

PERMIT SITE PLAN

for

WASHINGTON STREET SHERBORN HOMES, LLC

at

Lot 3 - Washington Street in Sherborn, MA

GENERAL NOTES

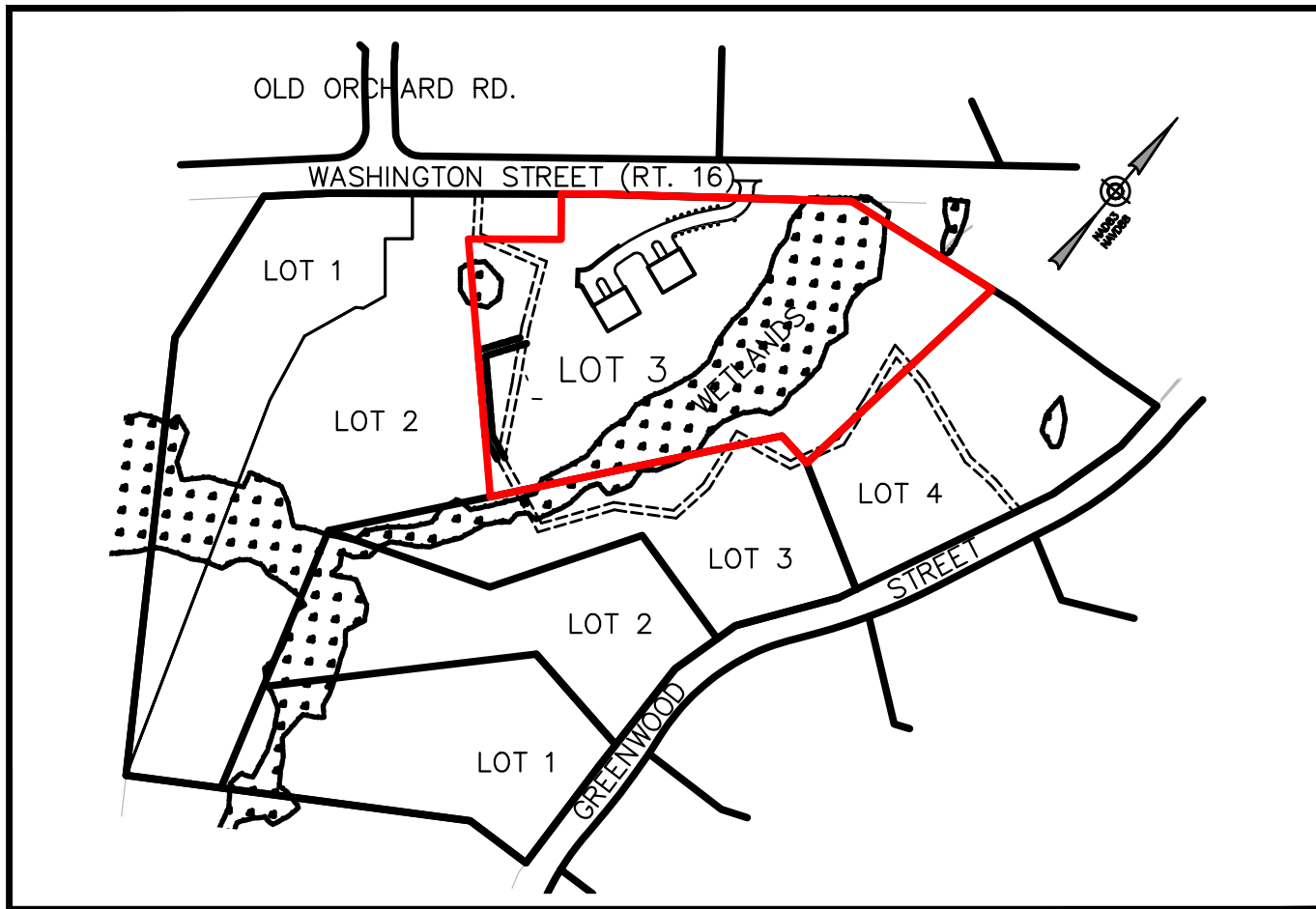
- ELEVATIONS SHOWN HEREON REFER TO NAVD88.
- PROPERTY LINE AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS FROM A PLAN ENTITLED "PLAN OF LAND" BY SAMIOTES CONSULTANTS, INC. AS REVISED THROUGH 01/18/2024.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND RELATIVE ELEVATION OF BENCHMARKS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION. ANY DISCREPANCY SHALL BE REPORTED TO THE ENGINEER.
- ALL SITE CONSTRUCTION SHALL COMPLY WITH THE TOWN OF SHERBORN DEPARTMENT OF PUBLIC WORKS.
- IN CASES WHERE LEDGE, BURIED FOUNDATIONS OR BOULDERS ARE PRESENT, DGT ASSOCIATES SHALL NOT BE RESPONSIBLE FOR THE AMOUNT OF ROCK OR CONCRETE ENCOUNTERED.
- DGT ASSOCIATES SHALL BE NOTIFIED OF ANY SIGNIFICANT DIFFERENCES IN THE EXISTING CONDITIONS OR UTILITIES THAT MAY AFFECT THE CONSTRUCTION SHOWN ON THIS PLAN FOR ANY NECESSARY PLAN REVISIONS.
- THIS PLAN IS NOT INTENDED TO SHOW AN ENGINEERED BUILDING FOUNDATION DESIGN WHICH WOULD INCLUDE DETAILS AND ELEVATIONS FOR FOOTINGS, FOUNDATION WALL DESIGN AND ANY SUBSURFACE DRAINAGE TO PREVENT FLOODING. COORDINATE WITH THE ARCHITECTURAL AND STRUCTURAL PLANS.
- THE PROPOSED BUILDING CONFIGURATION AS SHOWN HEREON SHALL BE CONSIDERED CONCEPTUAL AND SHALL BE VERIFIED WITH THE FINAL ARCHITECTURAL PLANS AND THE CURRENT ZONING ORDINANCES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND/OR REPLACEMENT OF ANY EXISTING FEATURES DAMAGED DURING CONSTRUCTION THAT ARE NOT INTENDED FOR DEMOLITION AND/OR REMOVAL HEREON.
- SAFETY MEASURES, CONSTRUCTION METHODS AND CONTROL OF WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

GRADING AND UTILITY PLAN NOTES

- LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY. ALL UTILITIES, OBSTRUCTIONS AND/OR SYSTEMS MAY NOT BE SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR FOR LOCATING AND PROTECTING ALL EXISTING UNDERGROUND UTILITIES AND/OR SYSTEMS WHETHER OR NOT SHOWN HEREON.
- UNLESS OTHERWISE SHOWN HEREON, ALL NEW UTILITIES SHALL BE UNDERGROUND.
- RIM ELEVATIONS SHOWN HEREON FOR NEW STRUCTURES ARE PROVIDED TO ASSIST THE CONTRACTOR WITH MATERIAL TAKEOFFS. FINAL RIM ELEVATIONS SHALL MATCH PAVEMENT, GRADING, LANDSCAPING, UNLESS SPECIFICALLY INDICATED OTHERWISE.
- WHERE CONNECTIONS AND STRUCTURES ARE TO BE INSTALLED AT EXISTING UTILITIES, THE CONTRACTOR SHALL CONFIRM THE LOCATION AND ELEVATION PRIOR TO INSTALLATION AND SHALL REPORT ANY SIGNIFICANT DISCREPANCY FROM THE PLAN INFORMATION TO THE ENGINEER.
- CURB RADII AND DIMENSIONS SHOWN HEREON ARE AT THE FACE OF CURB.
- WHERE NEW PAVING MEETS EXISTING PAVING, MEET LINE AND GRADE OF EXISTING.
- AT LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN AND SMOOTH EDGE.
- PERIMETER EROSION CONTROLS SHOWN HEREON SHALL BE INSTALLED PRIOR TO ANY EARTH DISTURBANCE AND SHALL SERVE AS A LIMIT OF WORK, UNLESS OTHERWISE SHOWN.
- THE CONTRACTOR SHALL PROVIDE DUST CONTROL FOR CONSTRUCTION OPERATIONS AS APPROVED BY THE ENGINEER.
- ALL POINTS OF CONSTRUCTION EGRESS OR INGRESS SHALL BE MAINTAINED TO PREVENT THE TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADS.

REGULATORY NOTES

- THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES AND COMPILING INFORMATION FROM PLANS PROVIDED BY UTILITY COMPANIES AND GOVERNMENT AGENCIES. THE LOCATION SHOWN HEREON SHALL BE CONSIDERED APPROXIMATE. BEFORE ANY CONSTRUCTION, DEMOLITION OR SITE WORK, THE LOCATION OF ALL UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR BY CONTACTING "DIG-SAFE" AT 811.
- THE CONTRACTOR SHALL MAKE HIMSELF AWARE OF ALL CONSTRUCTION REQUIREMENTS, CONDITIONS AND LIMITATIONS IMPOSED BY PERMITS AND APPROVALS ISSUED BY REGULATORY AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY WORK. CONTRACTOR SHALL COORDINATE AND OBTAIN ALL CONSTRUCTION PERMITS REQUIRED BY REGULATORY AUTHORITIES.
- ALL WORK OUTSIDE OF THE BUILDING THAT IS LESS THAN 10 FEET FROM THE INSIDE FACE OF THE BUILDING FOUNDATIONS SHALL CONFORM WITH THE UNIFORM STATE PLUMBING CODE OF MASSACHUSETTS, 248 CMR.
- CONSTRUCTION ACTIVITIES SHALL CONFORM TO THE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA).



SITE LOCUS MAP

1" = 250'

SHEET INDEX

- | | |
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EX-1 PLAN OF LAND BY SAMIOTES CONSULTANTS, INC. AS REVISED THROUGH 01/18/2024

CUT & FILL ANALYSIS

TOTAL SITE CUT: 300 CY
TOTAL SITE FILL: 3,200 CY
NET SITE FILL: 2,900 CY

Table 1. Summary of Project Site Conditions

General Site Conditions	Land Condition	Land Breakdown	Acres	Square Feet	Coverage (%)
	Usable Land	Total Area	4.6250	201,463	100.0%
	Unusable Land	Upland	3.3607	146,393	72.7%
		Wetlands	1.2642	55,070	37.6%
Existing Conditions	Disturbed	Total	0.0000	0	0.0%
		Building	0.0000	0	0.0%
	Impervious	Pavement	0.0000	0	0.0%
		Sidewalk	0.0000	0	0.0%
	Pervious	Lawn (usable open space)	0.0000	0	0.0%
	Undisturbed	Total	4.6250	201,463	100.0%
		Upland Woods	3.3607	146,393	72.7%
		Unusable Open Space	1.2642	55,070	27.3%
	Total Usable Open Space	Upland Woods	3.3607	146,393	72.7%
	Disturbed	Total	1.1872	51,713	25.7%
Proposed Conditions		Building	0.0918	4,000	2.0%
	Impervious	Pavement	0.1602	6,979	3.5%
		Sidewalk	0.0000	0	0.0%
	Pervious	Lawn (usable open space)	0.9351	40,734	20.2%
	Undisturbed	Total	3.4378	149,750	74.3%
		Upland Woods	2.1736	94,680	47.0%
		Unusable Open Space	1.2642	55,070	27.3%
	Total Usable Open Space	Lawn / Woods	3.1087	135,414	67.2%
	Disturbed	Total	1.1872	51,713	25.7%
		Building	0.0918	4,000	2.0%

Table 2. Summary of Proposed Buildings (Two Duplex Buildings)

Units	4
Bedrooms per Unit	3
Total Bedroom Count	12

Table 3. Zoning Summary Table (Sherborn Residential B District)

Item	Required	Proposed Conditions	Waiver Required
Minimum Lot Area	2 acres	4.6250 acres	No
Minimum Frontage	200 feet	391 feet	No
Minimum Lot Width	200 feet	391 feet	No
Minimum Lot Depth	N/A	N/A	N/A
Minimum Front Setback	60 feet	70.3 feet	No
Minimum Side Setback	40 feet	99.0 feet	No
Minimum Rear Setback	30 feet	185.7 feet	No
Maximum Height (stories)	2.5 stories	< 2.5 stories	No
Maximum Height (feet)	35 feet	< 35 feet	No
Maximum Lot Coverage	N/A	N/A	N/A
Lot Coverage			
Building	2.0%		
Parking / Paved Areas	3.5%		
Usable Open Space	67.2%		
Unusable Open Space (wetlands)	27.3%		
Lot Coverage	5.5%		

OWNER/APPLICANT:

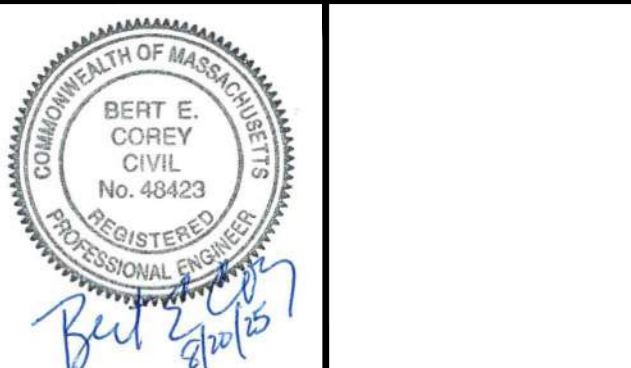
WASHINGTON STREET
SHERBORN HOMES, LLC
ROBERT MURCHISON
177 LAKE STREET
SHERBORN, MA 01770

PARCEL ID:

MAP 7, LOT 0, BLOCK 49

ISSUED FOR:

COMPREHENSIVE
PERMIT APPLICATION



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1	BEC	8/20/25	PEER REVIEW COMMENTS
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NO.	APP	DATE	DESCRIPTION
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DATE: JUNE 5, 2025

SCALE: 1" = 30'

DESIGN:	DRAFTED:	CHECKED:
BEC/KMR	BEC/KMR	BEC

PROJECT TITLE:

LOT 3
WASHINGTON
STREET

0 WASHINGTON STREET
SHERBORN, MASSACHUSETTS 01770

SHEET TITLE:

TITLE SHEET

SHEET:
1 OF 9

PROJECT NO.:
F-25902

C-1

OWNER/APPLICANT:

**WASHINGTON STREET
SHERBORN HOMES, LLC
ROBERT MURCHISON
177 LAKE STREET
SHERBORN, MA 01770**

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1	BEC	8/20/25	PEER REVIEW COMMENTS
NO.	APP	DATE	DESCRIPTION

DATE: **JUNE 5, 2025**

SCALE: **1" = 50'**

DESIGN:	DRAFTED:	CHECKED:
BEC/KMR	BEC/KMR	BEC

PROJECT TITLE:

