARDEN UNTIL THE TRIBUTARY DRAINAGE AREA IS STABILIZED). THE RUNOFF IS TO BE DIVERTED FROM THE PROPOSED STORMWATER MANAGEMENT STRUCTURE. THE CONTRACTOR SHALL PROVIDE TEMPORARY BY-PASS SYSTEMS AS NECESSARY TO PREVENT CONSTRUCTION SITE RUNOFF FROM ENTERING THE RAIN GARDEN OR RECHARGER #1. THE STORMWATER BMP'S SHALL REMAIN OFF-LINE AND PROTECTED. CLEAN ROOF RUNOFF MAY DISCHARGE INTO THE STORMWATER BMP'S IF IT IS PIPED DIRECTLY TO THE SYSTEMS AND NOT DIRECTED OVER DISTURBED AREAS.

1.4 NO STOCKPILING IS ALLOWED WITHIN THE FOOTPRINT OF THE PROPOSED STORMWATER BMP'S OR THE FOOTPRINT OF THE PROPOSED SOIL ABSORPTION FIELD. CONTRACTOR IS TO LOCATE THE PROPOSED AREAS FOR THESE SYSTEMS PRIOR TO THE START OF CONSTRUCTION.

1.5 NO PARKING IS ALLOWED OVER THE STORMWATER BMP'S OR THE FOOTPRINT OF THE PROPOSED SOIL ABSORPTION SYSTEM AT ANYTIME DURING THE CONSTRUCTION PROCESS.

2. GENERAL PERFORMANCE STANDARDS:

2.1 THE CONTRACTOR SHALL INSTALL, ROUTINELY INSPECT AND MAINTAIN ALL SEDIMENT AND EROSION CONTROLS SUCH THAT THEY ARE IN PROPER WORKING ORDER AT ALL TIMES DURING THE CONSTRUCTION PROJECT UNTIL SUCH TIME AS ALL AREAS OF THE SITE TRIBUTARY TO THOSE EROSION CONTROLS ARE IN A PERMANENTLY STABILIZED CONDITION.

2.2 THE CONTRACTOR SHALL MANAGE THE SITE SUCH THAT EROSION AND SEDIMENT FROM RUNOFF AND WIND BLOWN DUST ARE CONTROLLED AND MINIMIZED AT ALL TIMES. THE EROSION CONTROLS SHOWN ON THIS PLAN INCLUDE THE INITIAL SETUP OF EROSION CONTROLS AND BASIC INFORMATION TO MEET THE REQUIREMENT OF BEST MANAGEMENT PRACTICES. THE CONTRACTOR MUST MANAGE THE SITE PROPERLY WHICH INCLUDES, BUT IS NOT LIMITED TO: STABILIZING AREAS OF EXPOSED SOILS; INSTALLING TEMPORARY COVER; MAKING NECESSARY ADJUSTMENTS TO THE EROSION CONTROL INSTALLATIONS TO IMPROVE FUNCTION; PROVIDE TEMPORARY SEDIMENT BASINS; INSTALL ADDITIONAL EROSION CONTROL WHERE NECESSARY.

2.3 THE EROSION CONTROL WORK SHOWN ON THIS PLAN ARE ALSO SUBJECT TO OTHER APPROVALS. THE CONTRACTOR SHALL OBTAIN AND BE RESPONSIBLE FOR COMPLIANCE WITH THE CONDITIONS AND REQUIREMENTS OF THOSE PERMITS.

2.4 DESIGN, INSTALLATION AND MAINTENANCE OF SEDIMENT AND EROSION CONTROLS SHALL BE IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES FOLLOWING THE GUIDELINES INCLUDE IN THE FOLLOWING:

- "STORMWATER MANAGEMENT FOR CONSTRUCTION ACTIVITIES, DEVELOPING POLLUTION PREVENTION PLANS AND BEST MANAGEMENT PRACTICES" U.S. ENVIRONMENTAL PROTECTION AGENCY, OCTOBER 1992
- "MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS, A GUIDE FOR PLANNERS, DESIGNERS AND MUNICIPAL OFFICIALS", MASS. EXECUTIVE OFFICE OF ENVIRONMENTAL AFFAIRS, MAY 2003.
- U.S.D.A. NATURAL RESOURCES AND CONSERVATION SERVICES (NRCS) GUIDELINES.

3. FEDERAL NPDES PHASE II COMPLIANCE:

3.1 THIS PROJECT IS SUBJECT TO THE FEDERAL CLEAN WATER ACT REQUIREMENTS FOR CONSTRUCTION SITES ADMINISTERED BY THE U.S. ENVIRONMENTAL PROTECTION AGENCY (EPA). THIS PROGRAM IS THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PHASE II FOR CONSTRUCTION SITES. FOR COMPLIANCE WITH THIS PROGRAM, THE CONTRACTOR SHALL PREPARE A "CONSTRUCTION POLLUTION PREVENTION PLAN" (SWPPP) IN CONFORMANCE WITH THE CURRENT CONSTRUCTION GENERAL PERMIT AND FILING A NOTICE OF INTENT WITH THE EPA UNDER THE NPDES PROGRAM. THE CONTRACTOR SHALL THEN MANAGE THE SITE IN COMPLIANCE WITH THE SWPPP AND IN COMPLIANCE WITH THE CONSTRUCTION GENERAL PERMIT. NOTE THAT THE SWPPP IS TO BE CONSISTENT WITH THIS EROSION AND SEDIMENT CONTROL PLAN AND OTHER APPLICABLE APPROVALS. THE EROSION AND SEDIMENT CONTROL PLAN INCLUDED IN THIS PLAN MAY BE USED AS PART OF THE DOCUMENTATION REQUIRED FOR THE PREPARATION OF A SWPPP, BUT IS NOT TO BE CONSIDERED AS MEETING THE FULL REQUIREMENTS OF A SWPPP PREPARED FOR COMPLIANCE WITH THE NPDES PROGRAM.

4. FIBER LOG, CONSTRUCTION FENCE AND LIMIT OF WORK:

4.1 PRIOR TO ANY DISTURBANCE OR ALTERATIONS OF ANY AREA ON THE SITE, THE FIBER LOG BARRIER AND CONSTRUCTION FENCE SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE PLAN.

4.2 INSTALL THE FIBER LOGS AS SHOWN, IN THOSE AREAS WHERE THE TOPOGRAPHY INDICATES STORMWATER RUNOFF WILL BE CONCENTRATED (AT LOW POINTS). ADDITIONAL FIBER LOGS, AS NECESSARY, SHALL BE STAKED ON THE UPGRADE SIDE OF THE BARRIER FOR ADDED FILTRATION AND PROTECTION. THE REQUIRED LOCATIONS FOR THE ADDED FIBER LOG INSTALLATION WILL BE SELECTED BY THE ENGINEER AND / OR THE AUTHORIZED INSPECTOR / SWPPP COORDINATOR UPON COMPLETION OF THE SEDIMENT BARRIER INSTALLATION. (SEE DETAIL).

4.3 ONCE INSTALLED, THE STAKED FIBER LOGS AND CONSTRUCTION FENCE SHALL BE MAINTAINED IN PLACE UNTIL ALL AREAS UPGRADED FROM THE BARRIERS HAVE BEEN PERMANENTLY STABILIZED.

4.4 ALL DISTURBED AREAS NOT OTHERWISE DEVELOPED OR WHERE SPECIAL STABILIZATION MEASURES OR LANDSCAPE PLANTINGS ARE PROPOSED SHALL BE LOAMED AND SEDED, SIX INCHES OF LOAM TOPSOIL (MIN. COMPACTED DEPTH) SHALL BE APPLIED UNLESS, OTHERWISE SPECIFIED.

4.5 THE FIBER LOGS AND CONSTRUCTION FENCE ARE ALSO LIMITS OF WORK. ALL AREAS OUTSIDE THE LIMIT ARE TO BE LEFT UNDISTURBED. DURING THE SITE WORK, ALL PERSONS AND EQUIPMENT SHALL STAY OUT OF THESE AREAS TO PRESERVE THE EXISTING VEGETATION AND SOIL COVER.

5. CONSTRUCTION ENTRANCE:

5.1 AT THE START OF SITE WORK, A STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT THE ACCESS TO THE SITE TO CONTROL THE TRACKING OF MUD OFF THE SITE. THE ENTRANCE SHALL BE MAINTAINED UNTIL THE SITE IS IN A STABILIZED CONDITION WHEN THE POSSIBILITY OF VEHICLES TRACKING MUD OFF SITE HAS BEEN ELIMINATED.

5.2 THE CONTRACTOR SHALL SWEEP THE ADJACENT ROADWAYS WHEN MUD, DUST, DIRT, DEBRIS, ETC. HAS SHOWN SIGNS OF BUILDUP. THE CONTRACTOR SHALL PAY PARTICULAR ATTENTION TO THIS MATTER AND IMMEDIATE ATTENTION IS ALWAYS REQUIRED.

6. DEWATERING OF EXCAVATIONS:

6.1 DISCHARGE FROM DEWATERING PUMPS OR TEMPORARY TRENCH OR EXCAVATION DRAINS SHALL NOT BE DISCHARGED DIRECTLY TO THE STORMWATER BMP'S, WETLANDS, OR SEWAGE DISPOSAL SYSTEM. DISCHARGES SHALL BE DIRECTED TO A TREATMENT SYSTEM CONSISTING OF A SEDIMENT BASIN, STRAW BALE SETTLING BASIN, FILTER BAG SYSTEM OR OTHER APPROVED METHOD TO FILTER THE DISCHARGE WATER AND PREVENT EROSION.

6.2 ALL DEWATERING DRAINAGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES SHALL COMPLY WITH THE TOWN OF SHERBORN REQUIREMENTS, UNITED STATES ENVIRONMENTAL PROTECTION AGENCY, MASSACHUSETTS DEP AND OTHER APPROPRIATE AGENCIES.

7. SOIL STOCKPILES:

7.1 STOCKPILES OF SOIL MATERIALS SHALL BE PLACED WITHIN AREAS THAT ARE PROTECTED BY EROSION CONTROLS, OR SHALL BE SURROUNDED BY PROPER SILT FENCE OR FIBER LOGS.

7.2 STOCKPILES THAT ARE TO BE IN PLACE FOR EXTENDED PERIODS OF TIME (MORE THAN 30 DAYS) SHALL BE COVERED OR OTHERWISE TEMPORARILY STABILIZED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES.

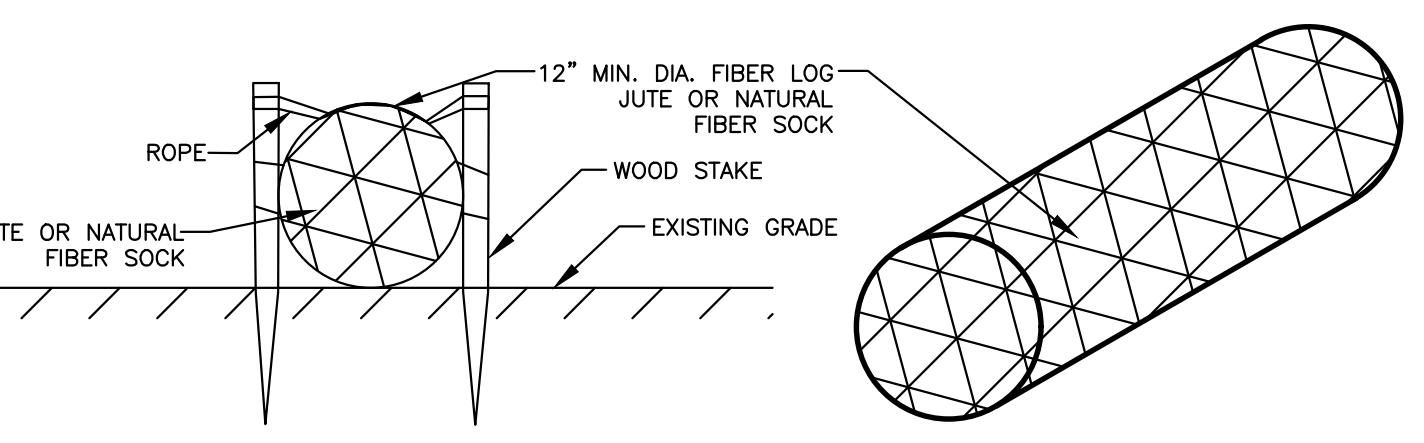
8. CATCH BASIN INLET PROTECTION

8.1 CATCH BASINS AND THE TRENCH DRAIN WITHIN THE WORK AREA OR THAT WILL RECEIVE RUNOFF FROM THE WORK AREA SHALL BE PROTECTED WITH A SILT SACK AND/OR OTHER APPROVED INSTALLATION TO MINIMIZE THE SEDIMENT LOAD.