**LOT 3
WASHINGTON
STREET**

**0 WASHINGTON STREET
SHERBORN, MASSACHUSETTS 01770**

SHEET TITLE:

**OVERALL
SITE PLAN**

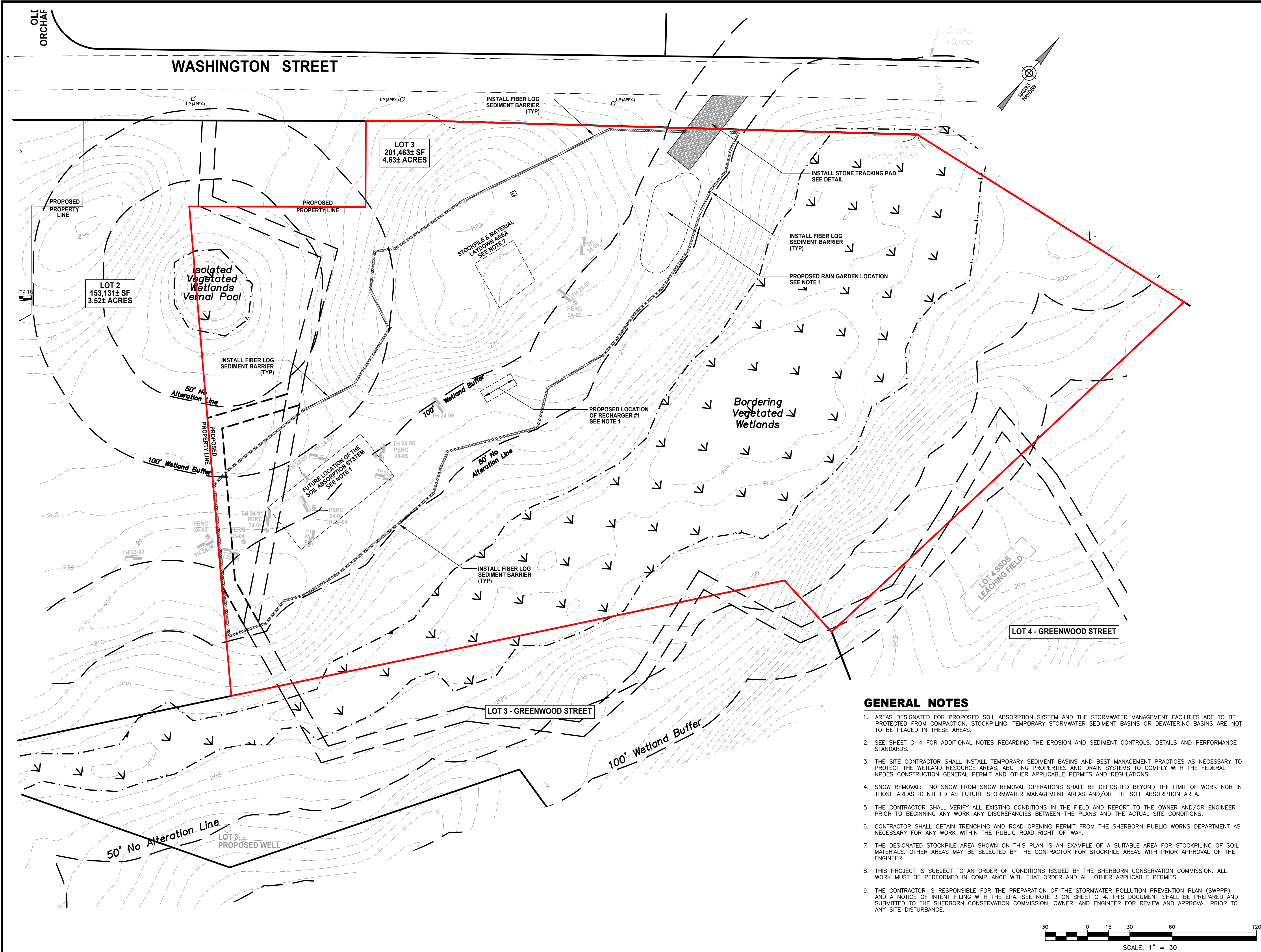
SHEET:
2 OF 9

PROJECT NO.:
F-25902

C-2

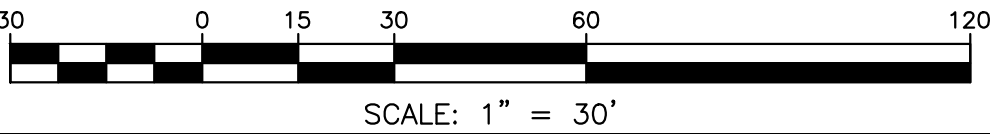
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GENERAL NOTES

- AREAS DESIGNATED FOR PROPOSED SOIL ABSORPTION SYSTEM AND THE STORMWATER MANAGEMENT FACILITIES ARE TO BE PROTECTED FROM COMPACTION. STOCKPILING, TEMPORARY STORMWATER SEDIMENT BASINS OR DEWATERING BASINS ARE NOT TO BE PLACED IN THESE AREAS.
- SEE SHEET C-4 FOR ADDITIONAL NOTES REGARDING THE EROSION AND SEDIMENT CONTROLS, DETAILS AND PERFORMANCE STANDARDS.
- THE SITE CONTRACTOR SHALL INSTALL TEMPORARY SEDIMENT BASINS AND BEST MANAGEMENT PRACTICES AS NECESSARY TO PROTECT THE WETLAND RESOURCE AREAS, ADJUTING PROPERTIES AND DRAIN SYSTEMS TO COMPLY WITH THE FEDERAL NPDES CONSTRUCTION GENERAL PERMIT AND OTHER APPLICABLE PERMITS AND REGULATIONS.
- SNOW REMOVAL: NO SNOW FROM SNOW REMOVAL OPERATIONS SHALL BE DEPOSITED BEYOND THE LIMIT OF WORK NOR IN THOSE AREAS IDENTIFIED AS FUTURE STORMWATER MANAGEMENT AREAS AND/OR THE SOIL ABSORPTION AREA.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND REPORT TO THE OWNER AND/OR ENGINEER PRIOR TO BEGINNING ANY WORK ANY DISCREPANCIES BETWEEN THE PLANS AND THE ACTUAL SITE CONDITIONS.
- CONTRACTOR SHALL OBTAIN TRENCHING AND ROAD OPENING PERMIT FROM THE SHERBORN PUBLIC WORKS DEPARTMENT AS NECESSARY FOR ANY WORK WITHIN THE PUBLIC ROAD RIGHT-OF-WAY.
- THE DESIGNATED STOCKPILE AREA SHOWN ON THIS PLAN IS AN EXAMPLE OF A SUITABLE AREA FOR STOCKPILING OF SOIL MATERIALS. OTHER AREAS MAY BE SELECTED BY THE CONTRACTOR FOR STOCKPILE AREAS WITH PRIOR APPROVAL OF THE ENGINEER.
- THIS PROJECT IS SUBJECT TO AN ORDER OF CONDITIONS ISSUED BY THE SHERBORN CONSERVATION COMMISSION. ALL WORK MUST BE PERFORMED IN COMPLIANCE WITH THAT ORDER AND ALL OTHER APPLICABLE PERMITS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PREPARATION OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND A NOTICE OF INTENT FILING WITH THE EPA. SEE NOTE 3 ON SHEET C-4. THIS DOCUMENT SHALL BE PREPARED AND SUBMITTED TO THE SHERBORN CONSERVATION COMMISSION, OWNER, AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO ANY SITE DISTURBANCE.



Framingham
Boston • Worcester • Preston, CT

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Framingham, MA 01701
508-879-0030

www.DGTassociates.com

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1	BEC	8/20/25	PEER REVIEW COMMENTS
NO.	APP	DATE	DESCRIPTION

DATE: JUNE 5, 2025

SCALE: 1" = 30'

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PROJECT TITLE:

LOT 3
WASHINGTON
STREET

0 WASHINGTON STREET
SHERBORN, MASSACHUSETTS 01770

SHEET TITLE:

EROSION AND
SEDIMENT
CONTROL PLAN

SHEET:
3 OF 9

PROJECT NO.:
F-25902

C-3

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EROSION AND SEDIMENT CONTROL NOTES

1. CONSTRUCTION PERIOD EROSION AND SEDIMENT CONTROL

- 1.1 THE PURPOSE OF THE CONSTRUCTION PERIOD EROSION AND SEDIMENT CONTROL PLAN IS TO MINIMIZE THE INTRODUCTION OF SEDIMENTS ONTO PUBLIC RIGHT OF WAYS, ABUTTING PROPERTIES, WETLAND RESOURCE AREAS AND TO POST-DEVELOPMENT STORMWATER BMP'S RESULTING FROM THE LAND DISTURBANCE ACTIVITIES DURING CONSTRUCTION.
- 1.2 INSPECTIONS SHALL BE CONDUCTED BY THE GENERAL CONTRACTOR ON A BI-WEEKLY BASIS (EVERY TWO WEEKS), OR FOLLOWING SIGNIFICANT STORM EVENTS (RAINFALL OF 0.5" OR MORE) THAT CAN AFFECT THE SEDIMENT AND EROSION CONTROL PRACTICES IMPLEMENTED AT THE SITE. THE PURPOSE OF THE INSPECTIONS IS TO EVALUATE THE EFFECTIVENESS OF THE CONTROLS AND ANY REQUIRED MAINTENANCE ACTIVITIES. IF AN EROSION/SEDIMENTATION CONTROL MEASURE IS FOUND TO BE INADEQUATE FOR PROPERLY CONTROLLING SEDIMENT, AN ADEQUATE MEASURE SHALL BE DESIGNED AND IMPLEMENTED. A COPY OF THE WRITTEN INSPECTION SHALL BE KEPT ON FILE AT THE CONSTRUCTION SITE.
- 1.3 DURING CONSTRUCTION, PROPOSED STORMWATER MANAGEMENT STRUCTURES SHALL BE PROTECTED FROM SEDIMENT. ALL PROPOSED NEW STORMWATER MANAGEMENT STRUCTURES THAT INFILTRATE RUNOFF ARE PARTICULARLY SENSITIVE TO DAMAGE BY SEDIMENT. INFILTRATION TECHNOLOGIES ARE NOT DESIGNED TO HANDLE THE HIGH CONCENTRATIONS OF SEDIMENTS TYPICALLY FOUND IN CONSTRUCTION RUNOFF, AND MUST BE PROTECTED FROM CONSTRUCTION RELATED SEDIMENT LOADINGS. SITE RUNOFF FROM UNSTABILIZED AREAS SHALL NOT BE DISCHARGED INTO THE PROPOSED INFILTRATION SYSTEM (RECHARGER #1), TRENCH DRAIN OR RAIN GARDEN UNTIL THE TRIBUTARY DRAINAGE AREA IS STABLE OR THE RUNOFF IS TREATED TO BE ESSENTIALLY FREE FROM SEDIMENT TO THE SATISFACTION OF THE ENGINEER. THE CONTRACTOR SHALL PROVIDE TEMPORARY BY-PASS SYSTEMS AS NECESSARY TO PREVENT CONSTRUCTION SITE RUNOFF FROM ENTERING THE RAIN GARDEN OR RECHARGER #1. THE STORMWATER BMP'S SHALL REMAIN OFF-LINE AND PROTECTED. CLEAN ROAD RUNOFF MAY DISCHARGE INTO THE STORMWATER BMP'S IF IT IS PIPED DIRECTLY TO THE SYSTEMS AND NOT DIRECTED OVER DISTURBED AREAS.
- 1.4 NO STOCKPILING IS ALLOWED WITHIN THE FOOTPRINT OF THE PROPOSED STORMWATER BMP'S OR THE FOOTPRINT OF THE PROPOSED SOIL ABSORPTION FIELD. CONTRACTOR IS TO LOCATE THE PROPOSED AREAS FOR THESE SYSTEMS PRIOR TO THE START OF CONSTRUCTION.
- 1.5 NO PARKING IS ALLOWED OVER THE STORMWATER BMP'S OR THE FOOTPRINT OF THE PROPOSED SOIL ABSORPTION SYSTEM AT ANYTIME DURING THE CONSTRUCTION PROCESS.

2. GENERAL PERFORMANCE STANDARDS:

- 2.1 THE CONTRACTOR SHALL INSTALL, ROUTINELY INSPECT AND MAINTAIN ALL SEDIMENT AND EROSION CONTROLS SUCH THAT THEY ARE IN PROPER WORKING ORDER AT ALL TIMES DURING THE CONSTRUCTION PROJECT UNTIL SUCH TIME AS ALL AREAS OF THE SITE TRIBUTARY TO THOSE EROSION CONTROLS ARE IN A PERMANENTLY STABILIZED CONDITION.
- 2.2 THE CONTRACTOR SHALL MANAGE THE SITE SUCH THAT EROSION AND SEDIMENT FROM RUNOFF AND WIND BLOWN DUST ARE CONTROLLED AND MINIMIZED AT ALL TIMES. THE EROSION CONTROLS SHOWN ON THIS PLAN INCLUDE THE INITIAL SETUP OF EROSION CONTROLS AND BASIC INFORMATION TO MEET THE REQUIREMENT OF BEST MANAGEMENT PRACTICES. THE CONTRACTOR MUST MANAGE THE SITE PROPERLY WHICH MAY INCLUDE, BUT NOT BE LIMITED TO: MINIMIZING AREAS OF EXPOSED SOILS; INSTALLING TEMPORARY COVER; MAKE NECESSARY ADJUSTMENTS TO THE EROSION CONTROL INSTALLATIONS TO IMPROVE FUNCTION; PROVIDE TEMPORARY SEDIMENT BASINS; INSTALL ADDITIONAL EROSION CONTROL WHERE NECESSARY.
- 2.3 THE EROSION CONTROL WORK SHOWN ON THIS PLAN ARE ALSO SUBJECT TO OTHER APPROVALS. THE CONTRACTOR SHALL OBTAIN AND BE RESPONSIBLE FOR COMPLIANCE WITH THE CONDITIONS AND REQUIREMENTS OF THOSE PERMITS.
- 2.4 DESIGN, INSTALLATION AND MAINTENANCE OF SEDIMENT AND EROSION CONTROLS SHALL BE IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES FOLLOWING THE GUIDELINES INCLUDE IN THE FOLLOWING:
- "STORMWATER MANAGEMENT FOR CONSTRUCTION ACTIVITIES, DEVELOPING POLLUTION PREVENTION PLANS AND BEST MANAGEMENT PRACTICES" U.S. ENVIRONMENTAL PROTECTION AGENCY, OCTOBER 1992.
 - "MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS, A GUIDE FOR PLANNERS, DESIGNERS AND MUNICIPAL OFFICIALS", MASS. EXECUTIVE OFFICE OF ENVIRONMENTAL AFFAIRS, MAY 2003.
 - U.S.D.A. NATURAL RESOURCES AND CONSERVATION SERVICES (NRCS) GUIDELINES.