9. DUST CONTROL:

9.1 THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES DURING SITE WORK TO MINIMIZE WIND BLOWN DUST FROM EXPOSED SOIL SURFACES. MEASURES INCLUDE BUT ARE NOT LIMITED TO:

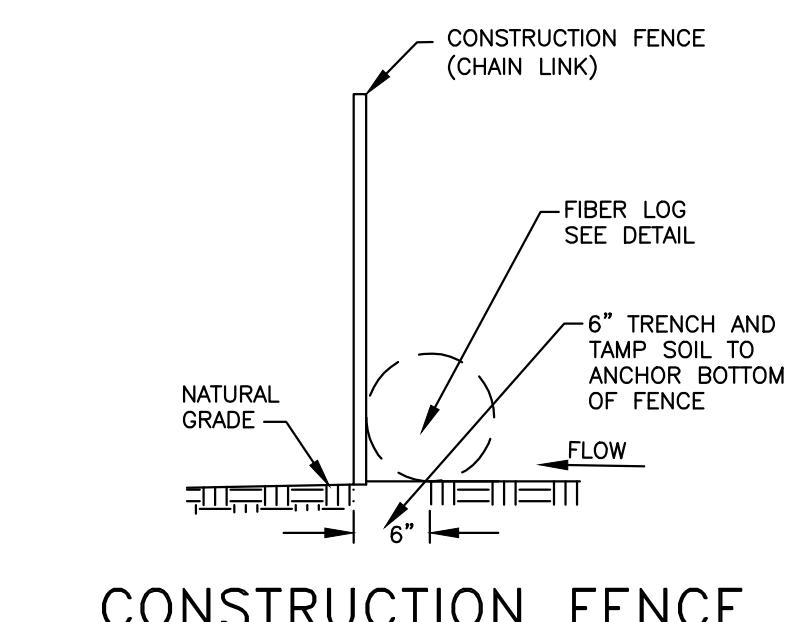
- SPRINKLING WATER ON EXPOSED SURFACES
- APPLICATION OF TEMPORARY COVER SUCH AS HYDRO MULCH AND TACKIFIER, STRAW MATTING, JUTE NETTING ETC.



INSTALLATION NOTES FOR FIBER LOGS:

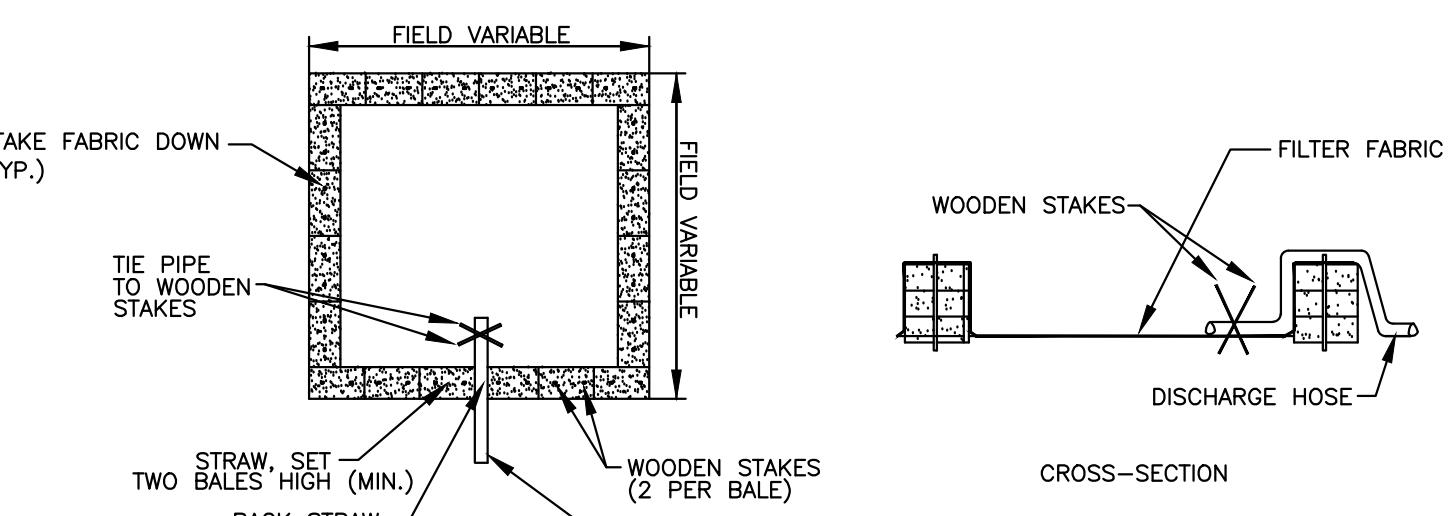
1. LAY THE FIBER LOG AS SHOWN ON THE PLANS.
2. INSTALL WOOD STAKES ALONG THE FIBER LOG AS NEEDED TO HOLD THE LOG IN PLACE.
3. DRIVE THE STAKE INTO THE GROUND DEEP ENOUGH TO HOLD THE LOG.
4. IN PAVED AREAS, SECURE FIBER LOG WITH CONCRETE BLOCKS OR SAND BAGS.
5. THE FIBER LOG SHALL BE FILLED WITH COMPOST OR OTHER APPROVED MATERIAL.
6. FIBER LOG SHALL BE 12 INCHES (MIN) IN DIAMETER UNLESS OTHERWISE NOTED ON THE PLANS.

FIBER LOG SEDIMENT BARRIER
(NO SCALE)



**CONSTRUCTION FENCE
WITH FIBER LOG DETAIL**

(NO SCALE)



NOTE: NUMBER OF BALES MAY VARY DEPENDING ON SITE CONDITIONS

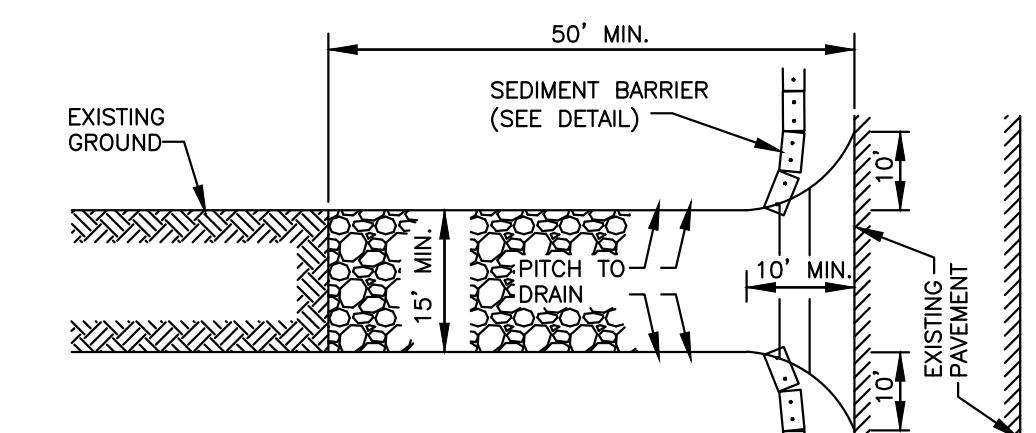
PLAN VIEW

DEWATERING OF EXCAVATIONS NOTES:

1. DISCHARGE FROM DEWATERING PUMPS OR TEMPORARY TRENCH OR EXCAVATION DRAINS SHALL NOT BE DISCHARGED DIRECTLY TO WETLAND RESOURCE AREAS, ON-SITE SUBSURFACE SEWAGE DISPOSAL SYSTEM, OR STORMWATER BMP'S. THE DISCHARGES SHALL BE DIRECTED INTO A CONSTRUCTED SEDIMENT BASIN OR A STRAW BALE SETTLING BASIN.

STRAW BALE SETTLING BASIN

(NO SCALE)

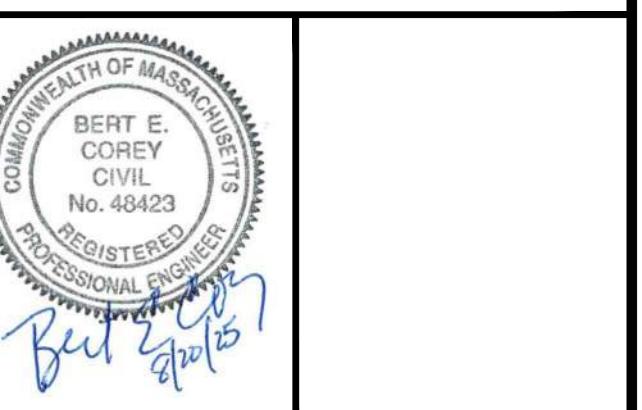


CONSTRUCTION SPECIFICATIONS:

1. STONE SIZE - USE 1 1/2" TO 3 1/2" WASHED, ANGULAR STONE.
2. THICKNESS - NOT LESS THAN SIX (6) INCHES.
3. WIDTH - FIFTEEN (15) FEET MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
4. FILTER FABRIC - SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. USE MIRAFI HP-370 OR EQUAL.
5. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT THE TRACKING OF MUD, DUST, DIRT, DEBRIS, ETC. ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
6. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED.

STONE TRACKING PAD (CONSTRUCTION ENTRANCE)

(NO SCALE)



1 BEC 8/20/25 PEER REVIEW COMMENTS
NO. APP DATE DESCRIPTION
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DESIGN: BEC/KMR DRAFTED: BEC/KMR CHECKED: BEC