3. FEDERAL NPDES PHASE II COMPLIANCE:

- 3.1 THIS PROJECT IS SUBJECT TO THE FEDERAL CLEAN WATER ACT REQUIREMENTS FOR CONSTRUCTION SITES ADMINISTERED BY THE U.S. ENVIRONMENTAL PROTECTION AGENCY (EPA). THIS PROGRAM IS THE "NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) - PHASE II FOR CONSTRUCTION SITES. FOR COMPLIANCE WITH THIS PROGRAM, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING A COMPLETE "STORMWATER POLLUTION PREVENTION PLAN" (SWPPP) IN CONFORMANCE WITH THE CURRENT CONSTRUCTION GENERAL PERMIT AND FILING A NOTICE OF INTENT WITH THE EPA UNDER THE NPDES PROGRAM. THE CONTRACTOR SHALL THEN MANAGE THE SITE IN COMPLIANCE WITH THE SWPPP AND IN COMPLIANCE WITH THE CONSTRUCTION GENERAL PERMIT. NOTE THAT THE SWPPP IS TO BE CONSISTENT WITH THIS EROSION AND SEDIMENT CONTROL PLAN AND OTHER APPLICABLE APPROVALS. THE EROSION AND SEDIMENT CONTROL PLAN INCLUDED IN THIS PLAN SET MAY BE USED AS PART OF THE DOCUMENTATION REQUIRED FOR THE PREPARATION OF A SWPPP, BUT IS NOT TO BE CONSIDERED AS MEETING THE FULL REQUIREMENTS OF A SWPPP PREPARED FOR COMPLIANCE WITH THE NPDES PROGRAM.
4. FIBER LOG, CONSTRUCTION FENCE AND LIMIT OF WORK:
- 4.1 PRIOR TO ANY DISTURBANCE OR ALTERATIONS OF ANY AREA ON THE SITE, THE FIBER LOG BARRIER AND CONSTRUCTION FENCE SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE PLAN.
- 4.2 INSTALL THE FIBER LOGS AS SHOWN. IN THOSE AREAS WHERE THE TOPOGRAPHY INDICATES STORMWATER RUNOFF WILL BE CONCENTRATED (AT LOW POINTS), ADDITIONAL FIBER LOGS, AS NECESSARY, SHALL BE STAKED ON THE UPGRADIENT SIDE OF THE BARRIER FOR ADDED FILTRATION AND PROTECTION. THE REQUIRED LOCATIONS FOR THE ADDED FIBER LOG INSTALLATION WILL BE SELECTED BY THE ENGINEER AND / OR THE AUTHORIZED INSPECTOR / SWPPP COORDINATOR UPON COMPLETION OF THE SEDIMENT BARRIER INSTALLATION. (SEE DETAIL).
- 4.3 ONCE INSTALLED, THE STAKED FIBER LOGS AND CONSTRUCTION FENCE SHALL BE MAINTAINED IN PLACE UNTIL ALL AREAS UPGRADIENT FROM THE BARRIERS HAVE BEEN PERMANENTLY STABILIZED.
- 4.4 ALL DISTURBED AREAS NOT OTHERWISE DEVELOPED OR WHERE SPECIAL STABILIZATION MEASURES OR LANDSCAPE PLANTINGS ARE PROPOSED SHALL BE LOAMED AND SEEDED OR SODDED. SIX INCHES OF LOAM TOPSOIL (MIN. COMPACTED DEPTH) SHALL BE APPLIED UNLESS, OTHERWISE SPECIFIED.
- 4.5 THE FIBER LOGS AND CONSTRUCTION FENCE ARE ALSO LIMITS OF WORK. ALL AREAS OUTSIDE THE LIMIT ARE TO BE LEFT UNDISTURBED. DURING THE SITE WORK, ALL PERSONS AND EQUIPMENT SHALL STAY OUT OF THESE AREAS TO PRESERVE THE EXISTING VEGETATION AND SOIL COVER.

5. CONSTRUCTION ENTRANCE:

- 5.1 AT THE START OF SITE WORK, A STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT THE ACCESS TO THE SITE TO CONTROL THE TRACKING OF MUD OFF THE SITE. THE ENTRANCE SHALL BE MAINTAINED UNTIL THE SITE IS IN A STABILIZED CONDITION WHEN THE POSSIBILITY OF VEHICLES TRACKING MUD OFF SITE HAS BEEN ELIMINATED.
- 5.2 THE CONTRACTOR SHALL SWEEP THE ADJACENT ROADWAYS WHEN MUD, DUST, DIRT, DEBRIS, ETC. HAS SHOWN SIGNS OF BUILDUP. THE CONTRACTOR SHALL PAY PARTICULAR ATTENTION TO THIS MATTER AND IMMEDIATE ATTENTION IS ALWAYS REQUIRED.

6. DEWATERING OF EXCAVATIONS:

- 6.1 DISCHARGE FROM DEWATERING PUMPS OR TEMPORARY TRENCH OR EXCAVATION DRAINS SHALL NOT BE DISCHARGED DIRECTLY TO THE STORMWATER BMP'S, WETLANDS, OR SEWAGE DISPOSAL SYSTEM. DISCHARGES SHALL BE DIRECTED TO A TREATMENT SYSTEM CONSISTING OF A SEDIMENT BASIN, STRAW BALE SEDIMENT BASIN, FILTER BAG SYSTEM OR OTHER APPROVED METHOD TO FILTER THE DISCHARGE WATER AND PREVENT EROSION.
- 6.2 ALL DEWATERING DRAINAGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES SHALL COMPLY WITH THE TOWN OF SHERBORN REQUIREMENTS, UNITED STATES ENVIRONMENTAL PROTECTION AGENCY, MASSACHUSETTS DEP AND OTHER APPROPRIATE AGENCIES.

7. SOIL STOCKPILES:

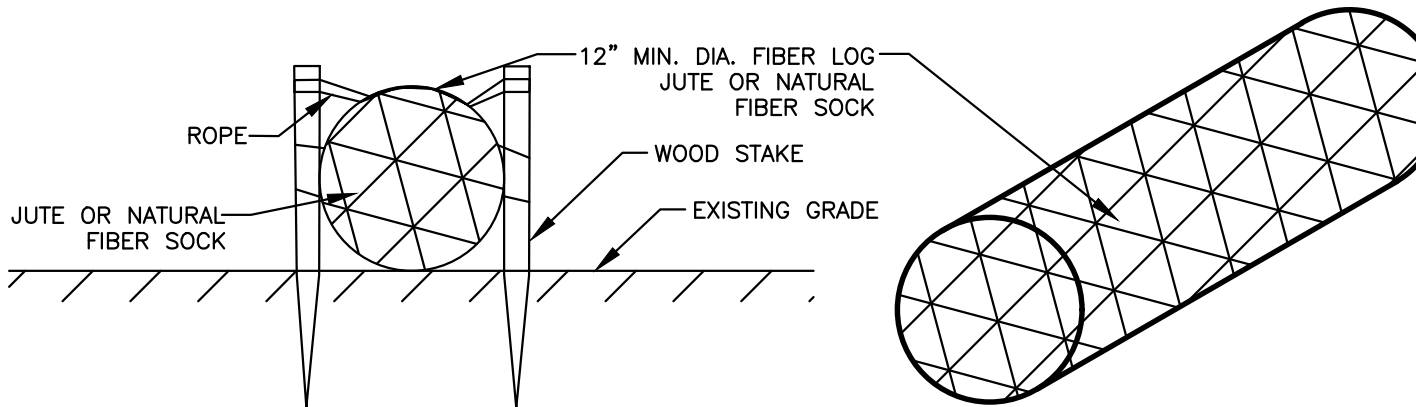
- 7.1 STOCKPILES OF SOIL MATERIALS SHALL BE PLACED WITHIN AREAS THAT ARE PROTECTED BY EROSION CONTROLS, OR SHALL BE SURROUNDED BY PROPER SILT FENCE OR FIBER LOGS.
- 7.2 STOCKPILES THAT ARE TO BE IN PLACE FOR EXTENDED PERIODS OF TIME (MORE THAN 30 DAYS) SHALL BE COVERED OR OTHERWISE TEMPORARILY STABILIZED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES.

8. CATCH BASIN INLET PROTECTION

- 8.1 CATCH BASINS AND THE TRENCH DRAIN WITHIN THE WORK AREA OR THAT WILL RECEIVE RUNOFF FROM THE WORK AREA SHALL BE PROTECTED WITH A SILT SACK AND/OR OTHER APPROVED INSTALLATION TO MINIMIZE THE SEDIMENT LOAD.

9. DUST CONTROL:

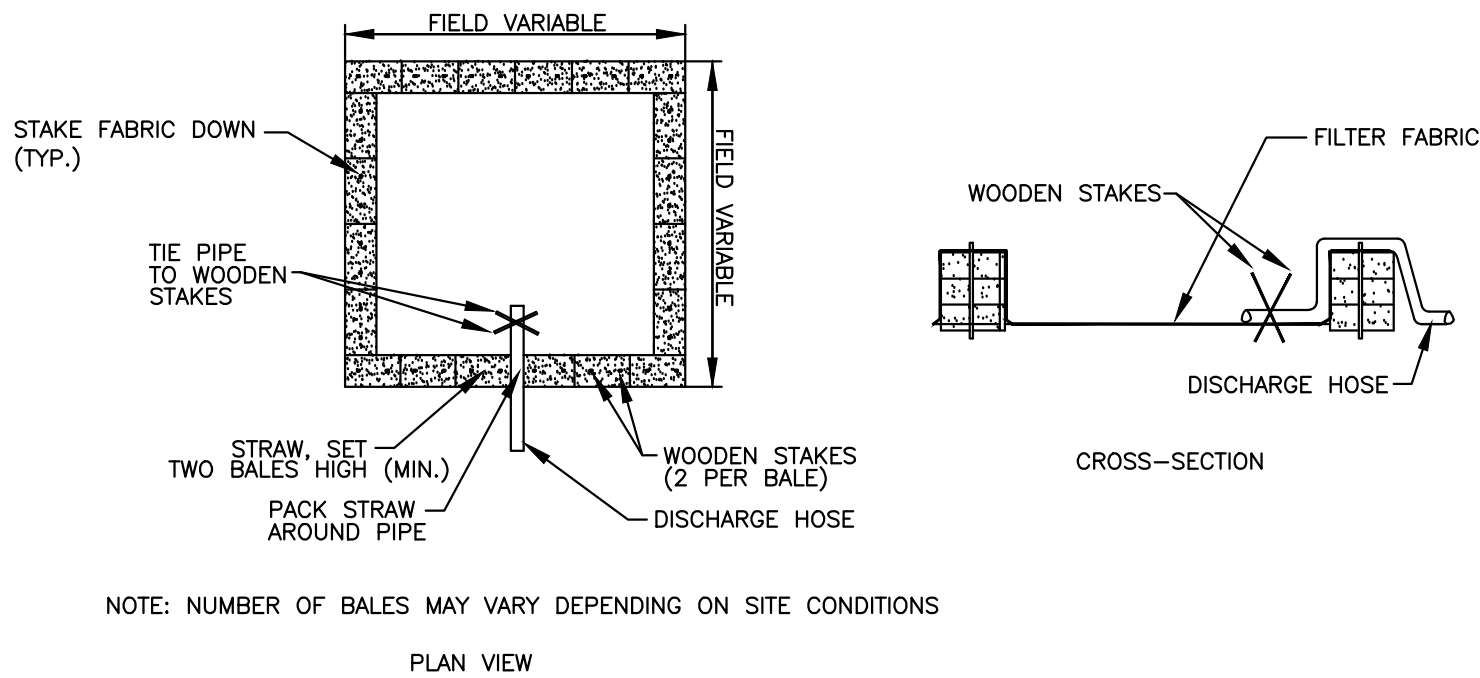
- 9.1 THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES DURING SITE WORK TO MINIMIZE WIND BLOWN DUST FROM EXPOSED SOIL SURFACES. MEASURES INCLUDE BUT ARE NOT LIMITED TO:
- SPRINKLING WATER ON EXPOSED SURFACES
 - APPLICATION OF TEMPORARY COVER SUCH AS HYDRO MULCH AND TACKIFIER, STRAW MATTING, JUTE NETTING ETC.



INSTALLATION NOTES FOR FIBER LOGS:

1. LAY THE FIBER LOG AS SHOWN ON THE PLANS.
2. INSTALL WOOD STAKES ALONG THE FIBER LOG AS NEEDED TO HOLD THE LOG IN PLACE.
3. DRIVE THE STAKE INTO THE GROUND DEEP ENOUGH TO HOLD THE LOG.
4. IN PAVED AREAS, SECURE FIBER LOG WITH CONCRETE BLOCKS OR SAND BAGS.
5. THE FIBER LOG SHALL BE FILLED WITH COMPOST OR OTHER APPROVED MATERIAL.
6. FIBER LOG SHALL BE 12 INCHES (MIN) IN DIAMETER UNLESS OTHERWISE NOTED ON THE PLANS.