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LOT 3 WASHINGTON STREET

0 WASHINGTON STREET
SHERBORN, MASSACHUSETTS 01770

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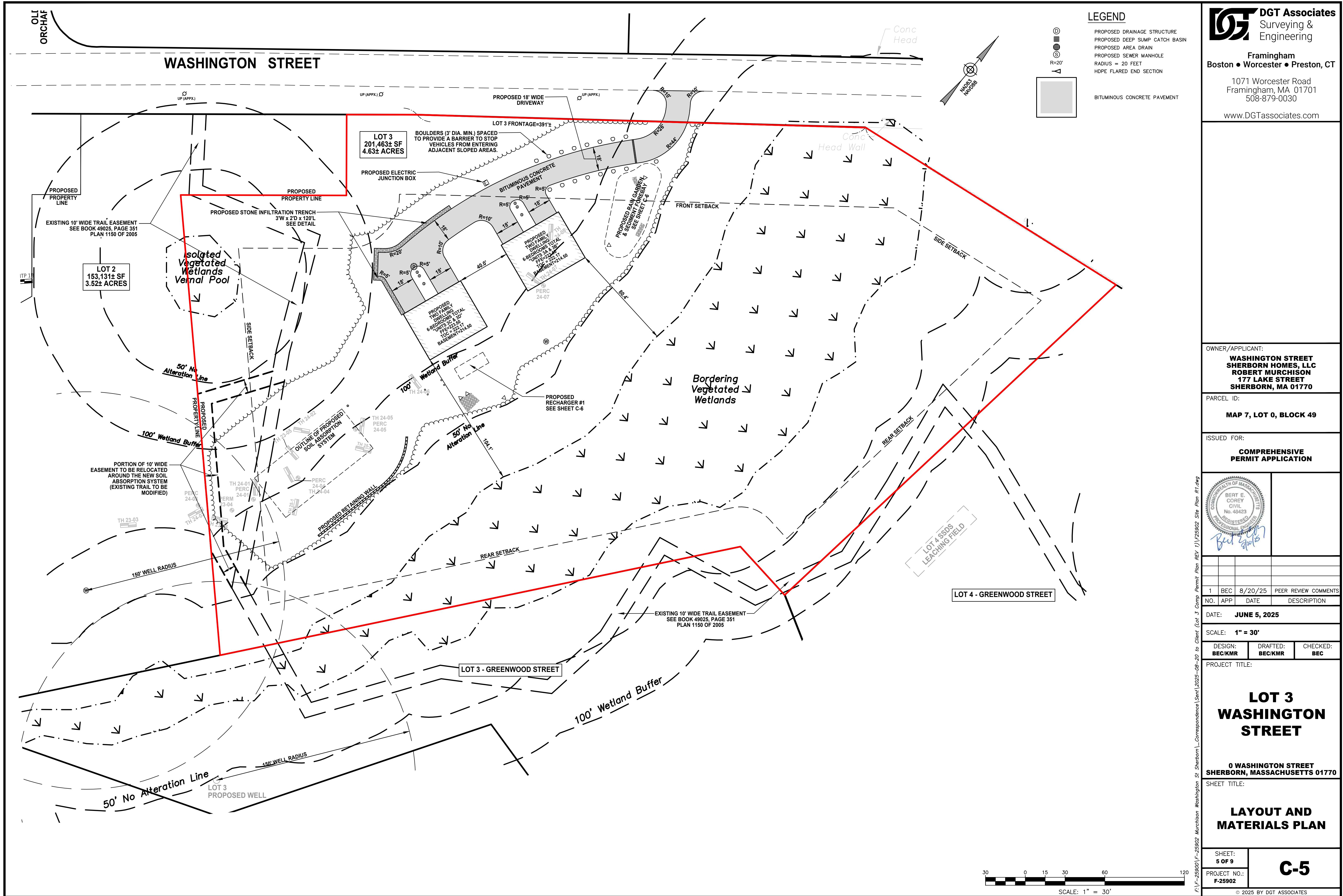
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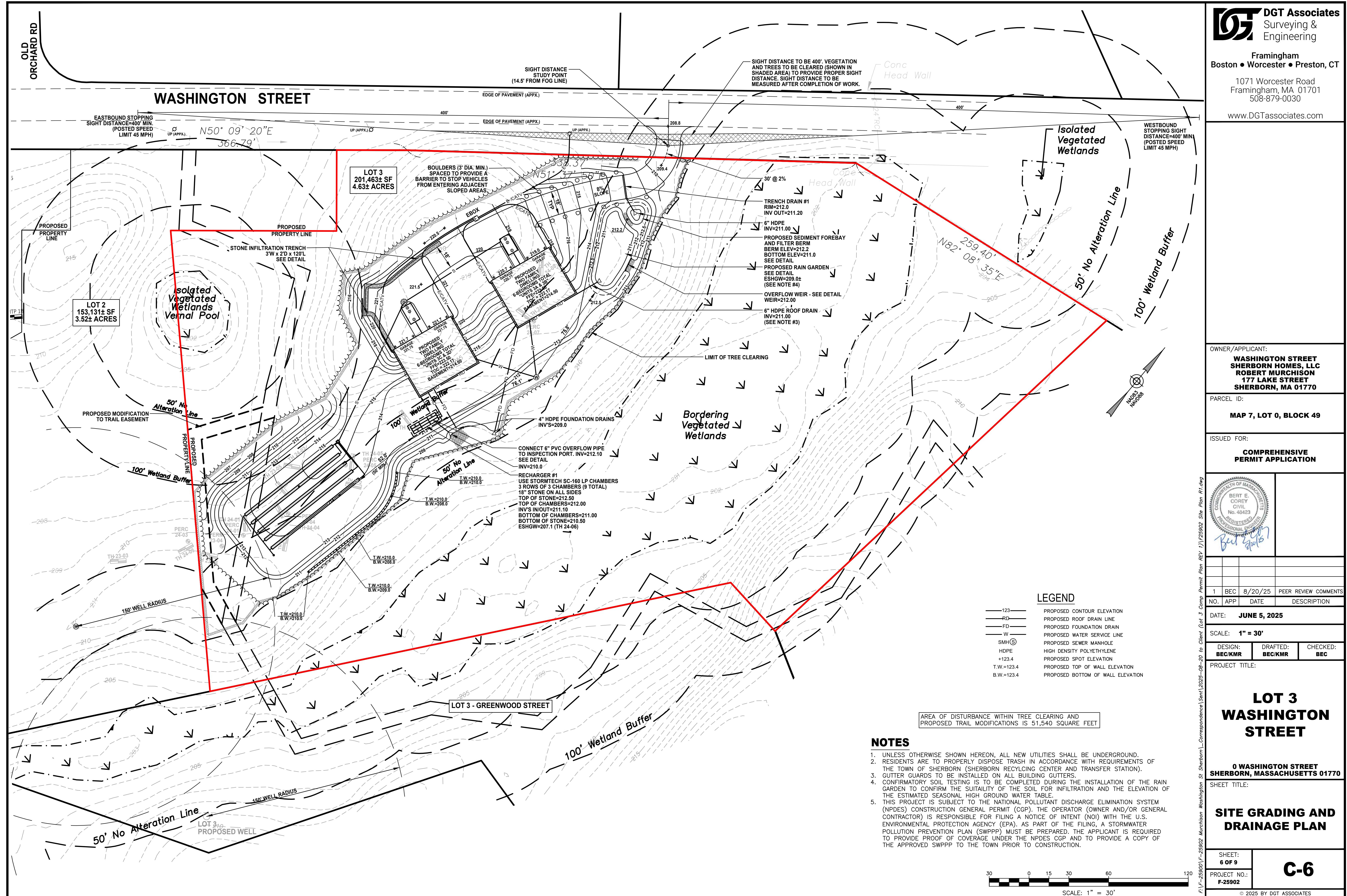
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4 OF 9
PROJECT NO.:
F-25902