FIBER LOG SEDIMENT BARRIER
(NO SCALE)



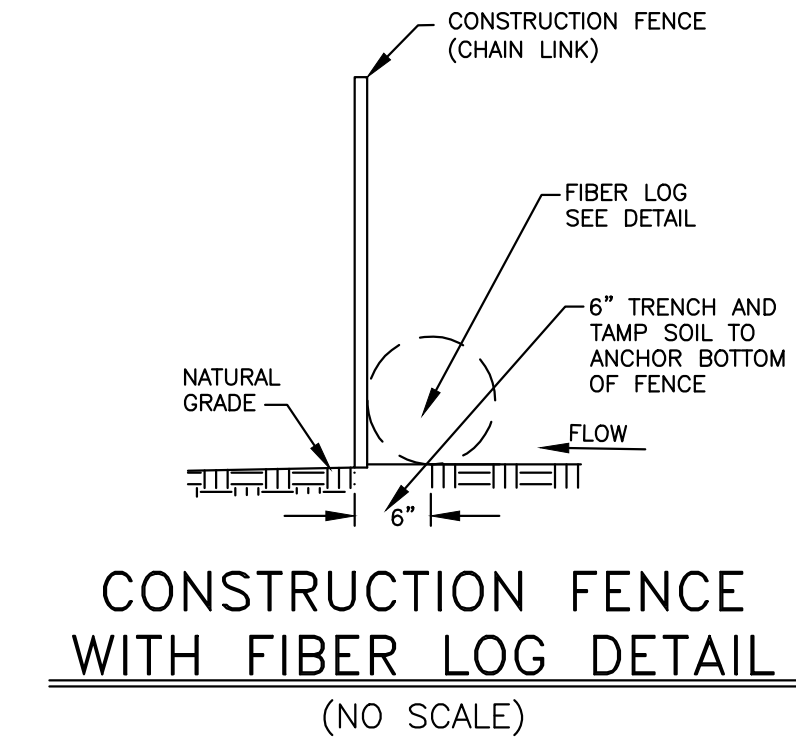
NOTE: NUMBER OF BALES MAY VARY DEPENDING ON SITE CONDITIONS

PLAN VIEW

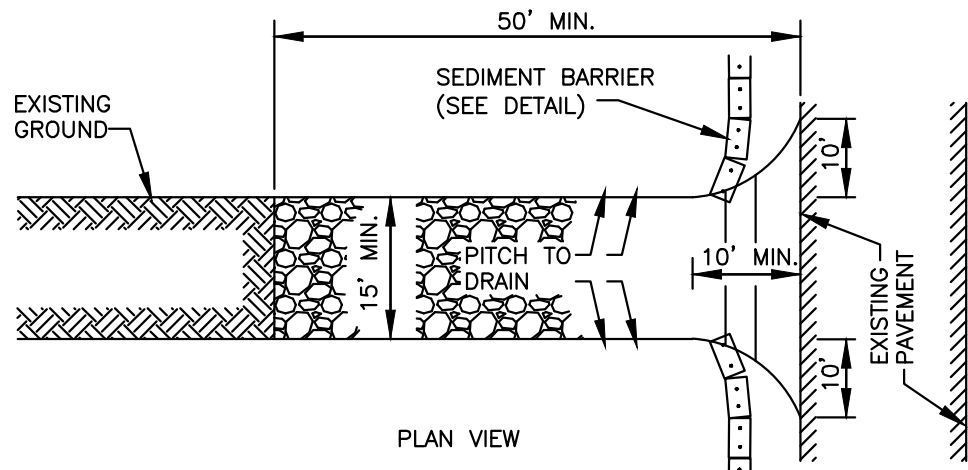
DEWATERING OF EXCAVATIONS NOTES:

1. DISCHARGE FROM DEWATERING PUMPS OR TEMPORARY TRENCH OR EXCAVATION DRAINS SHALL NOT DISCHARGE DIRECTLY TO WETLAND RESOURCE AREAS, ON-SITE SUBSURFACE SEWAGE DISPOSAL SYSTEM, OR STORMWATER BMP'S. THE DISCHARGES SHALL BE DIRECTED INTO A CONSTRUCTED SEDIMENT BASIN OR A STRAW BALE SETTLING BASIN.

STRAW BALE SETTLING BASIN
(NO SCALE)



CONSTRUCTION FENCE WITH FIBER LOG DETAIL
(NO SCALE)



- CROSS-SECTION
- CONSTRUCTION SPECIFICATIONS:
1. STONE SIZE - USE 1 1/2" TO 3 1/2" WASHED, ANGULAR STONE.
 2. THICKNESS - NOT LESS THAN SIX (6) INCHES.
 3. WIDTH - FIFTEEN (15) FEET MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 4. FILTER FABRIC - SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. USE MIRAFI HP-370 OR EQUAL.
 5. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF WAY MUST BE REMOVED IMMEDIATELY.
 6. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED.

STONE TRACKING PAD (CONSTRUCTION ENTRANCE)
(NO SCALE)



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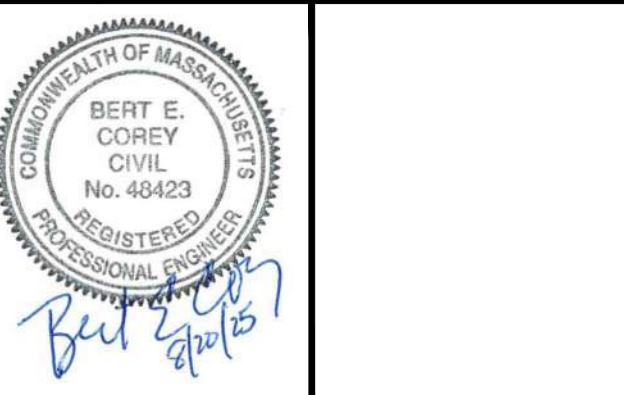
WASHINGTON STREET
SHERBORN HOMES, LLC
ROBERT MURCHISON
177 LAKE STREET
SHERBORN, MA 01770

PARCEL ID:

MAP 7, LOT 0, BLOCK 49

ISSUED FOR:

COMPREHENSIVE
PERMIT APPLICATION



1	BEC	8/20/25	PEER REVIEW COMMENTS
NO.	APP	DATE	DESCRIPTION

DATE: JUNE 5, 2025

SCALE: AS NOTED

DESIGN:	DRAFTED:	CHECKED:
BEC/KMR	BEC/KMR	BEC

PROJECT TITLE:

LOT 3
WASHINGTON
STREET

0 WASHINGTON STREET
SHERBORN, MASSACHUSETTS 01770

SHEET TITLE:

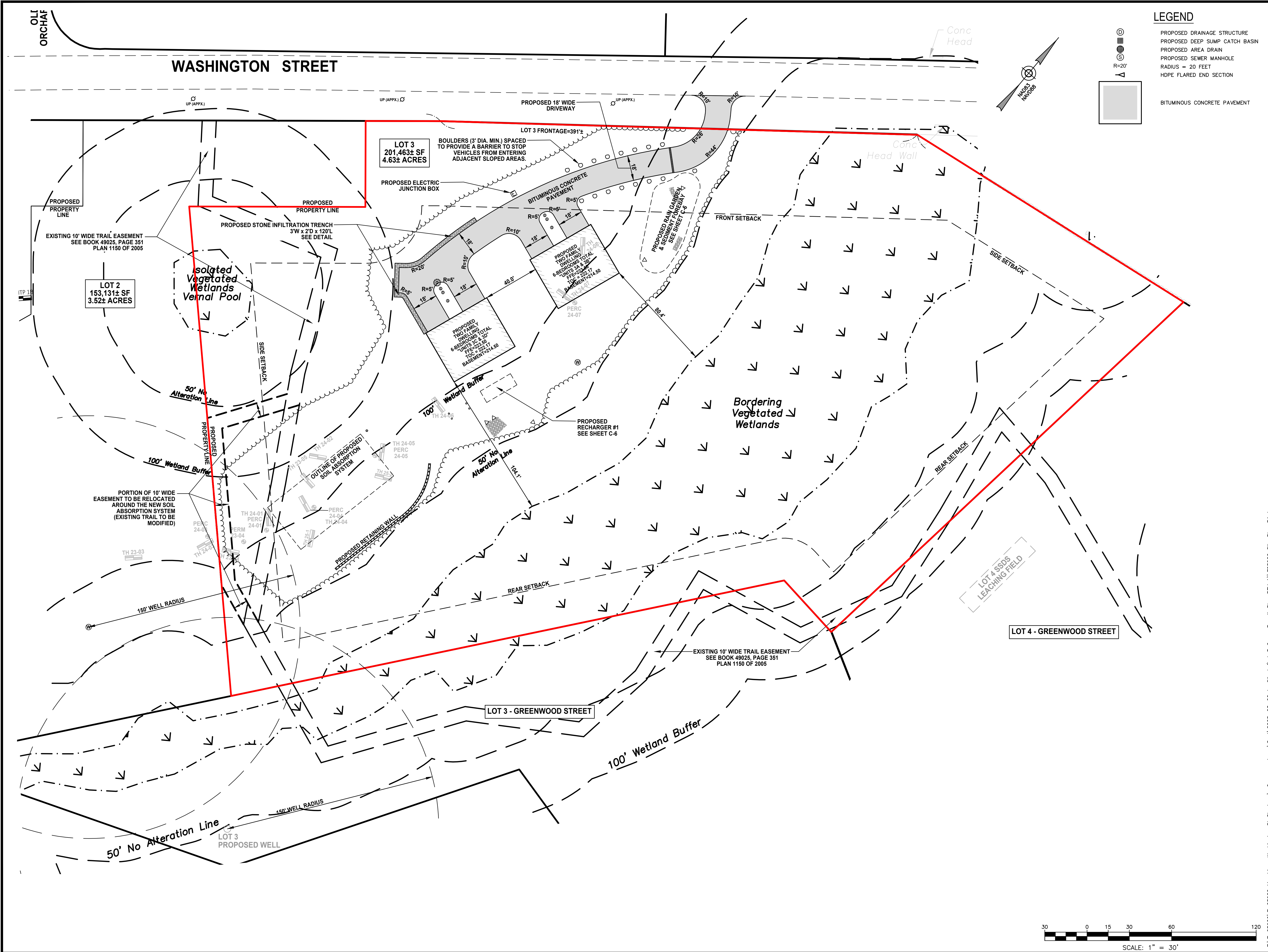
EROSION AND
SEDIMENT
CONTROL NOTES &
DETAILS


SHEET:
4 OF 9

PROJECT NO.:
F-25902

C-4

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SHERBORN, MA 01770**

PARCEL ID:
MAP 7, LOT 0, BLOCK 49

ISSUED FOR:
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PERMIT APPLICATION**



BERT E. COREY
CIVIL
No. 48423
REGISTERED PROFESSIONAL ENGINEER

1	BEC	8/20/25	PEER REVIEW COMMENTS
NO.	APP	DATE	DESCRIPTION

DATE: **JUNE 5, 2025**

SCALE: **1" = 30'**

DESIGN: BEC/KMR	DRAFTED: BEC/KMR	CHECKED: BEC
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PROJECT TITLE:

**LOT 3
WASHINGTON STREET**

**0 WASHINGTON STREET
SHERBORN, MASSACHUSETTS 01770**

SHEET TITLE:

**LAYOUT AND
MATERIALS PLAN**

SHEET:
5 OF 9

PROJECT NO.:
F-25902

C-5

F:\F-25902\F-25902 Murchison Washington St Sherborn Correspondence\Set\1\2025-08-20 to Client (Lot 3 Comp Permit Plan REV 1)\F25902 Site Plan R1.dwg

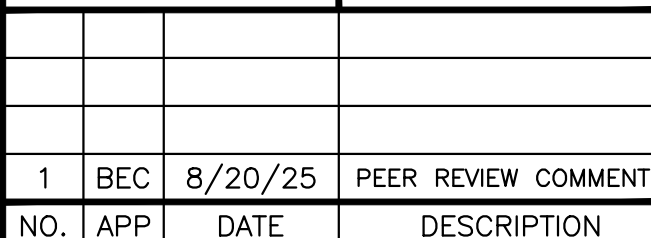
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**WASHINGTON STREET
SHERBORN HOMES, LLC
ROBERT MURCHISON
177 LAKE STREET
SHERBORN, MA 01770**

MAP 7, LOT 0, BLOCK 49

COMPREHENSIVE PERMIT APPLICATION



SCALE: 1" = 30'

DESIGN: BEC/KMR	DRAFTED: BEC/KMR	CHECKED: BEC
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PROJECT TITLE

**LOT 3
WASHINGTON
STREET**

**0 WASHINGTON STREET
SHERBORN, MASSACHUSETTS 01770**

SHEET TITLE:

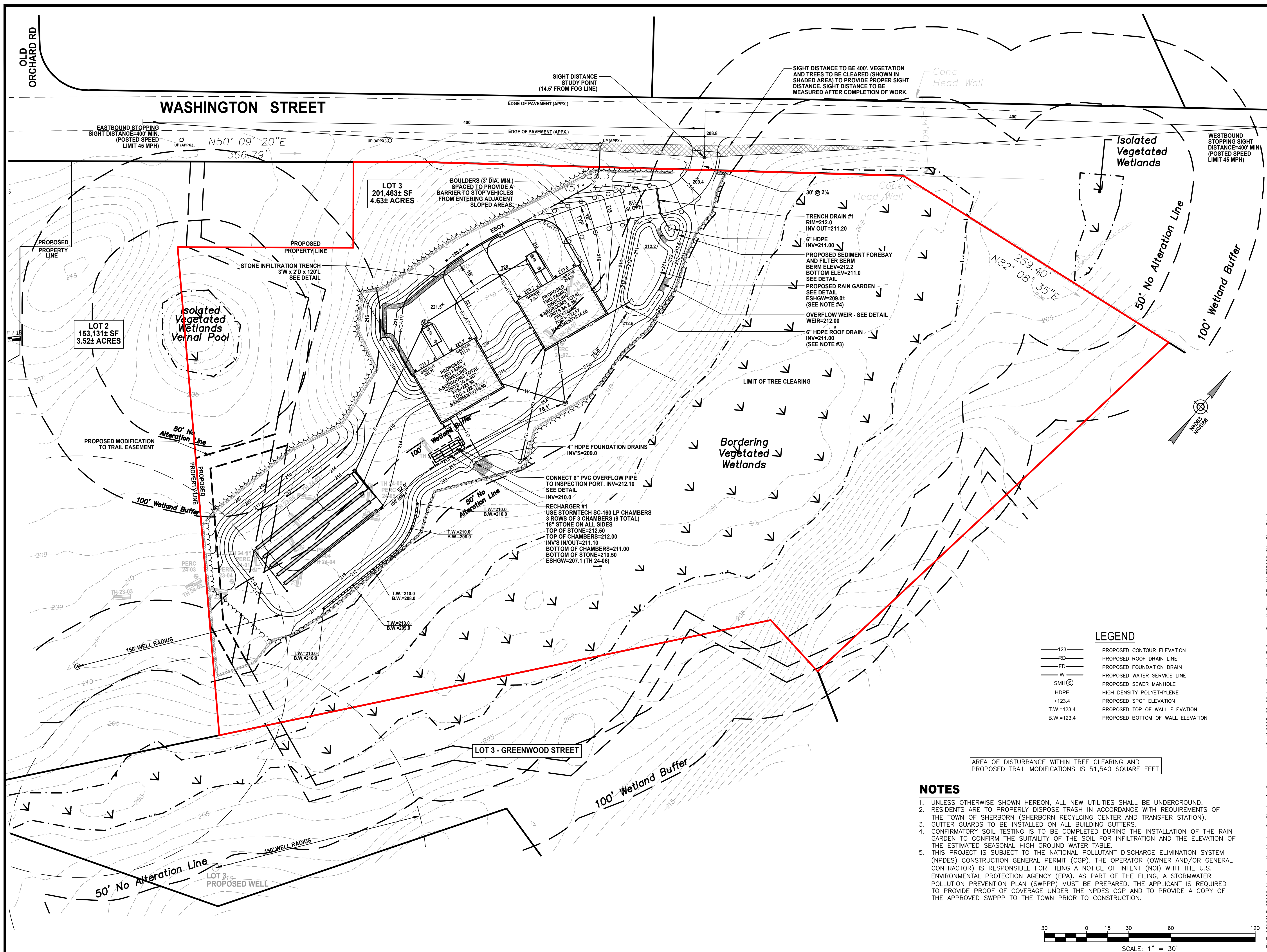
SITE GRADING AND DRAINAGE PLAN

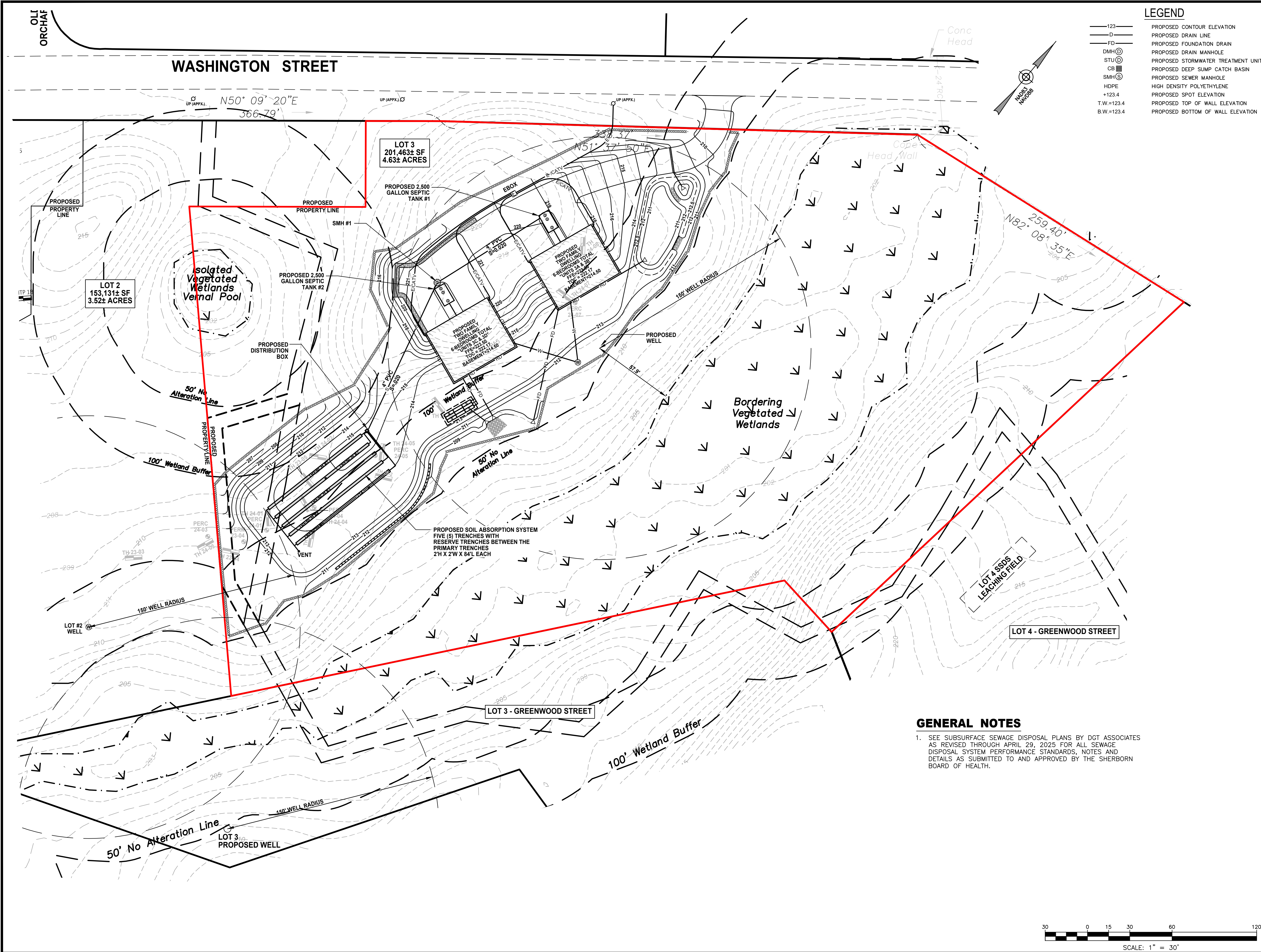
SHEET:
6 OF 9

PROJECT NO.
F-25902

C-6

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LEGEND

- 123 PROPOSED CONTOUR ELEVATION
- D PROPOSED DRAIN LINE
- FD PROPOSED FOUNDATION DRAIN
- DMH PROPOSED DRAIN MANHOLE
- STU PROPOSED STORMWATER TREATMENT UNIT
- CB PROPOSED DEEP SUMP CATCH BASIN
- SMH PROPOSED SEWER MANHOLE
- HDPE HIGH DENSITY POLYETHYLENE
- +123.4 PROPOSED SPOT ELEVATION
- T.W.=123.4 PROPOSED TOP OF WALL ELEVATION
- B.W.=123.4 PROPOSED BOTTOM OF WALL ELEVATION

GENERAL NOTES

- SEE SUBSURFACE SEWAGE DISPOSAL PLANS BY DGT ASSOCIATES AS REVISED THROUGH APRIL 29, 2025 FOR ALL SEWAGE DISPOSAL SYSTEM PERFORMANCE STANDARDS, NOTES AND DETAILS AS SUBMITTED TO AND APPROVED BY THE SHERBORN BOARD OF HEALTH.



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OWNER/APPLICANT:

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PARCEL ID:

MAP 7, LOT 0, BLOCK 49

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1	BEC	8/20/25	PEER REVIEW COMMENTS
NO.	APP	DATE	DESCRIPTION

DATE: JUNE 5, 2025

SCALE: 1" = 30'

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PROJECT TITLE:

LOT 3
WASHINGTON
STREET

0 WASHINGTON STREET
SHERBORN, MASSACHUSETTS 01770

SHEET TITLE:

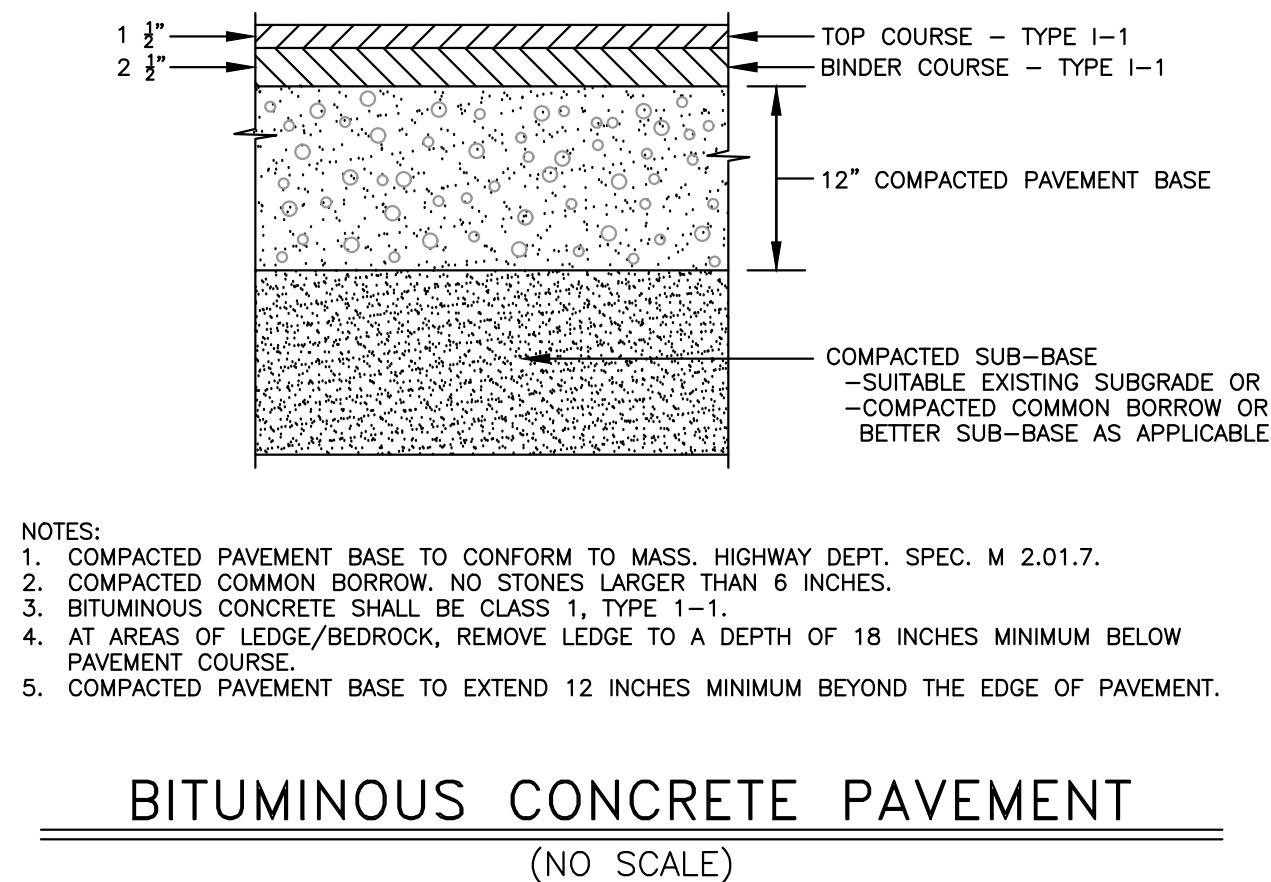
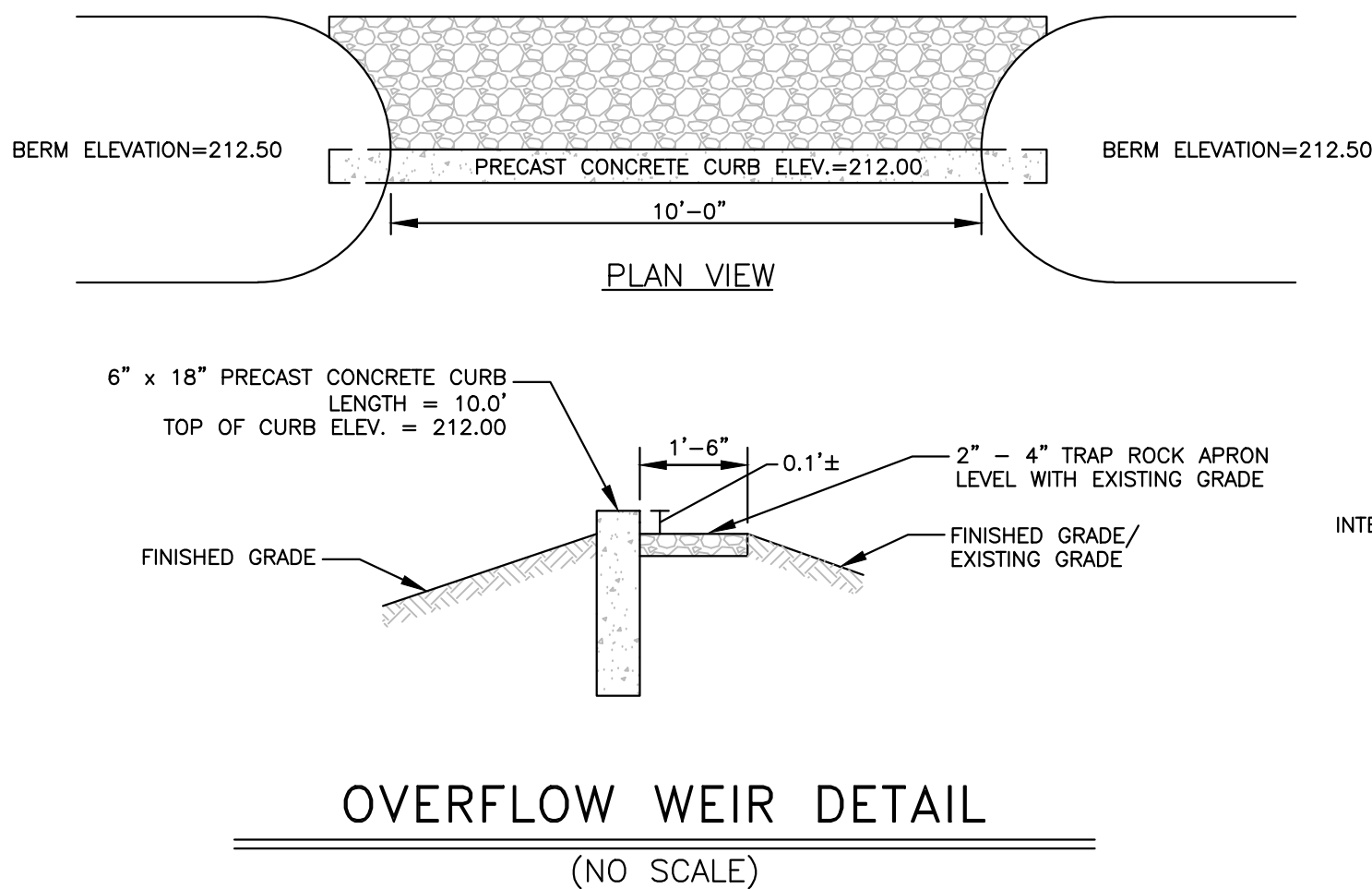
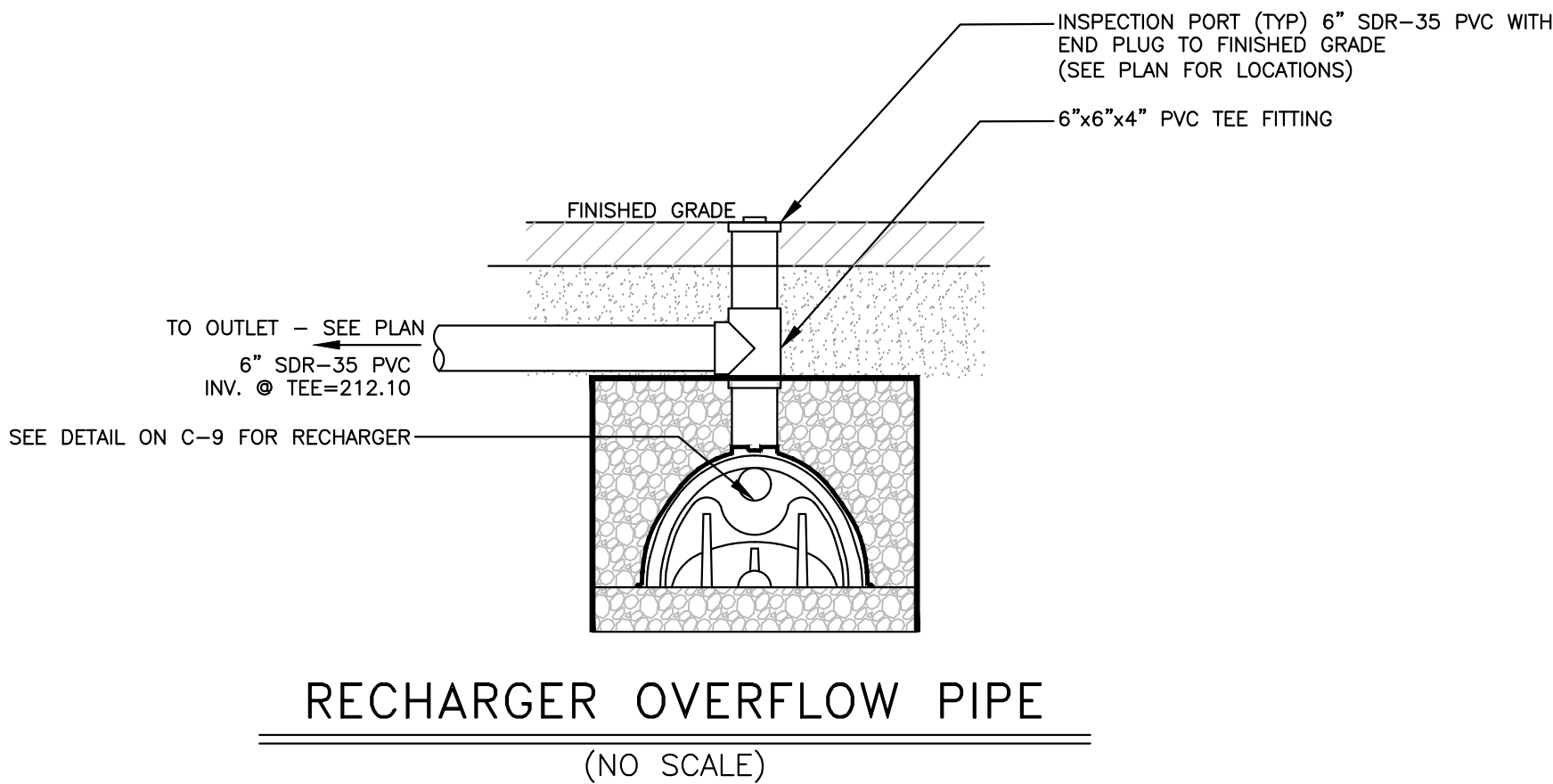
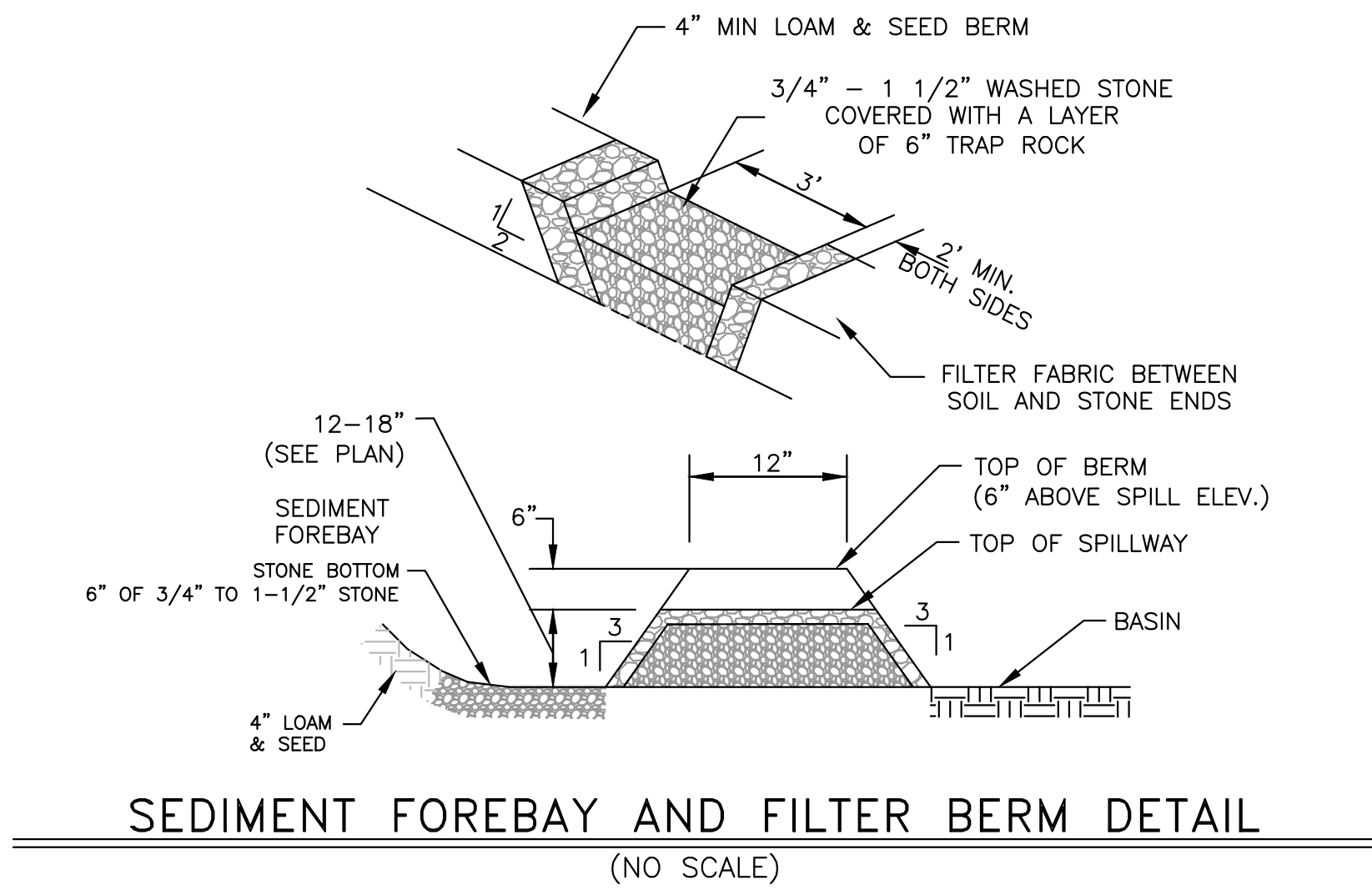
SITE UTILITIES
PLAN