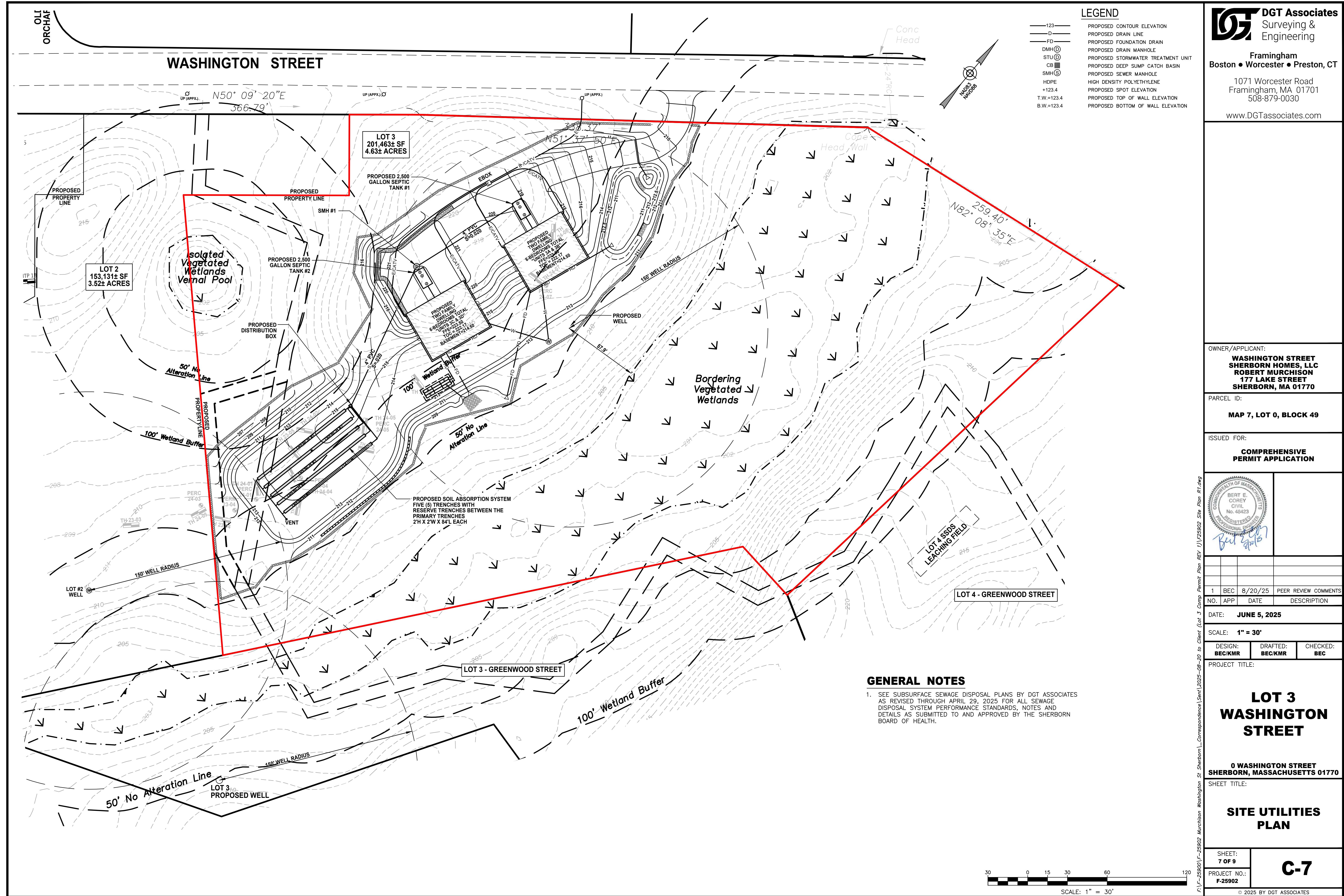
C-4

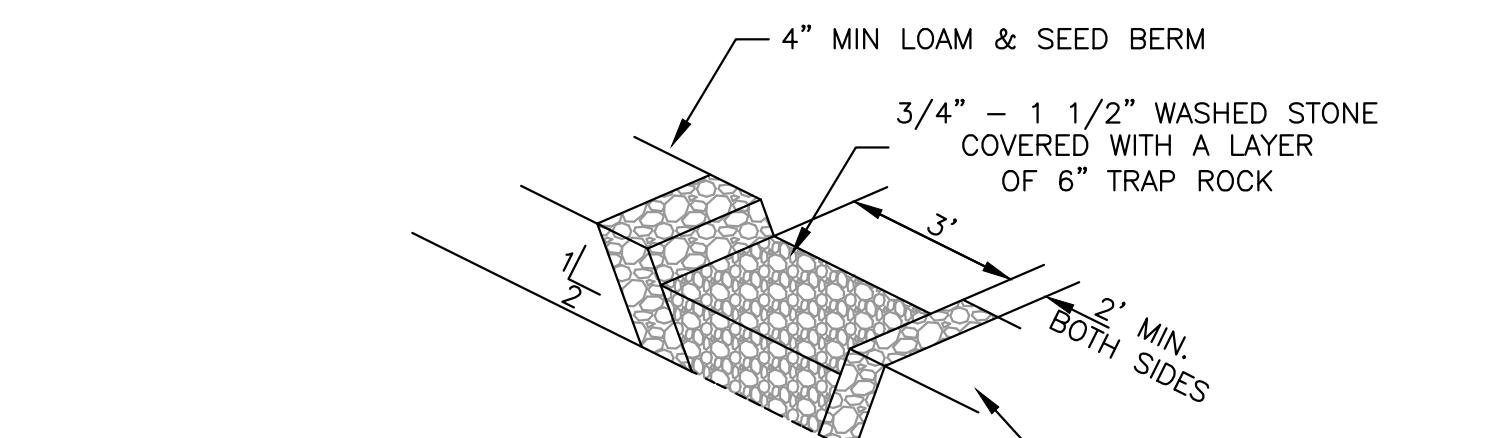
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F-25902 (F-25902 Murchison Washington St. Sherborn) Correspondence | Sent 06/20/2025 08:20 to Client (Lot 3 Corp. Permit Plan Rev 1) F-25902 Site Plan Rev 1.dwg