SHEET:
7 OF 9

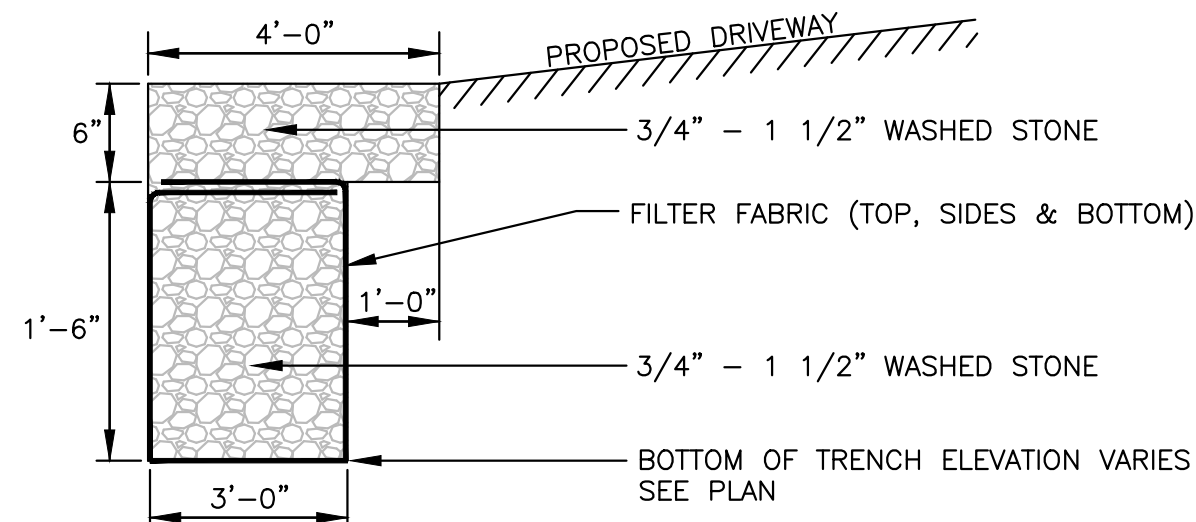
PROJECT NO.:
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C-7

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- NOTES:
1. COMPACTED PAVEMENT BASE TO CONFORM TO MASS. HIGHWAY DEPT. SPEC. M 2.01.7.
 2. COMPACTED COMMON BORROW, NO STONES LARGER THAN 6 INCHES.
 3. BITUMINOUS CONCRETE SHALL BE CLASS 1, TYPE I-1.
 4. AT AREAS OF LEDGE/BEDROCK, REMOVE LEDGE TO A DEPTH OF 18 INCHES MINIMUM BELOW PAVEMENT COURSE.
 5. COMPACTED PAVEMENT BASE TO EXTEND 12 INCHES MINIMUM BEYOND THE EDGE OF PAVEMENT.



STONE INFILTRATION CALCULATIONS:
CONTRIBUTING IMPERVIOUS AREA: 2,216 SF (DRIVEWAY) TOTAL
[3 FT x 2 FT x 120 FT] x 0.40 = 288 CF
288 CF / 2,216 SF = 0.13 FT = 1.6 INCHES OVER THE CONTRIBUTING IMPERVIOUS AREA IS CAPTURED WITHIN THE STONE INFILTRATION TRENCH.

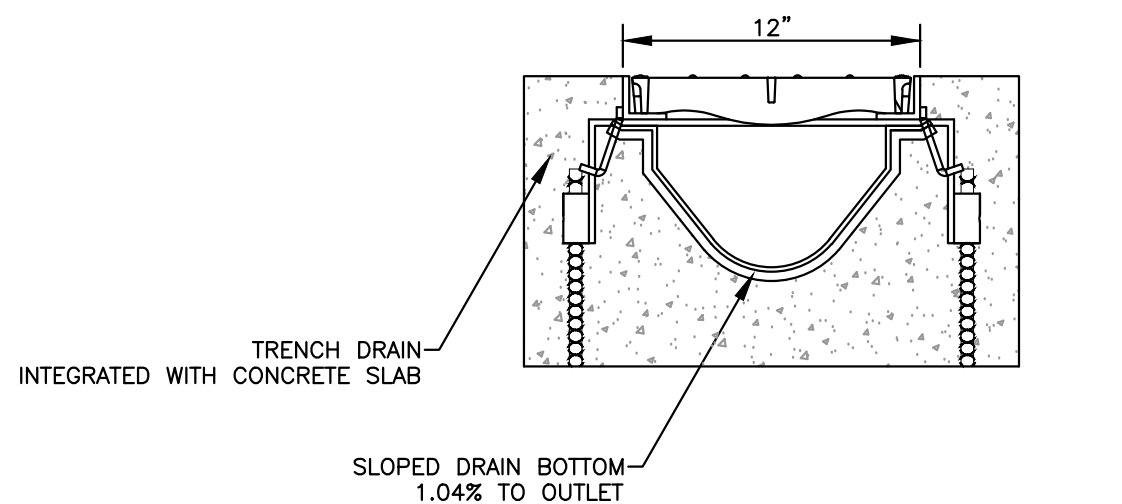
RAIN GARDEN CALCULATIONS:
CALCULATE RECHARGE VOLUME REQUIRED TO INFILTRATE 1.0" OF SURFACE STORMWATER RUNOFF FROM THE UNIT 3A & 3B ROOF AREA AND THE NEW DRIVEWAY.
PROPOSED IMPERVIOUS AREAS: 2,000 SF (ROOF) + 6,979 SF (DRIVEWAY) = 8,979 SF TOTAL
REQUIRED RECHARGE = (8,979 SF) (1.0 IN) (FT/12 IN) = 749 C.F.
PROVIDED STORAGE VOLUME = 1,162 CF WITHIN THE RAIN GARDEN AND BELOW THE WEIR (SEE BELOW)

F25902 Proposed Conditions Model
Prepared by DGT Associates
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Type III 24-hr 2 Year Rainfall=3.35"
Printed 8/14/2025

Stage-Area-Storage for Pond RG: Rain Garden

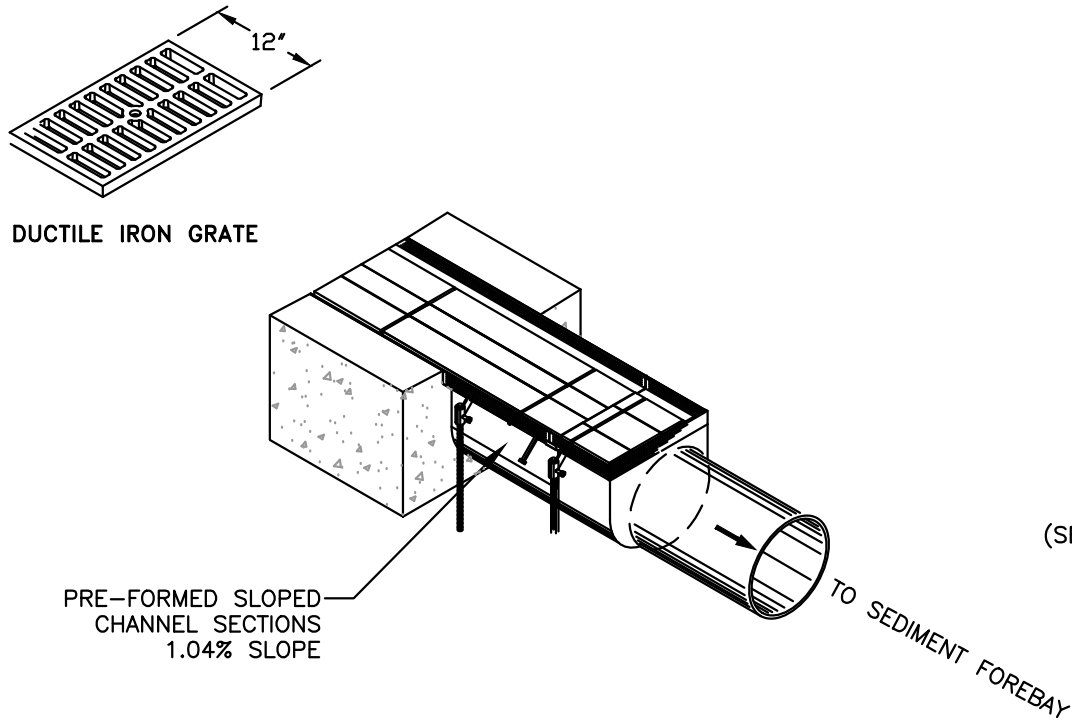
Elevation (feet)	Surface (sq-ft)	Storage (cubic-feet)	Elevation (feet)	Surface (sq-ft)	Storage (cubic-feet)
211.00	944	0	212.04	1,465	1,219
211.02	952	19	212.06	1,501	1,249
211.04	960	38	212.08	1,538	1,279
211.06	969	57	212.10	1,575	1,310
211.08	977	77	212.12	1,612	1,342
211.10	985	96	212.14	1,650	1,375
211.12	993	116	212.16	1,688	1,408
211.14	1,002	136	212.18	1,727	1,442
211.16	1,010	156	212.20	1,766	1,477
211.18	1,019	177			
211.20	1,027	197			
211.22	1,035	218			
211.24	1,044	238			
211.26	1,053	259			
211.28	1,061	281			
211.30	1,070	302			
211.32	1,078	323			
211.34	1,087	345			
211.36	1,096	367			
211.38	1,105	389			
211.40	1,114	411			
211.42	1,122	433			
211.44	1,131	456			
211.46	1,140	479			
211.48	1,149	502			
211.50	1,158	525			
211.52	1,167	548			
211.54	1,176	571			
211.56	1,185	595			
211.58	1,194	619			
211.60	1,204	643			
211.62	1,213	667			
211.64	1,222	691			
211.66	1,231	716			
211.68	1,240	740			
211.70	1,250	765			
211.72	1,259	790			
211.74	1,269	816			
211.76	1,278	841			
211.78	1,287	867			
211.80	1,297	893			
211.82	1,307	919			
211.84	1,316	945			
211.86	1,325	971			
211.88	1,335	998			
211.90	1,345	1,025			
211.92	1,355	1,052			
211.94	1,365	1,079			
211.96	1,374	1,106			
211.98	1,384	1,134			
212.00	1,394	1,162			
212.02	1,429	1,190			

- NOTES:
1. TRENCH DRAIN AND CAST IRON GRATE SHALL BE HEAVY DUTY FOR H-20 LOADING.

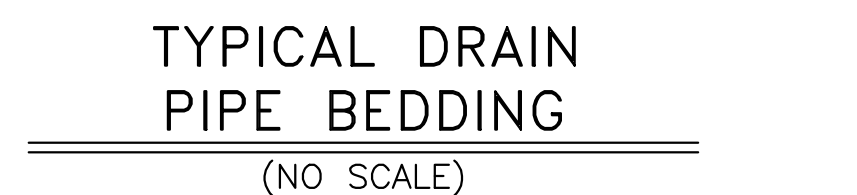


TRENCH DRAIN SECTION VIEW

TRENCH DRAIN DETAIL (NO SCALE)



- NOTES:
1. TRENCH BACKFILL SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS AS CONTAINED IN MASSACHUSETTS HIGHWAY DEPARTMENT, STANDARDS AND SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, 1988.



RECHARGER #1 CALCULATIONS:
CALCULATE RECHARGE VOLUME REQUIRED TO INFILTRATE 1.0" OF STORMWATER RUNOFF FROM THE UNIT 3C & 3D ROOF AREA.

PROPOSED ROOF AREA: 2,000 SF TOTAL
REQUIRED RECHARGE = (2,000 SF) (1.0 IN) (FT/12 IN) = 167 C.F.
PROVIDED STORAGE VOLUME = 175 CF WITHIN THE CHAMBERS (SEE BELOW)

F25902 Proposed Conditions Model
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Type III 24-hr 2 Year Rainfall=3.35"
Printed 6/2/2025

Stage-Area-Storage for Pond RD: RD Infiltration System

Elevation (feet)	Surface (sq-ft)	Storage (cubic-feet)	Elevation (feet)	Surface (sq-ft)	Storage (cubic-feet)
210.50	230	0	211.54	230	123
210.52	230	2	211.56	230	126
210.54	230	4	211.58	230	128
210.56	230	6	211.60	230	131
210.58	230	7	211.62	230	133
210.60	230	9	211.64	230	136
210.62	230	11	211.66	230	138
210.64	230	13	211.68	230	141
210.66	230	15	211.70	230	143
210.68	230	17	211.72	230	146
210.70	230	18	211.74	230	148
210.72	230	20	211.76	230	150
210.74	230	22	211.78	230	153
210.76	230	24	211.80	230	155
210.78	230	26	211.82	230	157
210.80	230	28	211.84	230	159
210.82	230	29	211.86	230	161
210.84	230	31	211.88	230	163
210.86	230	33	211.90	230	165
210.88	230	35	211.92	230	167
210.90	230	37	211.94	230	169
210.92	230	39	211.96	230	171
210.94	230	40	211.98	230	173
210.96	230	42	212.00	230	175
210.98	230	44	212.02	230	177
211.00	230	46	212.04	230	178
211.02	230	48	212.06	230	180
211.04	230	50	212.08	230	182
211.06	230	52	212.10	230	184
211.08	230	54	212.12	230	186
211.10	230	56	212.14	230	188
211.12	230	58	212.16	230	189
211.14	230	60	212.18	230	191
211.16	230	62	212.20	230	193
211.18	230	64	212.22	230	195
211.20	230	66	212.24	230	197
211.22	230	68	212.26	230	199
211.24	230	70	212.28	230	200
211.26	230	72	212.30	230	202
211.28	230	74	212.32	230	204
211.30	230	76	212.34	230	206
211.32	230	78	212.36	230	208
211.34	230	80	212.38	230	210
211.36	230	82	212.40	230	211
211.38	230	84	212.42	230	213
211.40	230	86	212.44	230	215
211.42	230	88	212.46	230	217
211.44	230	90	212.48	230	219
211.46	230	92	212.50	230	221
211.48	230	94			
211.50	230	96			
211.52	230	98			

- NOTES:
1. RAIN GARDEN TOPSOIL MIX SHALL MEET THE FOLLOWING SPECIFICATIONS.
 - A. THE ENGINEERED SOIL MIX FOR THE BOTTOM OF RAIN GARDEN SHOULD BE A MIXTURE OF 40% SAND, 20-30% TOPSOIL, AND 30-40% COMPOST.
 - B. THE SOIL MIX MUST BE UNIFORM, FREE OF STONES, STUMPS, ROOTS OR SIMILAR OBJECTS LARGER THAN 2 INCHES. CLAY CONTENT SHOULD NOT EXCEED 5%.
 - C. SOIL PH SHOULD GENERALLY BE BETWEEN 5.5-6.5, A RANGE THAT IS OPTIMAL FOR MICROBIAL ACTIVITY AND ADSORPTION OF NITROGEN, PHOSPHORUS, AND OTHER POLLUTANTS.
 - D. USE SOILS WITH 1.5% TO 3% ORGANIC CONTENT AND MAXIMUM 500-PPM SOLUBLE SALTS.
 - E. THE SAND COMPONENT SHOULD BE GRAVELY SAND THAT MEETS ASTM D 422.
 2. THE SEED MIXES IDENTIFIED FOR USE ON THIS PROJECT ARE BY NEW ENGLAND WETLANDS PLANTS, INC. AND INDICATE THE PLANT SPECIES MIX AND INTENT OF FINISHED COVER. SEED MIX #1 IS TO BE NEW ENGLAND WETLAND SEED MIX AND SEED MIX #2 IS TO BE NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DETENTION BASINS.
 3. ALL TOPSOIL, SUBSOIL AND DELETERIOUS MATERIAL, MUST BE EXCAVATED AND REMOVED TO A DISTANCE OF 2 FEET FROM ALL SIDES AND BOTTOM OF THE RAIN GARDEN. BACKFILL AS REQUIRED WITH WELL DRAINED LOAMY SAND SUBSOIL.

RAIN GARDEN DETAIL (NO SCALE)

OWNER/APPLICANT:

**WASHINGTON STREET
SHERBORN HOMES, LLC
ROBERT MURCHISON
177 LAKE STREET
SHERBORN, MA 01770**

PARCEL ID:

MAP 7, LOT 0, BLOCK 49

ISSUED FOR:

**COMPREHENSIVE
PERMIT APPLICATION**

DATE:

JUNE 5, 2025

SCALE:

AS NOTED

DESIGN:

BEC/KMR

DRAFTED:

BEC/KMR

CHECKED:

BEC

PROJECT TITLE:

**LOT 3
WASHINGTON
STREET**

DATE:

8/20/25

NO. APP

1

DATE

8/20/25

DESCRIPTION

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PROJECT TITLE:

**LOT 3
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NO. APP

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WASHINGTON
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DATE:

8/20/25

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OWNER/APPLICANT:

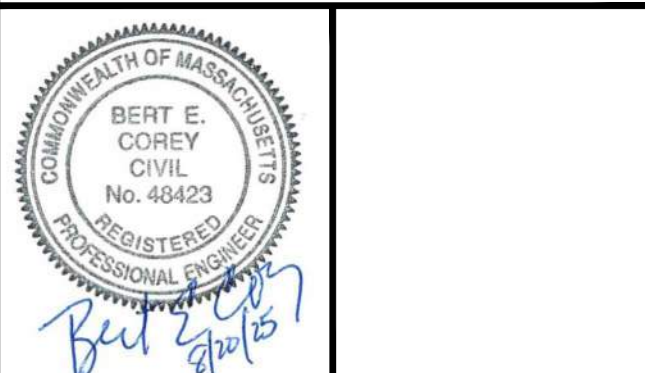
WASHINGTON STREET
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SCALE: AS NOTED

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PROJECT TITLE:

LOT 3
WASHINGTON
STREET

0 WASHINGTON STREET
SHERBORN, MASSACHUSETTS 01770
SHEET TITLE:

SITE DETAILS - 02

SHEET:
9 OF 9

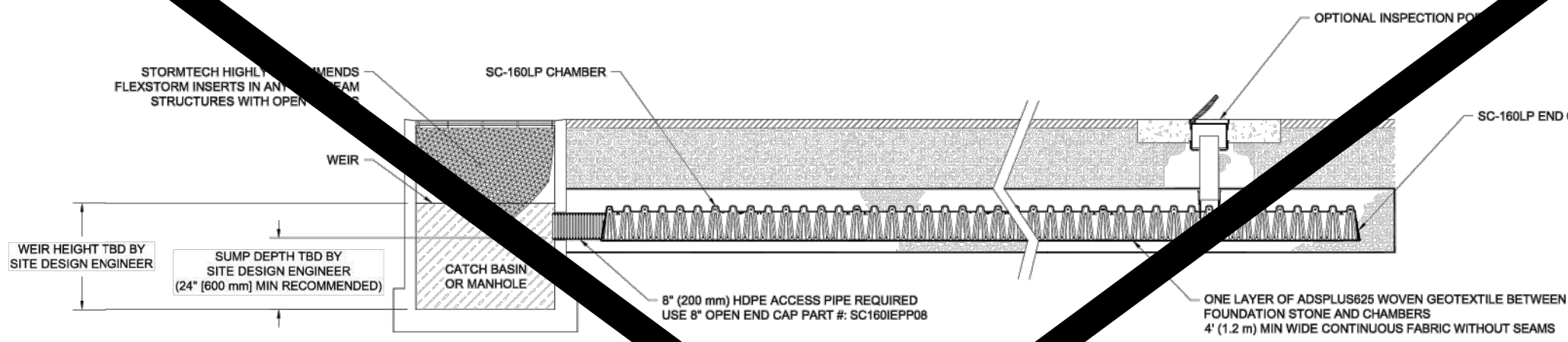
PROJECT NO.:
F-25902

C-9



SC-160LP STORMTECH CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE STORMTECH SC-160LP.
- CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 6.2.2, ARE MET FOR 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (1-MIN) AASHTO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER 2) MAXIMUM PERMANENT (75-YR) COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WEEK) AASHTO DESIGN TRUCK.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 1.5".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 325 LB/FT², THE ASD IS DEFINED IN SECTION 6.2.2 OF ASTM F2418, AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE AS FOLLOWS:
 - THE STRUCTURAL EVALUATION SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
 - THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.86 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2787 AND BY SECTIONS 3 AND 12.12 OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS FOR THERMOPLASTIC PIPE.
 - THE TEST DERIVED CREEP MODULUS AS SPECIFIED IN ASTM F2418 SHALL BE USED FOR PERMANENT DEAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE 75-YEAR MODULUS USED FOR DESIGN.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.
- MANIFOLD SIZE TO BE DETERMINED BY SITE DESIGN ENGINEER. SEE TECHNICAL NOTE 6.32 FOR MANIFOLD SIZING GUIDANCE. DUE TO THE ADAPTATION OF THIS CHAMBER SYSTEM TO SPECIFIC SITE AND DESIGN CONSTRAINTS, IT MAY BE NECESSARY TO CUT AND COUPLE ADDITIONAL PIPE TO STANDARD MANIFOLD COMPONENTS IN THE FIELD.
- ADS DOES NOT DESIGN OR PROVIDE MEMBRANE LINER SYSTEMS. TO MINIMIZE THE LEAKAGE POTENTIAL OF LINER SYSTEMS, THE MEMBRANE LINER SYSTEM SHOULD BE DESIGNED BY A KNOWLEDGEABLE GEOTEXTILE PROFESSIONAL AND INSTALLED BY A QUALIFIED CONTRACTOR.