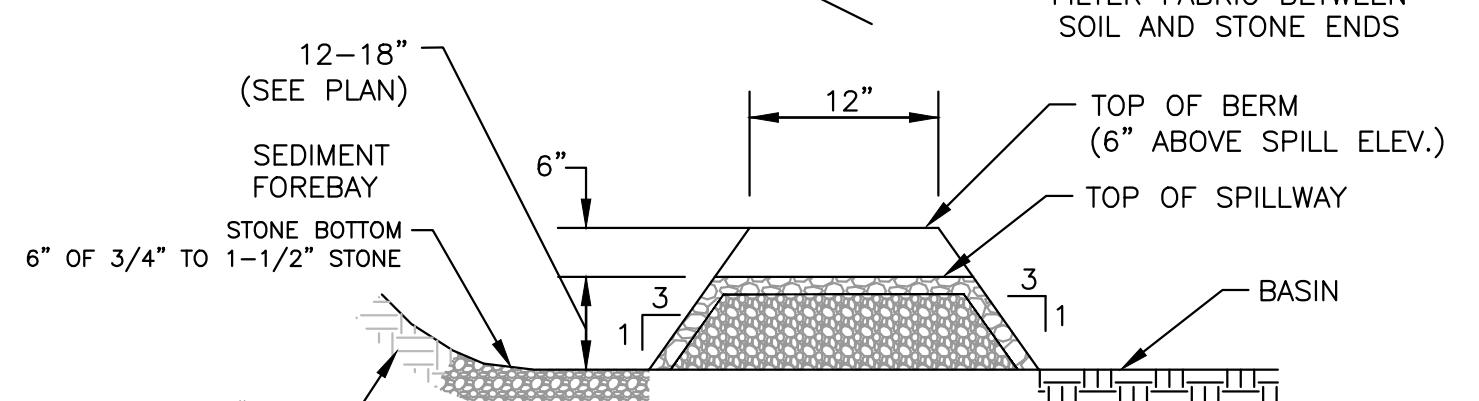




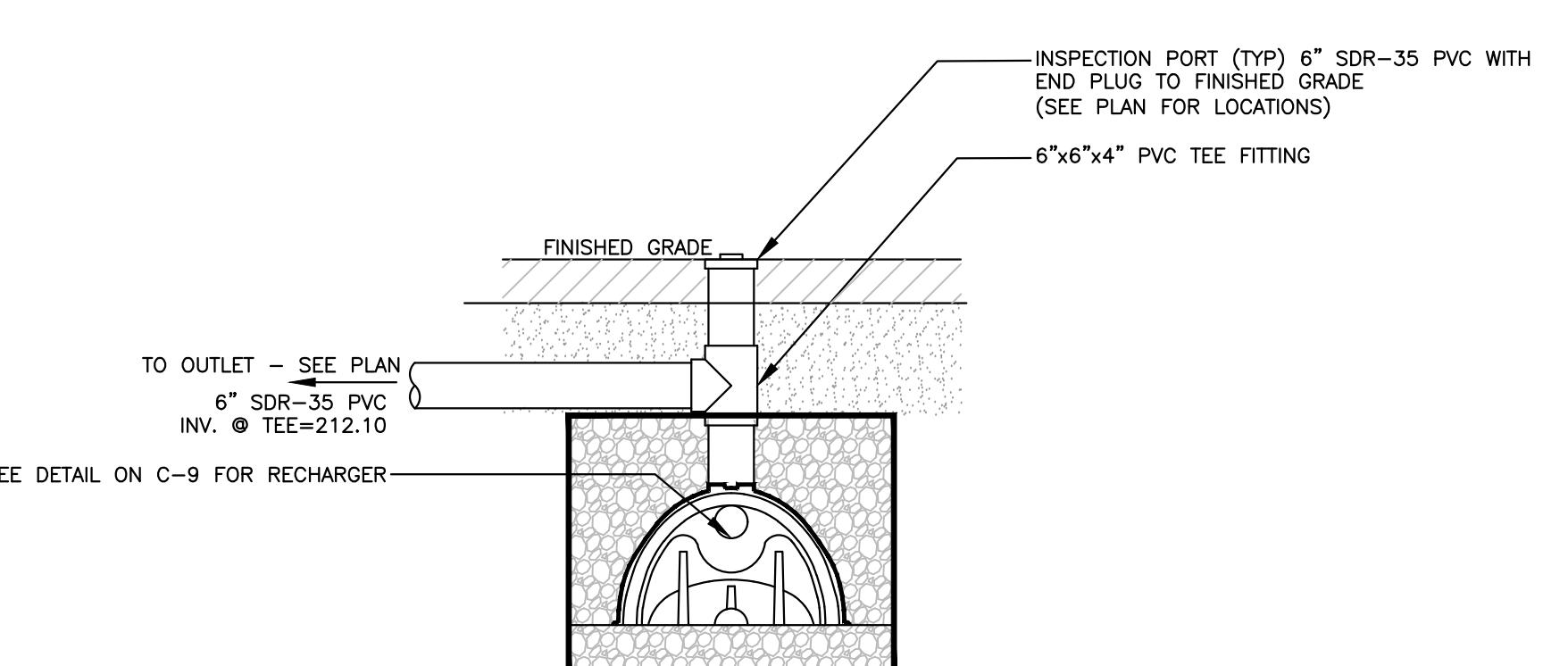




RAIN GARDEN CALCULATIONS:
 CALCULATE RECHARGE VOLUME REQUIRED TO INFILTRATE 1.0" OF SURFACE STORMWATER RUNOFF FROM THE UNIT 3A & 3B ROOF AREA AND THE NEW DRIVEWAY.
 PROPOSED IMPERVIOUS AREAS: 2,000 SF (ROOF) + 6,979 SF (DRIVEWAY) = 8,979 SF TOTAL
 REQUIRED RECHARGE = (8,979 SF) (1.0 IN) (FT/12 IN) = 749 C.F.
 PROVIDED STORAGE VOLUME = 1,162 CF WITHIN THE RAIN GARDEN AND BELOW THE WEIR (SEE BELOW)



SEDIMENT FOREBAY AND FILTER BERM DETAIL
 (NO SCALE)



RECHARGER OVERFLOW PIPE
 (NO SCALE)

F25902 Proposed Conditions Model
 Prepared by DGT Associates
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Type III 24-hr 2 Year Rainfall=3.35" Printed 8/14/2025

Stage-Area-Storage for Pond RG: Rain Garden

Elevation (feet)	Surface (sq-ft)	Storage (cubic-feet)	Elevation (feet)	Surface (sq-ft)	Storage (cubic-feet)
211.00	944	0	212.04	1,465	1,219
211.02	952	16	212.06	1,501	1,456
211.04	960	38	212.08	1,538	1,479
211.06	969	57	212.10	1,575	1,310
211.08	977	77	212.12	1,612	1,342
211.10	985	96	212.14	1,650	1,375
211.12	993	116	212.16	1,688	1,408
211.14	1,002	136	212.18	1,727	1,442
211.16	1,010	156	212.20	1,766	1,477
211.18	1,019	177			
211.20	1,027	197			
211.22	1,035	218			
211.24	1,044	238			
211.26	1,053	259			
211.28	1,061	281			
211.30	1,070	302			
211.32	1,078	323			
211.34	1,087	345			
211.36	1,096	367			
211.38	1,105	389			
211.40	1,114	411			
211.42	1,123	433			
211.44	1,131	456			
211.46	1,140	479			
211.48	1,149	502			
211.50	1,158	525			
211.52	1,167	548			
211.54	1,176	571			
211.56	1,185	595			
211.58	1,194	619			
211.60	1,204	643			
211.62	1,213	667			
211.64	1,222	691			
211.66	1,231	715			
211.68	1,240	740			
211.70	1,250	765			
211.72	1,259	790			
211.74	1,269	815			
211.76	1,278	841			
211.78	1,287	867			
211.80	1,297	893			
211.82	1,307	919			
211.84	1,316	945			
211.86	1,326	971			
211.88	1,335	998			
211.90	1,345	1,025			
211.92	1,355	1,052			
211.94	1,365	1,079			
211.96	1,374	1,106			
211.98	1,383	1,134			
212.00	1,394	1,162			
212.02	1,429	1,190			

RECHARGER #1 CALCULATIONS:
 CALCULATE RECHARGE VOLUME REQUIRED TO INFILTRATE 1.0" OF SURFACE STORMWATER RUNOFF FROM THE UNIT 3C & 3D ROOF AREA.
 PROPOSED ROOF AREA: 2,000 SF TOTAL
 REQUIRED RECHARGE = (2,000 SF) (1.0 IN) (FT/12 IN) = 167 C.F.
 PROVIDED STORAGE VOLUME = 175 CF WITHIN THE CHAMBERS (SEE BELOW)

F25902 Proposed Conditions Model
 Prepared by DGT Associates
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Type III 24-hr 2 Year Rainfall=3.35" Printed 6/2/2025