SC-160LP ISOLATOR ROW PLUS DETAIL

ISOLATOR ROW
IS NOT PROPOSED

INSPECTION MAINTENANCE

- STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT
- INSPECT FOR SEDIMENT (IF PRESENT)
 - REMOVE COVER FROM INSOLATOR ROW PLUS
 - USING A FLASHLIGHT, INSPECT FOR SEDIMENT AND RECORD ON MAINTENANCE LOG
 - LOWER A CAMERA AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG (OPTIONAL)
 - IF SEDIMENT IS AT OR ABOVE 2" (50 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JETVAC
- A FIXED CURVE CLEANING NOZZLE WITH REAR FAN SPEED OF 45° (1.1 m) OR MORE IS PREFERRED
 - APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFILL IS CLEAN
 - VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS, RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH CHAMBER.

NOTES

- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
- CONDUCT JETTING AND VACUUMING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NEEDED.



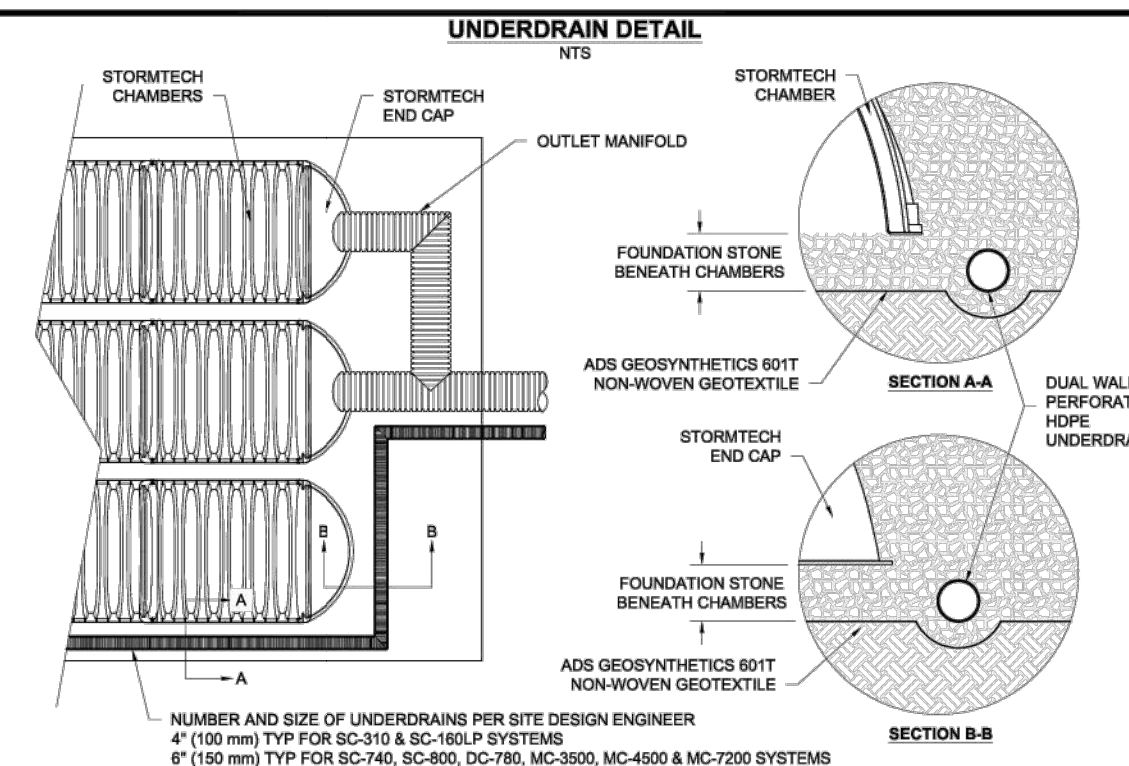
IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF THE SC-160LP SYSTEM

- STORMTECH SC-160LP CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
- STORMTECH SC-160LP CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-160LP CONSTRUCTION GUIDE".
- FOUNDATION STONE AND EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE, AASHTO M43 #2.57, 4, 467, 5, 56, OR 57.
- THE FOUNDATION STONE SHALL BE LEVELLED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- THE DEPTH OF FOUNDATION STONE SHALL BE DETERMINED BASED ON THE SUBGRADE BEARING CAPACITY PROVIDED BY THE SITE DESIGN ENGINEER.
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES CONCERNING CHAMBER FOUNDATION DESIGN AND SUBGRADE BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
- CHAMBERS SHALL BE INSTALLED "TOE TO TOE". NO ADDITIONAL SPACING BETWEEN ROWS IS REQUIRED.
- STORMTECH RECOMMENDS 3 BACKFILL METHODS:
 - NO RUBBER TIRE LOADERS, DUMP TRUCKS, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH SC-160LP CONSTRUCTION GUIDE".
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
 - ADS RECOMMENDS THE USE OF "LIDESTORM CATCH" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

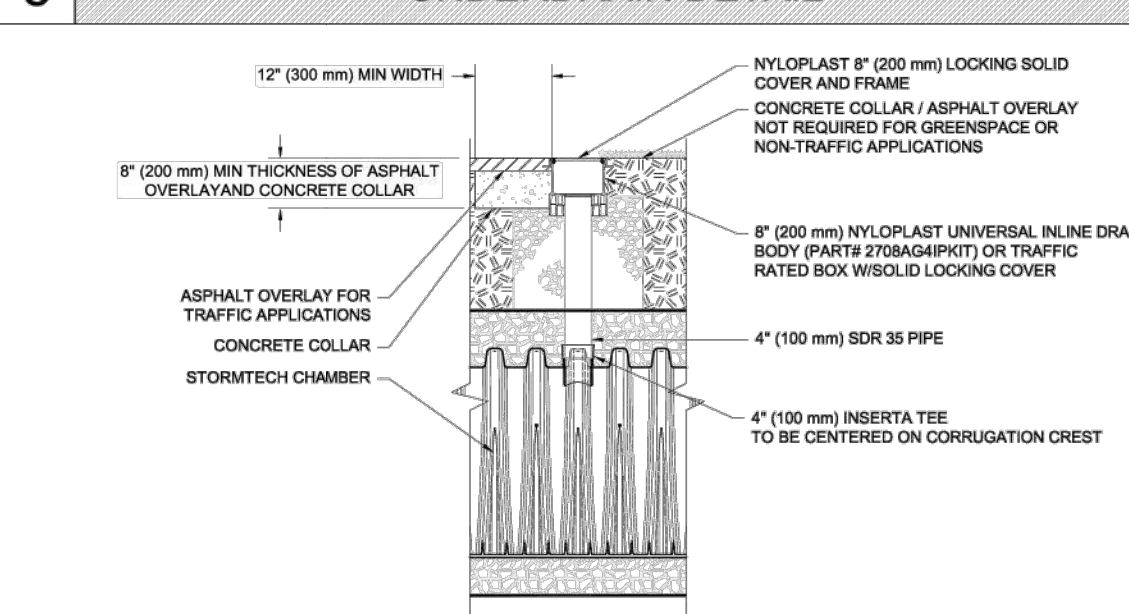
NOTES FOR CONSTRUCTION EQUIPMENT

- THE USE OF CONSTRUCTION EQUIPMENT OVER SC-160LP CHAMBERS IS LIMITED:
 - NO EQUIPMENT IS ALLOWED ON CHAMBERS.
 - NO RUBBER TIRE LOADERS, DUMP TRUCKS, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH SC-160LP CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH SC-160LP CONSTRUCTION GUIDE".
- FILL 30" (600 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.

CONTACT STORMTECH AT 1-800-821-6710 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.



UNDERDRAIN DETAIL



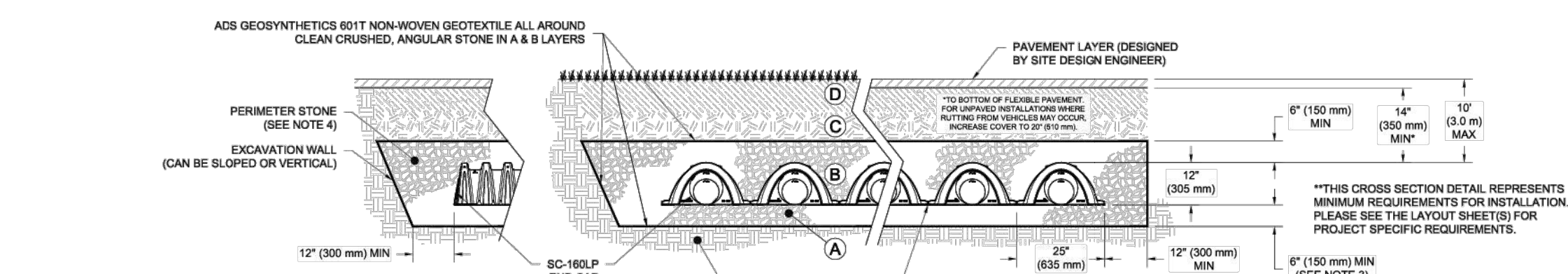
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ACCEPTABLE FILL MATERIALS: STORMTECH SC-160LP CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE (8\"/>	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <3% FINES OR PROCESSED AGGREGATE.	BEGIN COMPACTIONS AFTER 12\"/>
B	EMBODIMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE (A) LAYERS TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE OR RECYCLED CONCRETE*	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SURGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE OR RECYCLED CONCRETE*	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE.*3

- PLEASE NOTE:
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR M43 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 - STORMTECH COMPACTION REQUIREMENTS ARE MET FOR "W" LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6\"/>
 - WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
 - ONCE LAYER 'C' IS PLACED, ANY SOLI/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBGRADE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEERS DISCRETION.
 - WHERE RECYCLED CONCRETE AGGREGATE IS USED IN LAYERS 'A' OR 'B' THE MATERIAL SHOULD ALSO MEET THE ACCEPTABILITY CRITERIA OUTLINED IN TECHNICAL NOTE 6.20 "RECYCLED CONCRETE STRUCTURAL BACKFILL".



NOTES:

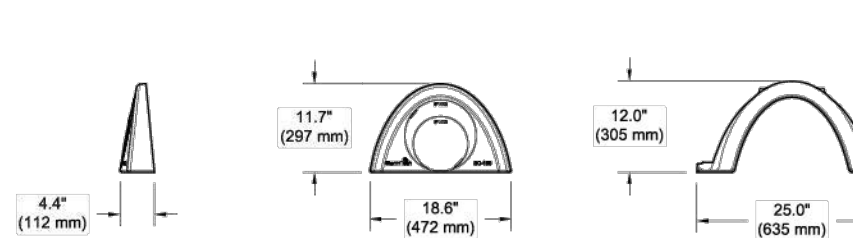
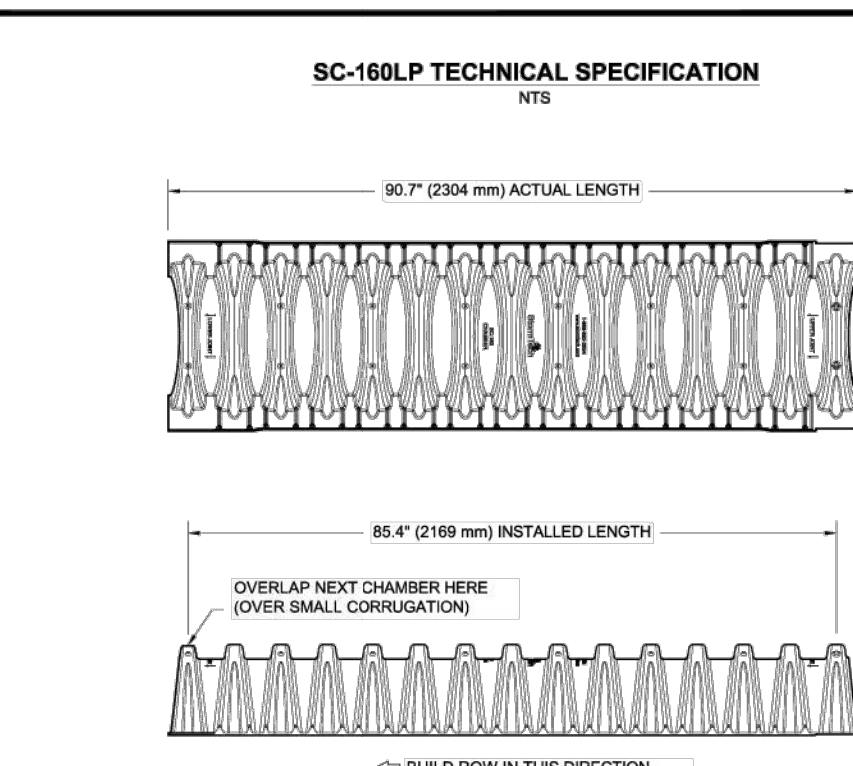
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (1-MIN) AASHTO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER 2) MAXIMUM PERMANENT (75-YR) COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WEEK) AASHTO DESIGN TRUCK.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS. REFERENCE STORMTECH DESIGN MANUAL FOR BEARING CAPACITY GUIDANCE.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 1.5"
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.2 OF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 325 LB/FT², AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

SC-160LP CROSS SECTION DETAIL

DRAWN: SMW	DATE: 02/17/2025
REVIEWED: JLM	PROJECT NO: 721-190
REV:	NOT TO SCALE

SC-160LP STANDARD DETAILS

SC-160LP TECHNICAL SPECIFICATIONS



NOMINAL CHAMBER SPECIFICATIONS
SIZE (W X H X INSTALLED LENGTH)
8.60 CUBIC FEET (0.19 m³)
MINIMUM INSTALLED STORAGE*
WEIGHT
24.0 lbs. (10.9 kg)

*ASSUMES 8\"/>

PART #	STUB	A
SC160EPB	8\"/>	0.66\"/>
SC160EPB	8\"/>	0.66\"/>
SC160EPB	8\"/>	0.66\"/>

ALL STUBS ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-882-2894.

NOTE: ALL DIMENSIONS ARE NOMINAL.

StormTech®
Chamber System
888-882-2894 | www.stormtech.com

4640 TRUENAN BLVD
HILLIARD, OH 43026



SHEET
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INFILTRATION SYSTEM (RECHARGER #1) DETAILS
(NO SCALE)