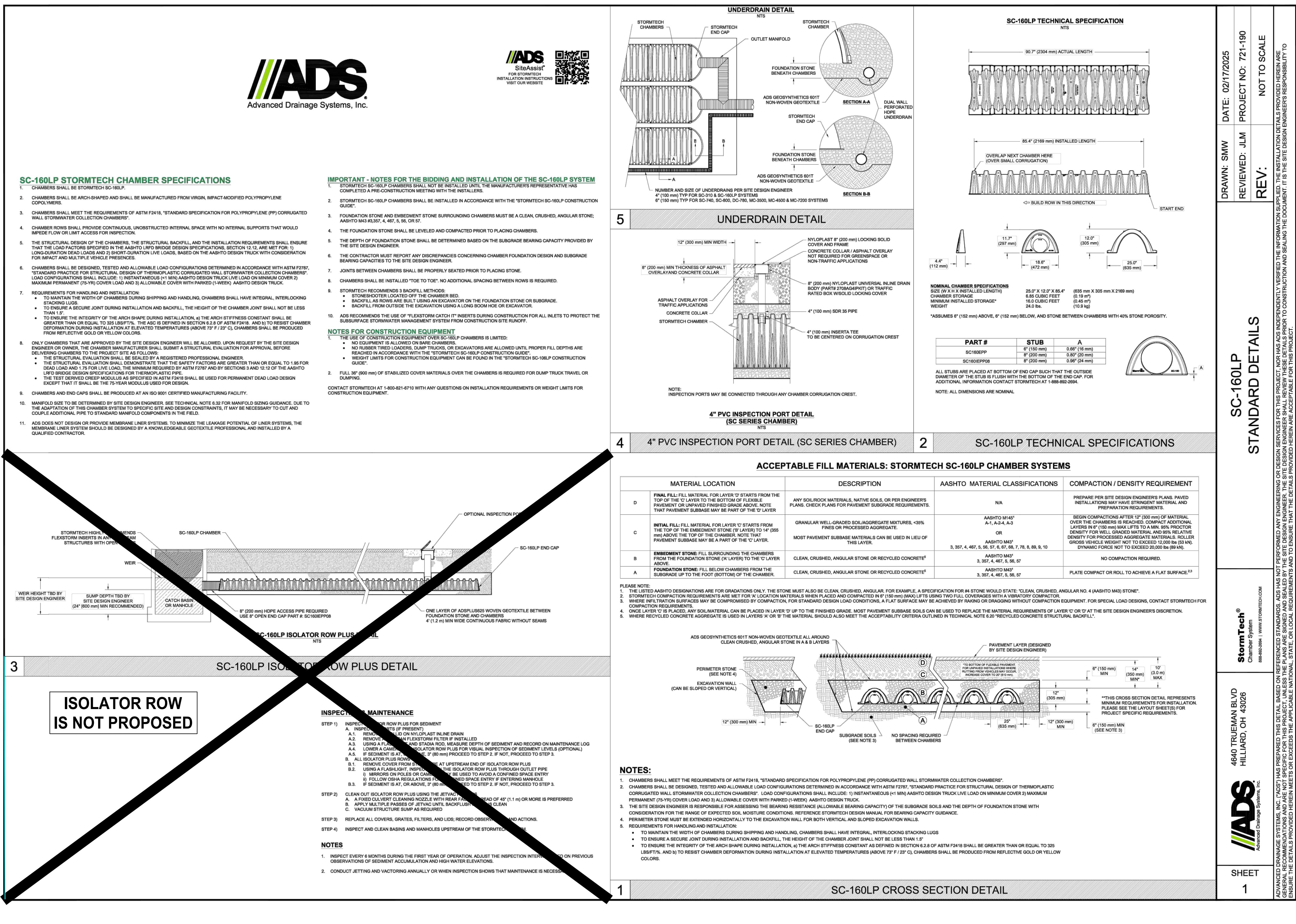
Stage-Area-Storage for Pond RD: RD Infiltration System

Elevation (feet)	Surface (sq-ft)	Storage (cubic-feet)	Elevation (feet)	Surface (sq-ft)	Storage (cubic-feet)
210.50	230	0	211.54	230	123
210.52	230	16	211.56	230	128
210.54	230	4	211.58	230	128
210.56	230	6	211.60	230	131
210.58	230	7	211.62	230	133
210.60	230	9	211.64	230	136
210.62	230	11	211.66	230	139
210.64	230	13	211.68	230	141
210.66	230	15	211.70	230	143
210.68	230	17	211.72	230	146
210.70	230	18	211.74	230	148
210.72	230	20	211.76	230	150
210.74	230	22	211.78	230	153
210.76	230	24	211.80	230	155
210.78	230	26	211.82	230	157
210.80	230	28	211.84	230	159
210.82	230	31	211.86	230	161
210.84	230	33	211.88	230	163
210.86	230	35	211.90	230	165
210.88	230	37	211.92	230	167
210.90	230	39	211.94	230	169
210.92	230	41	211.96	230	171
210.94	230	40	211.98	230	173
210.96	230	42	212.00	230	175
210.98	230	44			
211.00	230	46			
211.02	230	49	212.06	230	199
211.04	230	52	212.08	230	182
211.06	230	55	212.10	230	184
211.08	230	58	212.12	230	186
211.10	230	61	212.14	230	188
211.12	230	64	212.16	230	189
211.14	230	67	212.18	230	191
211.16	230	70	212.20	230	193
211.18	230	73	212.22	230	195
211.20	230	76	212.24	230	197
211.22	230	78	212.26	230	199
211.24	230	81	212.28	230	200
211.26	230	84	212.30	230	202
211.28	230	87	212.32	230	204
211.30	230	90	212.34	230	206
211.32	230	93	212.36	230	208
211.34	230	96	212.38	230	210
211.36	230	98	212.40	230	211
211.38	230	101	212.42	230	213
211.40	230	104	212.44	230	215
211.42	230	107	212.46	230	217
211.44	230	109	212.48	230	219
211.46	230	112	212.50	230	221
211.48	230	115			
211.50	230	118			
211.52	230	120			

OWNER/APPLICANT:
WASHINGTON STREET
SHERBORN HOMES, LLC
ROBERT MURCHISON
177 LAKE STREET
SHERBORN, MA 01770

PARCEL ID:
MAP 7, LOT 0, BLOCK 49

ISSUED FOR:
COMPREHENSIVE PERMIT APPLICATION</



INFILTRATION SYSTEM (RECHARGER #1) DETAILS

(NO SCALE)

SITE DETAILS - 02

SHEET: 9 OF 9	C-9
PROJECT NO.: F-25902	